

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 10, 2024

Michael D. Johnson, P.E.
Souder, Miller & Associates
3500 Sedona Hills Parkway
Las Cruces, NM 88011

**RE: Maverik – Gibson
Grading & Drainage Plans
Engineer's Stamp Date: 12/22/23
Hydrology File: M15D021D**

Dear Mr. Johnson:

Based upon the information provided in your submittal received 01/04/2024, the Grading & Drainage Plans are approved for Building Permit, Grading Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



December 27, 2023

Renee C. Brisette, P.E., CFM
Senior Engineer, Hydrology
Planning Department
P.O. Box 1293
Albuquerque, N.M. 87103

RE: Plan Review – Maverik Yale & Gibson - Plan Review Comment Responses

Dear Renee:

Souder, Miller & Associates (SMA) is pleased to present the response to your review of the Civil Construction Plans provided to Maverik, Inc, Engineering Department on August 25, 2023.

To facilitate your review, we have listed your technical comments and our written responses below.

Review Comment Responses:

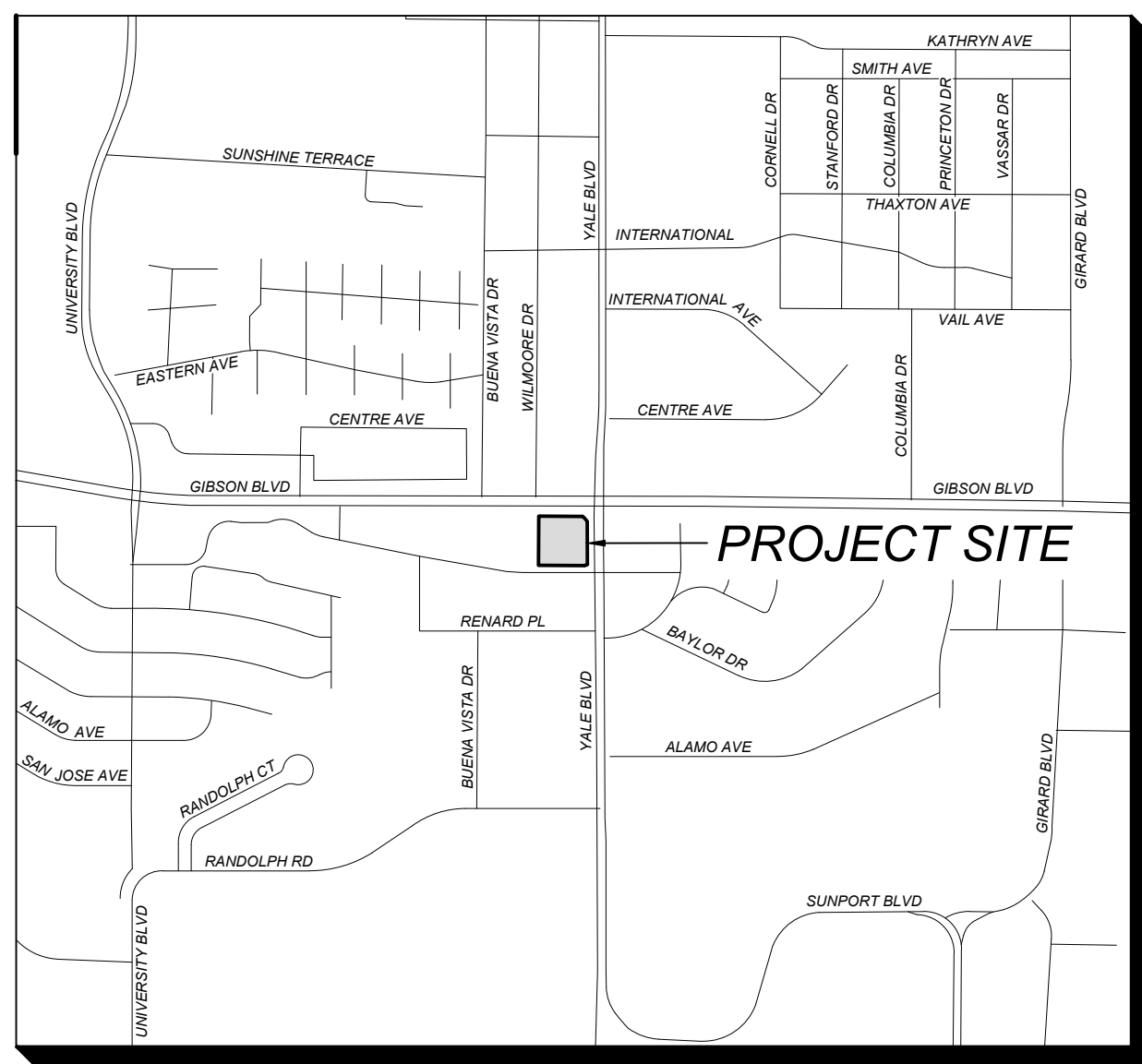
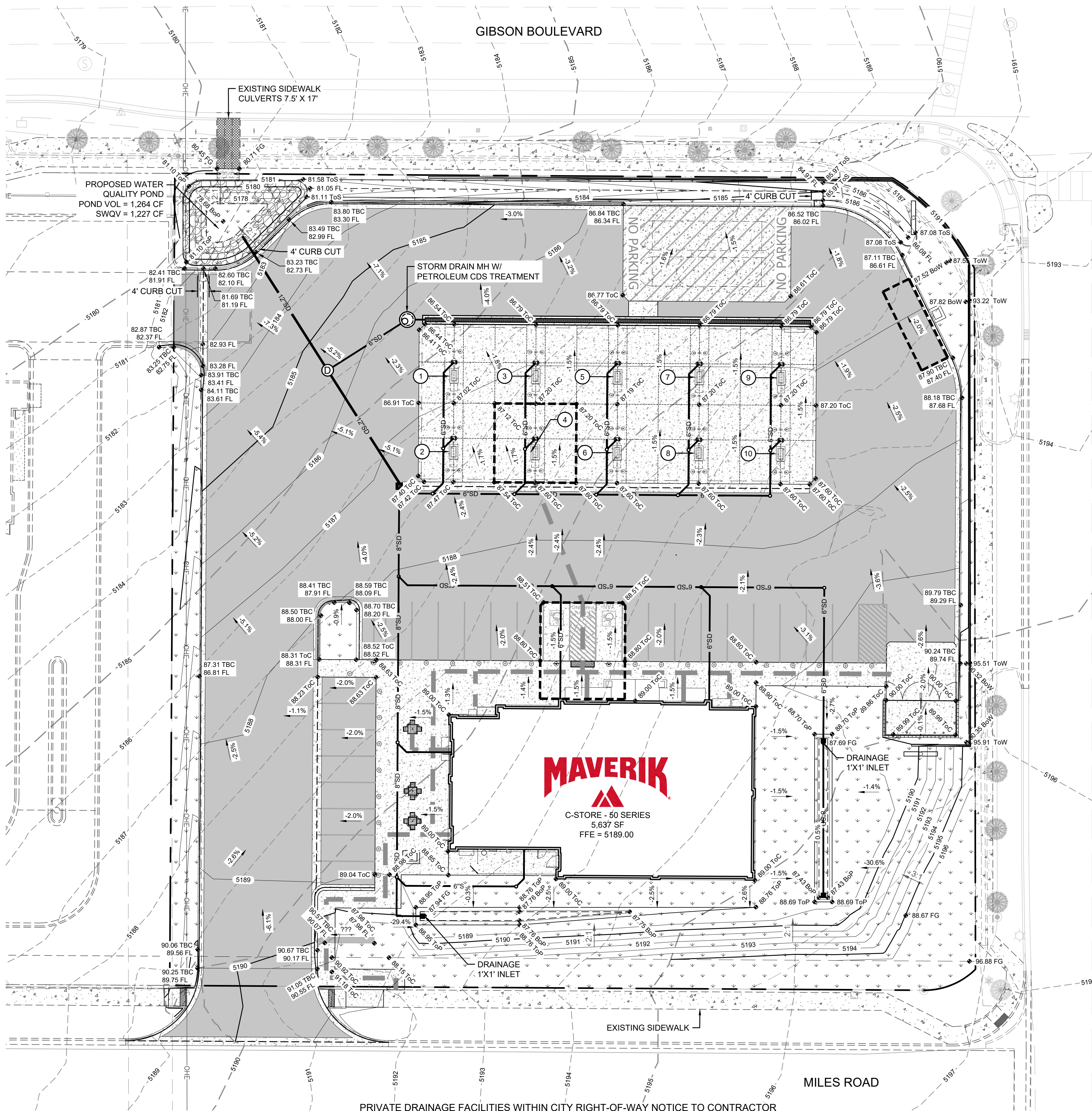
Grading and Drainage Plan:

1. *There appears to be a layer turned off for the existing curb & gutter within Gibson & Yale.*
a. Layers for the existing site have been turned on or unfrozen.
2. *All gas stations must drain to an oil/water separator (the Owner's choice) prior to discharge. This appears to drain into a manhole prior to going into the stormwater quality pond. Please label this manhole as an oil/separator.*
a. Point labels have been rotated to show the CDS manhole and has been labeled.
3. *Please use the latest SO-19 Notes (Attached).*
a. Light pole design has not been provided.
4. *Label "PROPOSED SIDEWALK CULVERT 7.5' X 17", to be modified as Existing.*
a. Label has been changed from Proposed to Existing.
5. *Plans need to be stamped with a full date (month\day\year, this is how they reference it).*
a. Plans have been stamped and dated as requested.

