

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

August 3, 2023

Megan Clark  
Prescott Muir Architects  
171 West Pierpont Ave.  
SLC, UT 84111

**Re: Maverik- Albuquerque**  
**2121 Yale Blvd. SE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp XX-XX-XX (M15-D021D)

Dear Ms. Clark,

Based upon the information provided in your submittal received 07-26-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle parking spaces required by the IDO.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Identify all existing access easements and rights of way width dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Gibson Blvd., Yale Blvd. and Miles Rd.
5. A minimum 5 ft. Wide sidewalk and 5 ft. wide buffer is required to be developed from property line to property line along Miles Rd. please show dimensions and details on the site plan, and reference COA std dwg 2430.
6. Please clarify: are you going to develop a sidewalk and buffer along Gibson Blvd. and Yale Blvd.? If so, please provide details and reference COA std dwg.
7. Site access off Miles: Show on the site plan the site access details and radii.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
9. ADA curb ramps must be updated to current standards and have truncated domes installed.
10. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
12. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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- c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
- 13. Bicycle racks shall be sturdy and anchored to a concrete pad.
  - 14. A 1-foot clear zone around the bicycle parking stall shall be provided.
  - 15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
  - 16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
  - 17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
  - 18. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
  - 19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
  - 20. Provide a copy of Fire approval.
  - 21. Please specify the City Standard Drawing Number when applicable.
  - 22. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
  - 23. Work within the public right of way requires a work order with DRC approved plans.
  - 24. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
  - 25. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
  - 26. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).
  - 27. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

- 1. The Traffic Circulation Layout

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2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

\ma via: email  
C: CO Clerk, File

NM 87103

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Maverik - Albuquerque Building Permit # BP-2022-53532 Hydrology File # \_\_\_\_\_  
DRB# \_\_\_\_\_ EPC# \_\_\_\_\_  
Legal Description: \_\_\_\_\_ City Address OR Parcel 101505551949511606  
LT F PLAT OF LOTS A THRU F LOVELACE HEIGHTS ADDITION (BEING A REPLAT OF TRACTS A-1A, B-1 AND C-1, LOVELACE  
HEIGHTS ADDITION) CONT 1.7441 AC  
Applicant/Agent: Prescott Muir Architects Contact: Megan Clark  
Address: 171 West Pierpont Ave., SLC, UT 84101 Phone: 801-521-9111  
Email: megancl@prescottmuir.com

Applicant/Owner: Maverik, Inc. Contact: Jana Ward  
Address: 185 South State Street #800, SLC, UT 84111 Phone: 801-678-1996  
Email: jana.ward@maverik.com

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE: \_\_\_\_\_  
RE-SUBMITTAL: \_\_\_\_\_ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE  
Check all that apply:

### TYPE OF SUBMITTAL:

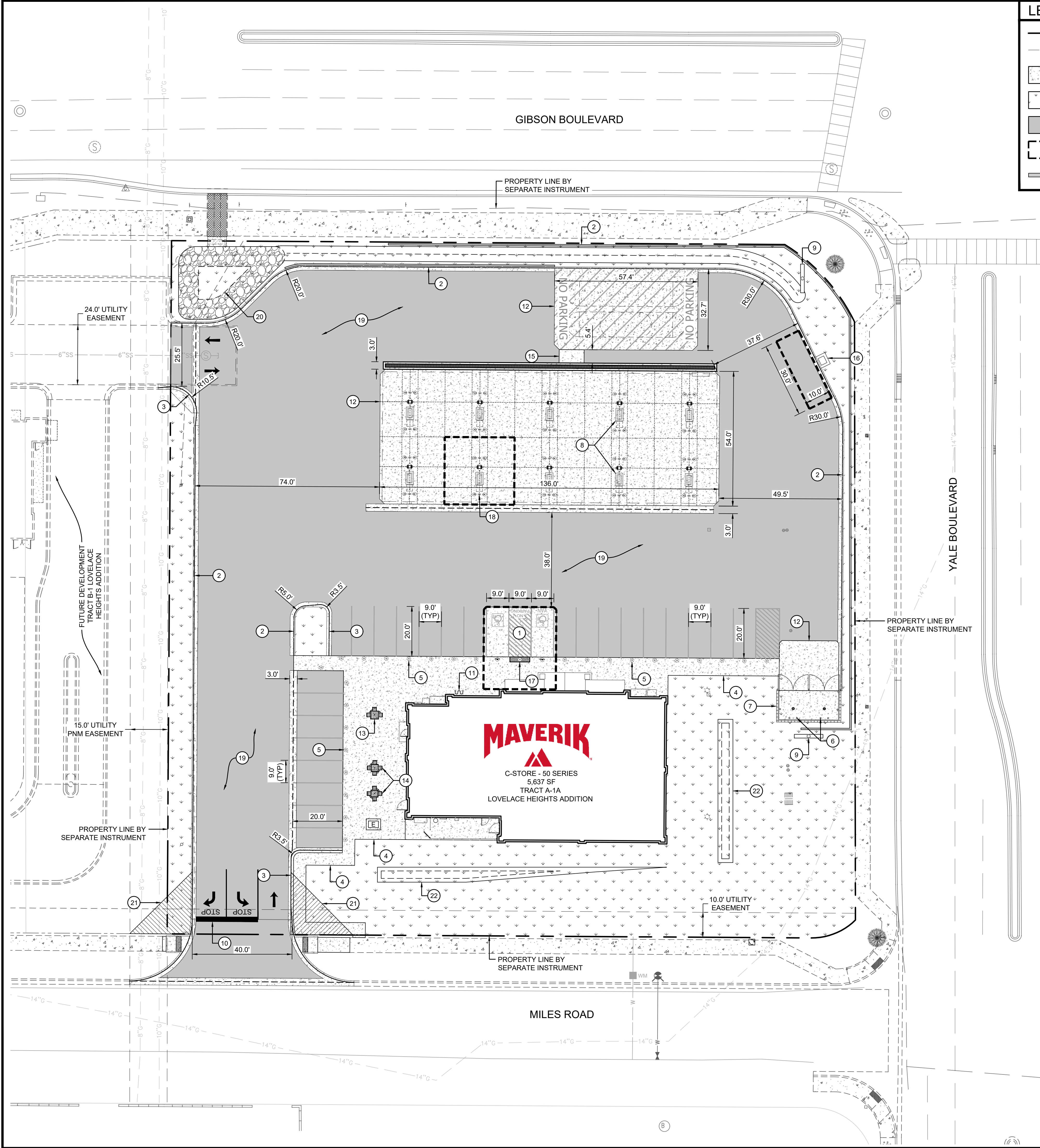
\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G&D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOOD PLAN DEVELOPMENT PERMIT APP.  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ ADMINISTRATIVE  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT FOR DRB  
\_\_\_\_ APPROVAL  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

