CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2023

Troy D. Kelts, PE Galloway 5500 Greenwood Plaza Blvd. Greenwood Village, CO 80111

Re: Take 5 Oil Change 2151 Gibson Blvd. SE Traffic Circulation Layout Engineer's Stamp 08-28-23 (M15-D021E)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 09-20-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Identify all existing access easements and rights of way width dimensions.
- PO Box 1293
- 2. Identify the right of way width, medians, curb cuts, and street widths on Gibson Blvd. and Miles Rd.
- 3. Per the DPM, the minimum two-way traffic drive aisle width should be 22 ft.
- Albuquerque
- 4. Please provide shared access and shared drive aisle agreement.
- 5. Sheet C1.4 shows an ADA handrails details. Please clarify the location of the proposed handrails.
- NM 87103
- 6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of signs.

www.cabq.gov

- 7. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- 8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 9. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
- 10. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
- 11. Please provide a copy of Fire Marshal approval.
- 12. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
- 13. Please specify the City Standard Drawing Number when applicable.

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- 14. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).
 - 15. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

- 1. The Traffic Circulation Layout
- 2. A Drainage Transportation Information Sheet (DTIS)
- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- 4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

PO Box 1293

Sincerely,

Albuquerque

Marwa Al-najjar

NM 87103

Marwa Al-najjar Associate Engineer, Planning Dept.

Development Review Services

www.cabq.gov

\ma via: emailC: CO Clerk, File

DURBAN DEVELOPMENT

TAKE 5 OIL CHANGE

LOCATED ON THE S.W. CORNER OF GIBSON BLVD AND YALE BLVD CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 2151 GIBSON BOULEVARD

CIVIL CONSTRUCTION DRAWINGS

CPN# XXXXX

OWNER/DEVELOPER

DURBAN DEVELOPMENT 106 FOSTER AVENUE CHARLOTTE, NC, 28203 EMAIL: zach.holland@durbandevelopment.com ATTN: ZACK HOLLAND, ASST DIR.

CIVIL ENGINEER

GALLOWAY & COMPANY, INC. 5500 GREENWOOD PLAZA BLVD., SUITE 200 GREENWOOD VILLAGE, COLORADO 80111 TEL: (303) 770-8884 ATTN: TRÓY KELTS, P.E.

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC. 5500 GREENWOOD PLAZA BLVD., SUITE 200 GREENWOOD VILLAGE, COLORADO 80111 TEL: (303) 770-8884 ATTN: TRÓY NOSER, RLA

SURVEYOR

SURV-TEK, INC. P.O. BOX 66885 ALBUQUERQUE, NM 87114 TEL: (505) 300-4732 ATTN: RUSS P. HUGG, P.S.

GEOTECHNICAL ENGINEER

WESTERN TECHNOLOGIES, INC. 8305 WASHINGTON PLACE ALBUQUERQUE, NM 87113 TEL: (602) 437-3737 ATTN: JUSTIN M. HEINECKE, P.E.

AGENCIES

PLANNING

CITY OF ALBUQUERQUE PLANNING DEPARTMENT PLAZA DEL SOL BUILDING 600 SECOND NW ALBUQUERQUE, NM 87102 TEL: (505) 924-3860 EMAIL: PLANNINGDEPARTMENT@CABQ.GOV

WATER & SANITARY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 1441 MISSION AVE. NE ALBUQUERQUE, NM 87113 TEL: 505-842-WATR