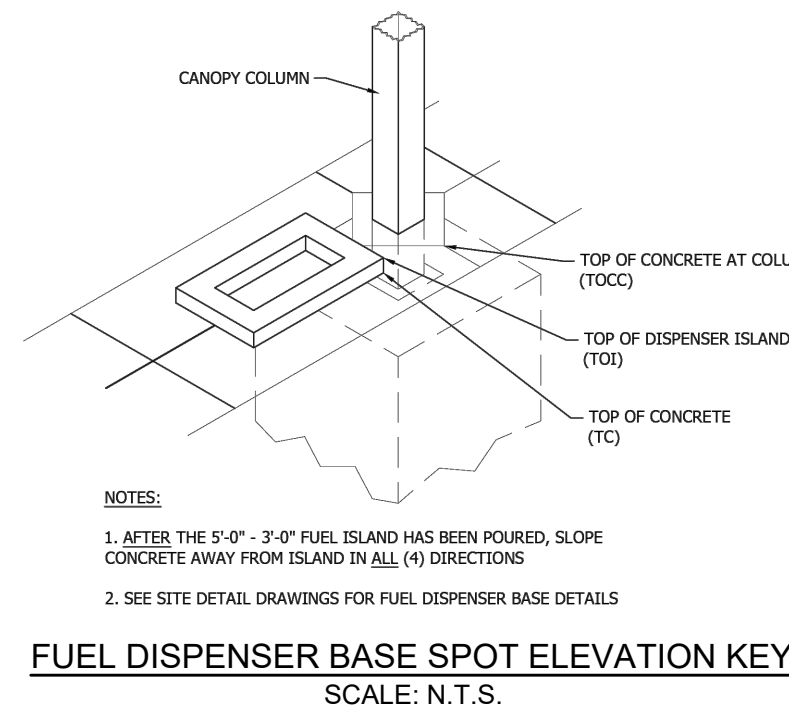
If you have any questions or comments regarding this submittal, please feel free to contact me at (575) 647-0799.

Sincerely,
MILLER ENGINEERS, D/B/A
SOUDER, MILLER & ASSOCIATES

Michael D Johnson, P.E.
Southern NM Civil TS Manager
michael.johnson@soudermiller.com



LOCATION MAP
NOT TO SCALE



FUEL DISPENSER BASE SPOT ELEVATION KEY
SCALE: N.T.S.

GRADING LEGEND

0.0%	DIRECTION OF PROPOSED SURFACE GRADE
4000	PROPOSED MAJOR CONTOURS
4007	PROPOSED MINOR CONTOURS
4005	EXISTING MAJOR CONTOURS
4002	EXISTING MINOR CONTOURS
	PROPOSED SPILL CURB
	PROPOSED CATCH CURB