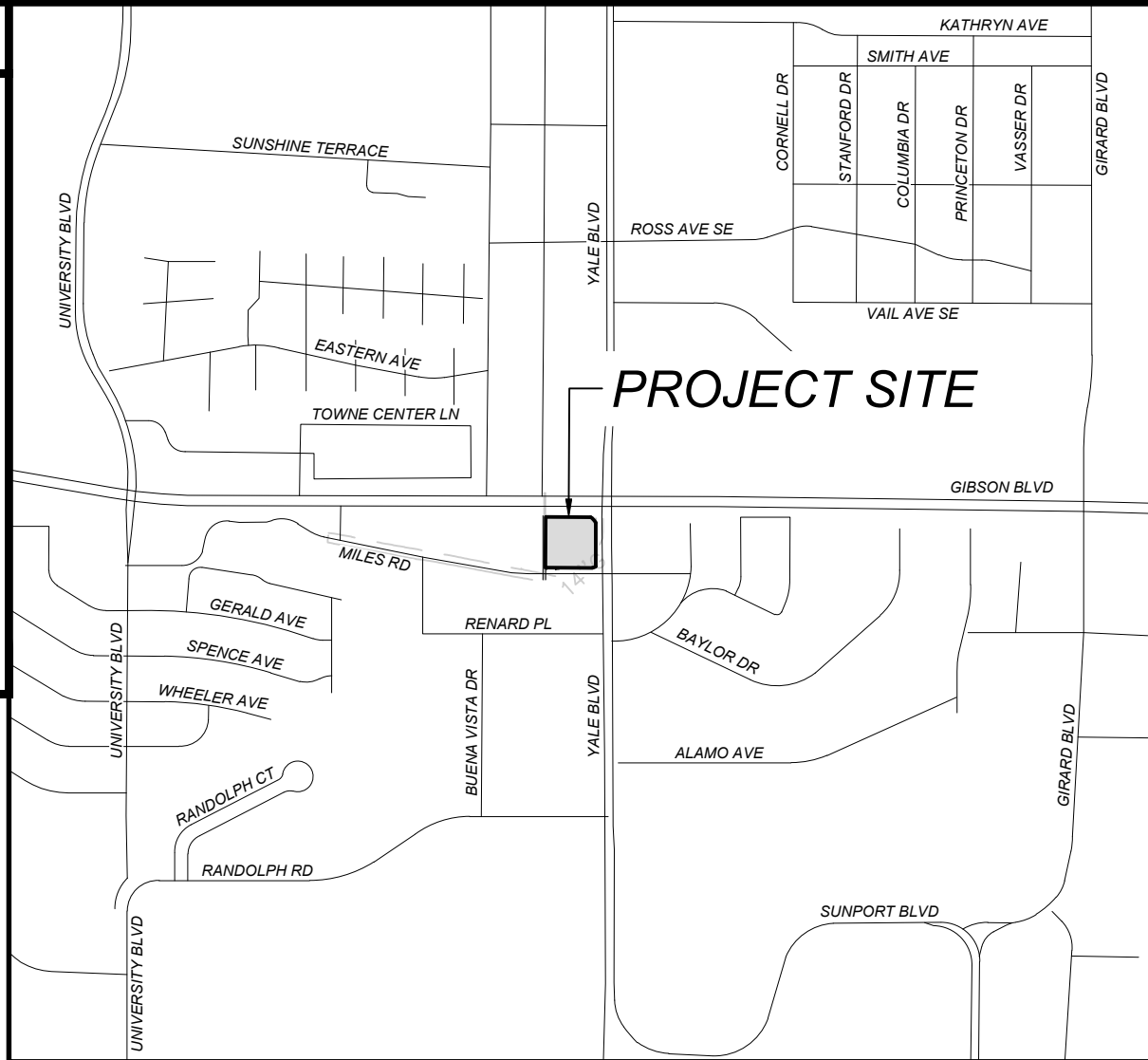
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ CONCEPTUAL TCL DRB APPROVAL  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOOD PLAN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 07/25/23





LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED ASPHALT PAVEMENT (HEAVY DUTY)
	A.D.A. ACCESSIBLE AREAS
	PROPOSED RETAINING WALL



SITE DATA	
PROPOSED USAGE:	GAS CONVENIENCE STORE
LOT AREA:	75,973.14 SF
BUILDING AREA:	5,637 SF
ASPHALT AREA:	36,111.72 SF
LANDSCAPED AREA:	19,432.07 SF
PARKING REQUIREMENT:	23 SPACES
PARKING PROVIDED:	PERPENDICULAR PARKING STALLS 9' x 20'. 24 SPACES PROVIDED
HC PARKING REQUIREMENT:	2 SPACES
HC PARKING PROVIDED:	1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE
BICYCLE PARKING REQUIREMENT:	2
BICYCLE PARKING PROVIDED:	2