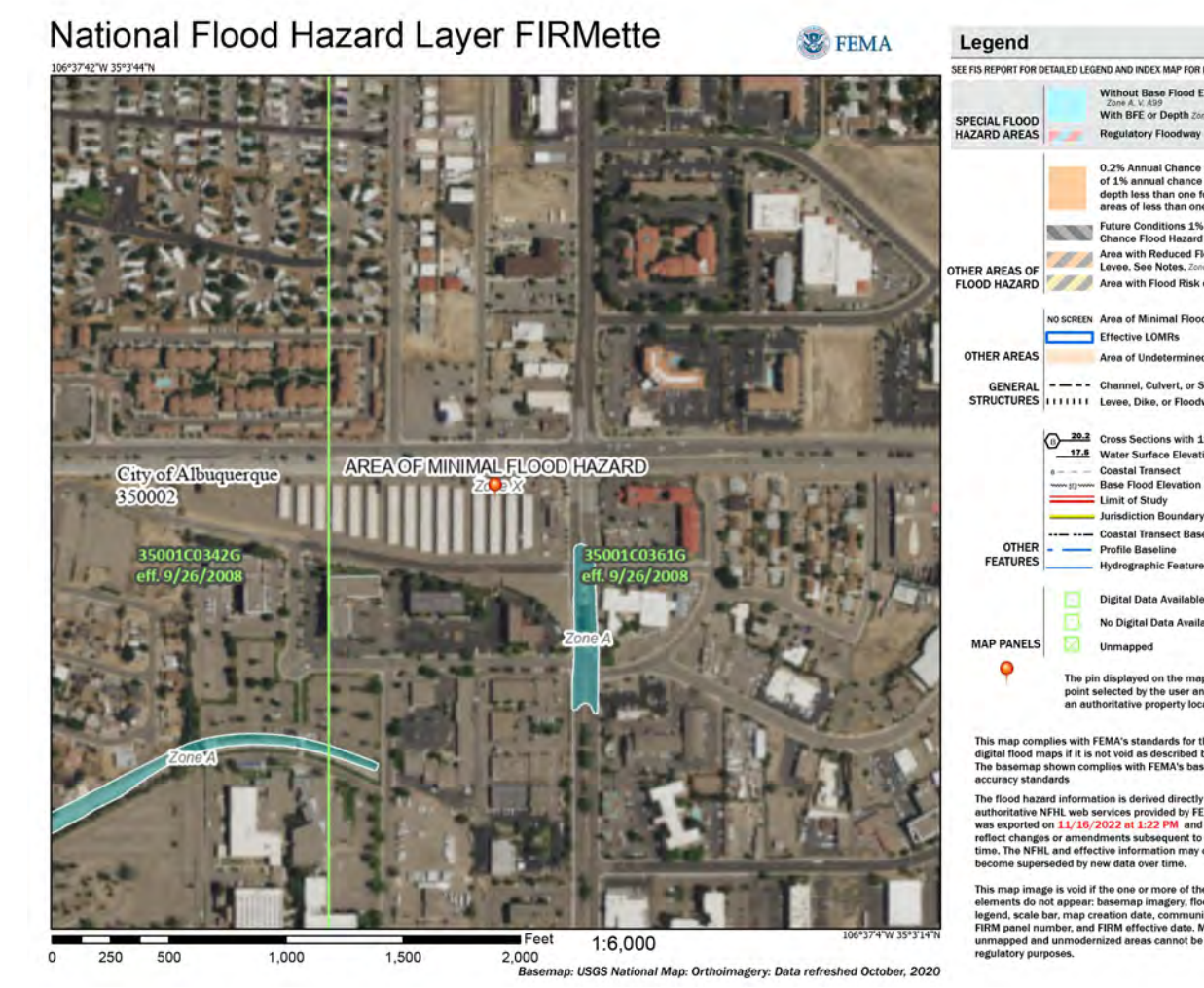
LEGEND

	PROPERTY LINE
	PROPOSED 4500 PSI CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED ASPHALT PAVEMENT
	A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%.
	A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 1.5% IN ANY DIRECTION.

- SITE GRADING NOTES:
- GRADE SIDEWALK ADJACENT TO BUILDING TO DRAIN AWAY FROM STRUCTURE AT 1.5% MINIMUM.
 - ASPHALT GRADES SHOULD BE 2% MINIMUM TO PROVIDE ADEQUATE DRAINAGE. CONCRETE GRADES TO BE 1% MINIMUM.
 - ON-SITE GRADES SHOULD NOT EXCEED 4.5% IF POSSIBLE.
 - PREFER STORMWATER NOT BE ROUTED "THROUGH" FUELING AREA. WHEN POSSIBLE DRAIN AREA UNDER FUEL CANOPY AWAY FROM FUELING POSITIONS. SEE SITE STANDARDS NARRATIVE FOR FURTHER DIRECTION ON GRADING AT FUEL DISPENSER.

FUEL DISPENSER ELEVATIONS			
FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTG.
1	5,185.86	5,185.36	NOTE: TOP OF CONCRETE TO TOP OF COLUMN FOOTING SEPARATION IS 36" MINIMUM. SEE SITE SPECIFIC CANOPY STRUCTURAL DESIGN PLANS.
2	5,186.28	5,185.78	
3	5,186.05	5,185.55	
4	5,186.44	5,185.94	
5	5,186.05	5,185.55	
6	5,186.44	5,185.94	
7	5,186.05	5,185.55	
8	5,186.44	5,185.94	
9	5,186.05	5,185.55	
10	5,186.44	5,185.94	

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/10/24
BY: *Renee C. Brimble*
HydroTrans #: M15D021D
THE APPROVAL OF THESE PLANS AND REPORT SHALL NOT BE CONSIDERED A GUARANTEE OF THE ACCURACY OF ANY CITY OR COUNTY OR STATE LAW, AND SHALL NOT PREVENT THE CITY OR COUNTY FROM BEING HELD RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY, OR FOR ANY DAMAGE TO THE CITY OR COUNTY, OR FOR ANY DAMAGE TO THE STATE, OR FOR ANY DAMAGE TO THE FEDERAL GOVERNMENT, OR FOR ANY DAMAGE TO THE PRIVATE INDUSTRY, OR FOR ANY DAMAGE TO THE PUBLIC, OR FOR ANY DAMAGE TO THE ENVIRONMENT, OR FOR ANY DAMAGE TO THE NATURAL RESOURCES, OR FOR ANY DAMAGE TO THE CULTURAL RESOURCES, OR FOR ANY DAMAGE TO THE HISTORIC RESOURCES, OR FOR ANY DAMAGE TO THE ARCHITECTURAL RESOURCES, OR FOR ANY DAMAGE TO THE ARTS AND CULTURE, OR FOR ANY DAMAGE TO THE RECREATION, OR FOR ANY DAMAGE TO THE TOURISM, OR FOR ANY DAMAGE TO THE ECONOMY, OR FOR ANY DAMAGE TO THE SOCIETY, OR FOR ANY DAMAGE TO THE HUMANITY, OR FOR ANY DAMAGE TO THE PLANET, OR FOR ANY DAMAGE TO THE UNIVERSE.



FEMA FIRMETTE: MAP 35001C0361G
NOT TO SCALE

THE MAVERIK STORE AT 2121 YALE BLVD SE IS PART OF THE LOVELACE HEIGHTS ADDITION MASTER GRADING & DRAINAGE PLAN (M15D021) DATED FEBRUARY 14, 2023.

LEGAL DESCRIPTION
TRACT A-1A OF LOVELACE HEIGHTS ADDITION, BEING A REPLAT OF TRACT A-1 OF SAID ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 11, 1987 IN VOLUME C33, FOLIO 29.

FLOOD ZONE DESIGNATION
THE SITE LIES WITHIN FEMA FLOOD ZONE DESIGNATION X. ZONE X DESIGNATION INDICATES AN AREA OF MINIMAL FLOOD RISK OUTSIDE THE 1% AND 2% ANNUAL CHANCE FLOODPLAINS. THE CORRESPONDING FIS MAP NUMBER FOR THE PROJECT AREA IS MAP #35001C0361G EFFECTIVE 9/26/2008.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19)

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

BENCHMARK
SURVEYING BY: CONSTRUCTION SURVEYING SERVICES.
SURVEY DATE: DECEMBER 7, 2021.
COORDINATES ARE GRID BASED ON NM STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD83 DATUM.

BM1 N: 680,191.18
E: 1,725,912.29

BM2 N: 679,068.41
E: 1,725,904.47
CENTER 1/4 CORNER
SEC 1, T17S, R9E NMPM

COORDINATES ARE GROUND PROJECTED DATA ON A LOCAL HORIZONTAL DATUM.

nm811
Professional Resources for Damage Prevention

To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

12/22/2023
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
Designed RWZ Draw RWZ Checked DWMJR
Date: December 22, 2023
Scale: Horiz: 1" = 20'
Vert: N/A
Project No: 9431291
Sheet: FIG - 1

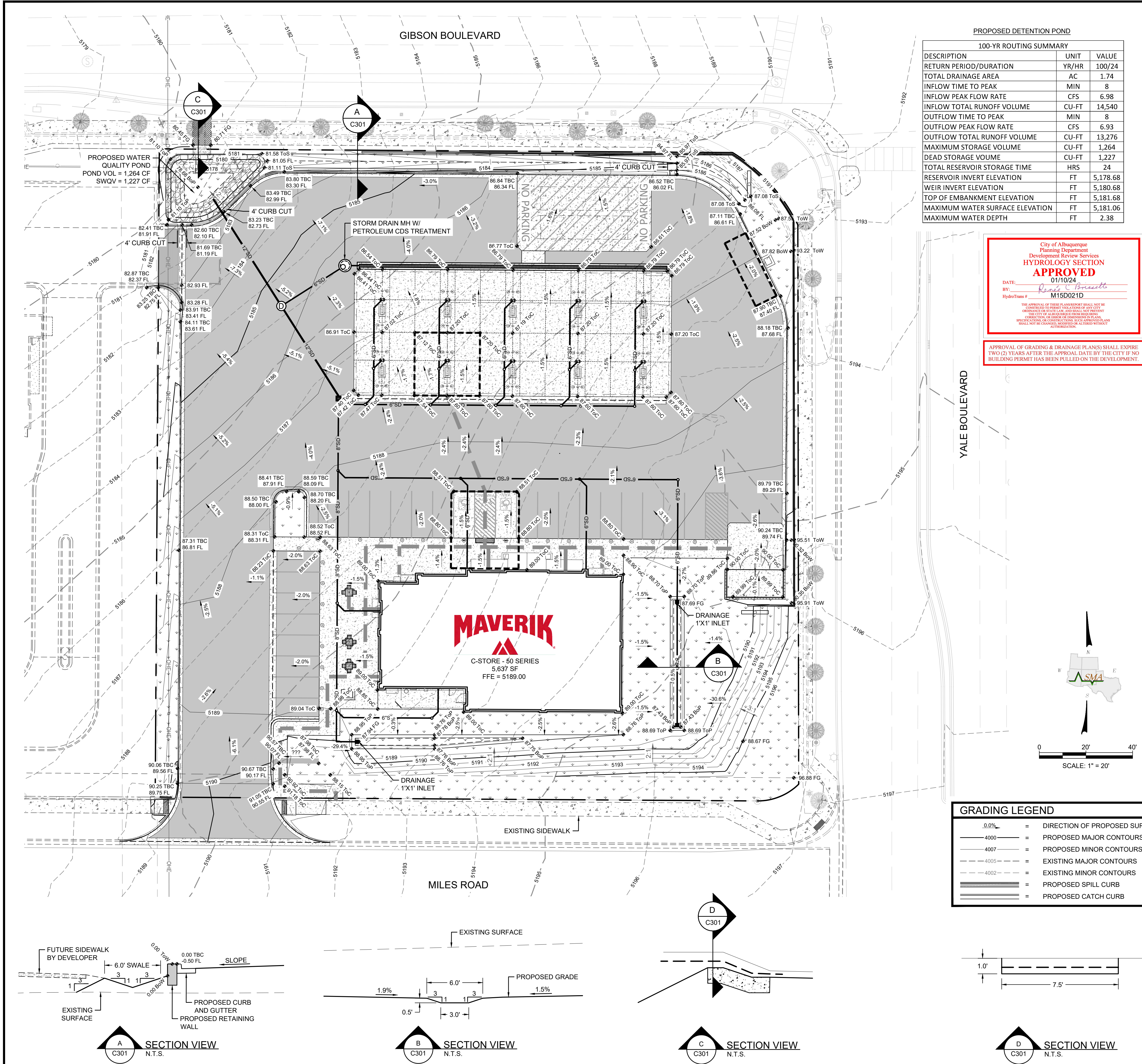
MAVERIK
SOUDEK, MILLER & ASSOCIATES
Engineering • Environmental • Geomatics
Serving the Southwest & Rocky Mountains
3500 Sedona Hills Pkwy.
Las Cruces, NM 88011
Phone (575) 647-0799 Fax (575) 647-0680
www.soudermiller.com