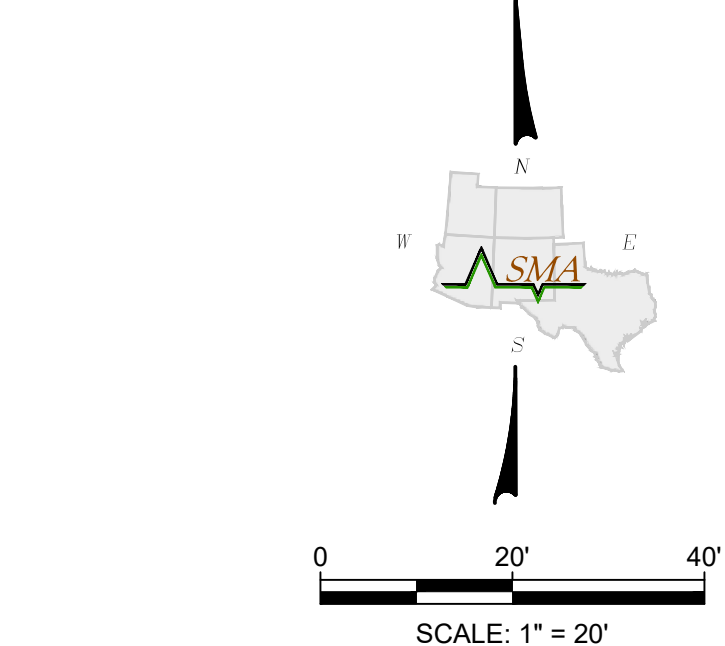
**LEGAL DESCRIPTION:**

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING AND COMPRISING ALL OF TRACTS "B-1" AND "C-1" OF LOVELACE HEIGHTS ADDITION, BEING A REPLAT OF LOVELACE HEIGHTS ADDITION AND TRACT 1-A, OF NEWPORT INDUSTRIAL PARK WEST-UNIT 2, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 30, 1985 IN VOLUME C28, FOLIO 44 AND ALL OF TRACT A-1A OF LOVELACE HEIGHTS ADDITION, BEING A REPLAT OF TRACT A-1 OF SAID ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON SAID REPLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 11, 1987 IN VOLUME C33, FOLIO 29.

**CLEAR SIGHT TRIANGLE NOTE:**

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS; THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES:**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN
  - 2 STANDARD CURB & GUTTER
  - 3 MOUNTABLE CURB & GUTTER
  - 4 CONCRETE SIDEWALK
  - 5 REBOUNDING BOLLARD
  - 6 PIPE BOLLARD
  - 7 TRASH ENCLOSURE
  - 8 FUEL PUMP ISLAND
  - 9 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
  - 10 2' STOP BAR
  - 11 BICYCLE RACKS
  - 12 CONCRETE SLAB W/CHAMFERED CORNERS
  - 13 ADA PICNIC TABLE
  - 14 PICNIC TABLE
  - 15 PETROLEUM TRENCH CAP SECTION
  - 16 XACTIAR AIR STATION
  - 17 TRUNCATED DOMES
  - 18 "HOOP BOLLARD
  - 19 ASPHALT
  - 20 WATER QUALITY POND
  - 21 CLEAR SIGHT TRIANGLE
  - 22 DRAINAGE DEPRESSION



**To Request a Line Locate Dial 811**

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.



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ALBUQUERQUE, NEW MEXICO  
**MAVERIK STORE**  
2121 YALE BLVD SE  
ALBUQUERQUE, NEW MEXICO  
TRAFFIC CIRCULATION LAYOUT PLAN

MAVERIK

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed RWZ	Drawn RWZ	Checked DWMJR
Date:	June 2023	
Scale:	Horiz:	1" = 20'
	Vert:	N/A
Project No:	9431291	
Sheet:	TCL 1	