ALBUQUERQUE, NEW MEXICO

MAVERIK STORE
2121 YALE BLVD SE
ALBUQUERQUE, NEW MEXICO
GRADING PLAN

MAVERIK

MICHAEL D. JOHNSON
NEW MEXICO
1975
12/22/2023



100-YR ROUTING SUMMARY		
DESCRIPTION	UNIT	VALUE
RETURN PERIOD/DURATION	YR/HR	100/24
TOTAL DRAINAGE AREA	AC	1.74
INFLOW TIME TO PEAK	MIN	8
INFLOW PEAK FLOW RATE	CFS	6.98
INFLOW TOTAL RUNOFF VOLUME	CU-FT	14,540
OUTFLOW TIME TO PEAK	MIN	8
OUTFLOW PEAK FLOW RATE	CFS	6.93
OUTFLOW TOTAL RUNOFF VOLUME	CU-FT	13,276
MAXIMUM STORAGE VOLUME	CU-FT	1,264
DEAD STORAGE VOLUME	CU-FT	1,227
TOTAL RESERVOIR STORAGE TIME	HRS	24
RESERVOIR INVERT ELEVATION	FT	5,178.68
WEIR INVERT ELEVATION	FT	5,180.68
TOP OF EMBANKMENT ELEVATION	FT	5,181.68
MAXIMUM WATER SURFACE ELEVATION	FT	5,181.06
MAXIMUM WATER DEPTH	FT	2.38

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/10/24
BY: *Ross C. Brissett*
HydroTrans #: M15D021D

THE APPROVAL OF THESE PLANS FOR THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)
PROCEDURE FOR 40 ACRE AND SMALLER BASINS

THE PRIMARY METHOD FOR HYDROLOGY CALCULATIONS IN THE DPM IS BASED ON THE ARID-LANDS HYDROLOGIC MODEL (AHYMO). CALCULATIONS, A SIMPLIFIED PROCEDURE FOR PROJECTS WITH BASINS SMALLER THAN 40 ACRES HAS BEEN DEVELOPED BASED ON INITIAL ABSTRACTION/UNIFORM INFILTRATION PRECIPITATION LOSSES AND RATIONAL METHOD PROCEDURES.

PRECIPITATION ZONES: SECTION 6-2(A)(1)

BERNALILLO COUNTY WITHIN CITY LIMITS HAS BEEN DIVIDED INTO 4 PRECIPITATION ZONES THAT CAN BE REVIEWED IN SECTION 6-2(A)(1). DPM IS BASED ON NATIONAL OCEANIC AND ATMOSPHERIC AGENCY (NOAA) ATLAS 14 PRECIPITATION DATA. FOR THE PROJECT SITE, ZONE 2 HAS BEEN SELECTED FOR LOCATIONS BETWEEN THE RIO GRANDE AND SAN MATEO. AN EXCERPT OF PRECIPITATION DATA FROM TABLE 6.2.8 FOR ZONE 2 FOR THE 100-YEAR STORM EVENT IS INCLUDED BELOW.

PRECIPITATION FOR ZONE 2: 100-YEAR STORM EVENT											
	5	10	12	15	30	60	2	3	6	24	4
	MIN	MIN	MIN	MIN	MIN	MIN	HR	HR	HR	DAY	DAY
DEPTH (IN)	0.565	0.860	1.070	1.440	1.780	2.030	2.100	2.290	2.590	2.960	3.620
INTENSITY (IN/HR)	6.78	5.16	4.81	4.28	2.88	1.78	1.02	0.70	0.38	0.11	0.03

FROM DPM TABLE 6.2.8

LAND TREATMENTS: SECTION 6-2(A)(2)

LAND AREAS ARE DESCRIBED BY ONE OF FOUR BASIC LAND TREATMENTS OR BY A COMBINATION OF THE FOUR LAND TREATMENTS. LAND TREATMENTS CAN BE REVIEWED IN TABLE 6.2.9.

LAND TREATMENTS IN PROJECT SITE					
BASIN	AREA	LAND TREATMENT A (ACRES)	LAND TREATMENT B (ACRES)	LAND TREATMENT C (ACRES)	LAND TREATMENT D (ACRES)
SITE (EXISTING)	1.74	0.0	0.0	0.0	1.74
SITE (DEVELOPED)	1.74	0.0	0.0	0.44	1.30

FROM TABLE 6.2.9 IN DPM

ABSTRACTIONS: SECTION 6-2(A)(3)

INITIAL ABSTRACTION IS THE PRECIPITATION DEPTH THAT MUST BE EXCEEDED BEFORE DIRECT RUNOFF BEGINS. INITIAL ABSTRACTION MAY BE INTERCEPTED BY VEGETATION, RETAINED IN SURFACE DEPRESSIONS, OR ABSORBED ON THE WATERSHED SURFACE.

ABSTRACTION IN PROJECT SITE BY LAND TREATMENT					
BASIN	ABSTRACTION FOR TREATMENT A	ABSTRACTION FOR TREATMENT B	ABSTRACTION FOR TREATMENT C	ABSTRACTION FOR TREATMENT D	WEIGHTED INITIAL ABSTRACTION (IN)
SITE (EXISTING)	0.65	0.50	0.35	0.10	0.10
SITE (DEVELOPED)	0.65	0.50	0.35	0.10	0.16

FROM TABLE 6.2.11 IN DPM

EXCESS PRECIPITATION AND VOLUMETRIC RUNOFF: SECTION 6-2(A)(4)

EXCESS PRECIPITATION, E, IS THE DEPTH OF PRECIPITATION REMAINING AFTER ABSTRACTIONS ARE REMOVED. EXCESS PRECIPITATION DOES NOT DEPEND ON WATERSHED AREA. EXCESS PRECIPITATION IS DETERMINED BY SUBTRACTING THE INITIAL ABSTRACTION AND INFILTRATION FROM THE DESIGN STORM HYDROGRAPH.

HISTORIC VOLUMETRIC RUNOFF PER EQUATION 6.2 = 16,616 CU-FT
DEVELOPED VOLUMETRIC RUNOFF PER EQUATION 6.2 = 14,540 CU-FT

EXCESS PRECIPITATION IN PROJECT SITE BY LAND TREATMENT					
BASIN	EXCESS PRECIPITATION TREATMENT A	EXCESS PRECIPITATION TREATMENT B	EXCESS PRECIPITATION TREATMENT C	EXCESS PRECIPITATION TREATMENT D	WEIGHTED EXCESS PRECIPITATION (IN)
SITE (EXISTING)	0.62	0.80	1.03	2.33	2.32
SITE (DEVELOPED)	0.62	0.80	1.03	2.33	2.00

FROM TABLE 6.2.13 IN DPM

PEAK DISCHARGE RATE FOR SMALL WATERSHEDS: SECTION 6-2(A)(5)

PEAK DISCHARGE RATES ARE GIVEN IN TABLE 6.2.14 FOR SMALL WATERSHEDS, LESS THAN OR EQUAL TO 40 ACRES, WHERE THE TIME OF CONCENTRATION IS ASSUMED TO BE 12 MINUTES.

HISTORIC PEAK DISCHARGE RATE PER EQUATION 6.6 = 7.55 CFS
DEVELOPED PEAK DISCHARGE RATE PER EQUATION 6.6 = 6.98 CFS

STORM WATER QUALITY VOLUME

TO CALCULATE THE REQUIRED SWQV, THE IMPERVIOUS AREA IS MULTIPLIED BY 0.42" FOR NEW DEVELOPMENT OR 0.26" FOR REDEVELOPMENT SITES.

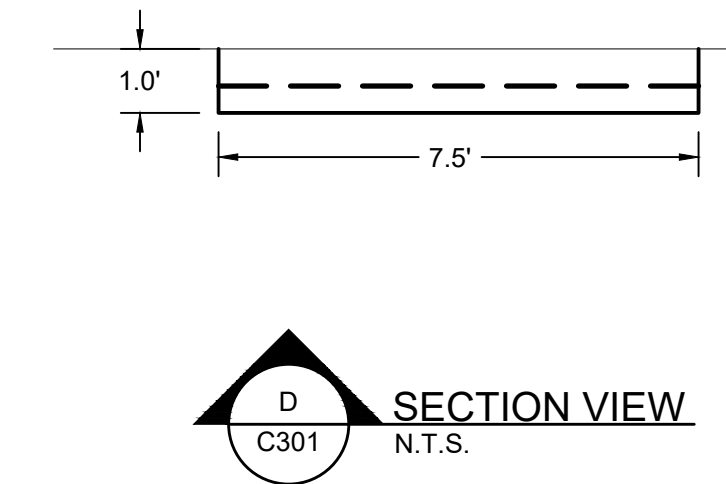
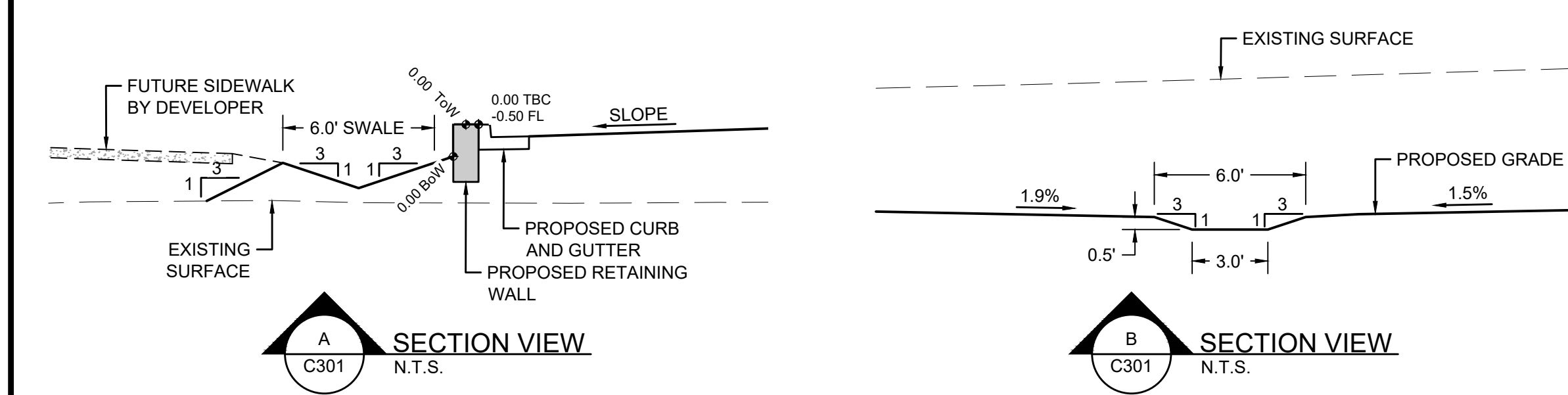
(1.30 AC * 43,560 FT² / AC) * (0.26 IN * 1 FT / 12 IN) = 1,481 CU-FT
REQUIRED VOLUME TO BE RETAINED IN BMP: 1,227 CU-FT
PROVIDED VOLUME TO BE RETAINED IN BMP: 1,264 CU-FT

FLOOD ZONE DESIGNATION

THE SITE LIES WITHIN FEMA FLOOD ZONE DESIGNATION X. ZONE X DESIGNATION INDICATES AN AREA OF MINIMAL FLOOD RISK OUTSIDE THE 1% AND 2% ANNUAL CHANCE FLOODPLAINS. THE CORRESPONDING FIS MAP NUMBER FOR THE PROJECT AREA IS MAP #35001C0361G EFFECTIVE 9/26/2008.

GRADING LEGEND	
0.0%	= DIRECTION OF PROPOSED SURFACE GRADE
4000	= PROPOSED MAJOR CONTOURS
4007	= PROPOSED MINOR CONTOURS
4005	= EXISTING MAJOR CONTOURS
4002	= EXISTING MINOR CONTOURS
PROPOSED SPILL CURB	= PROPOSED SPILL CURB
PROPOSED CATCH CURB	= PROPOSED CATCH CURB

LEGEND	
PROPERTY LINE	
PROPOSED 4500 PSI CONCRETE PAVEMENT	
PROPOSED LANDSCAPE AREA	
PROPOSED ASPHALT PAVEMENT	
A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%.	
A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 1.5% IN ANY DIRECTION.	



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MAVERIK
ALBUQUERQUE, NEW MEXICO
MAVERIK STORE
2121 YALE BLVD SE
ALBUQUERQUE, NEW MEXICO
DRAINAGE PLAN

MICHAEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
12/22/2023
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
Designed RWZ Drawn RWZ Checked DWMJR
Date: December 22, 2023
Scale: Horiz: 1" = 20' Vert: N/A
Project No: 9431291
Sheet: FIG - 2