STORM SEWER

DEPARTMENT OF MUNICIPAL DEVELOPMENT ONE CIVIC PLAZA ROOM 7057 ALBUQUERQUE, NEW MEXICO 87102 TEL: (505) 768-3830

RIGHT-OF-WAY ACTIVITIES

CONSTRUCTION SERVICES DIVISION 600 SECOND STREET NW, ROOM 800 ALBUQUERQUE NM, 87102 TEL: (505) 924-3400

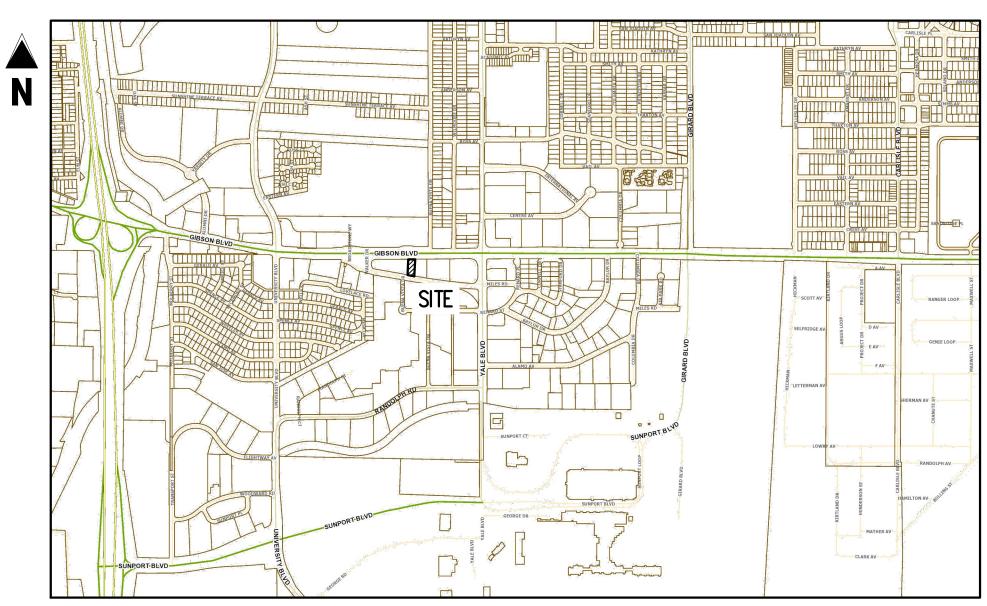
ELECTRIC

414 SILVER AVENUE SW ALBUQUERQUE, NM 87102 TEL: (505) 241-2700

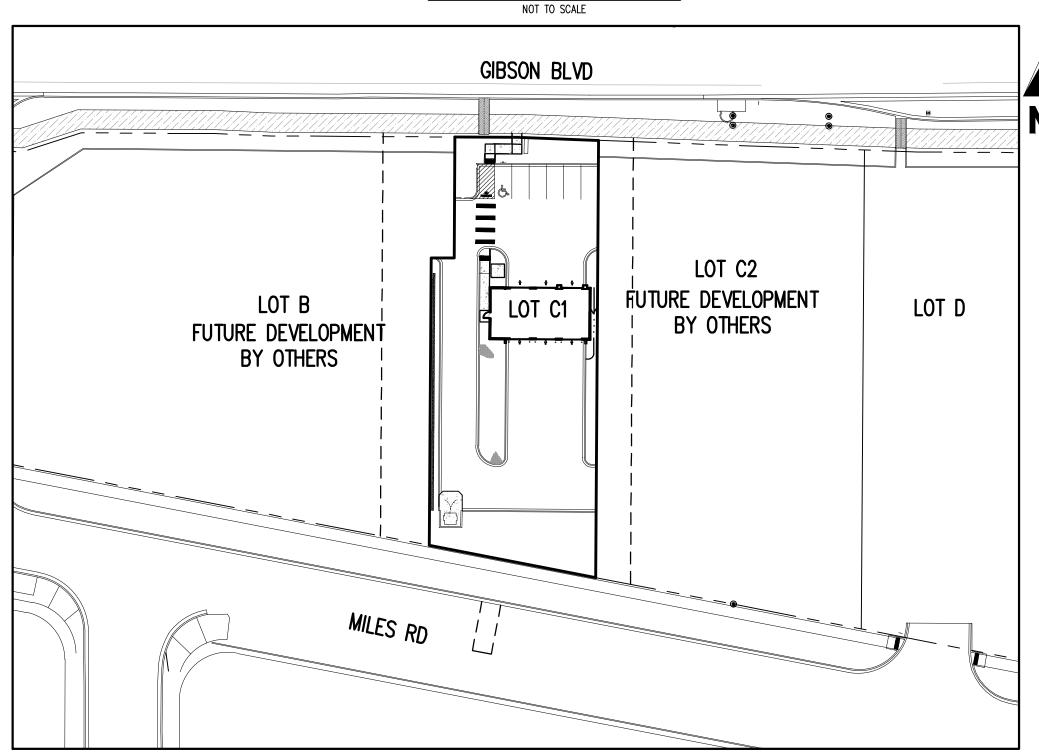
FIRE PROTECTION

ALBUQUERQUE FIRE RESCUE 11500 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 TEL: (505) 244-3473

NEW MEXICO GAS COMPANY 4625 EDITH BOULEVARD ALBUQUERQUE, NM 87107 TEL: (888) 664-2726



ZONE MAP: M-15 AND L-15



PROJECT MAP

SITE DATA

THIS PROJECT ENCOMPASSES THE DEVELOPMENT OF A DRIVE-THRU OIL CHANGE FACILITY LOCATED ON LOT C-1 LOVELACE HEIGHTS ADDITION, 2040 GIBSON BOULEVARD SE.THE DEVELOPMENT IS CONSISTENT WITH THE CURRENT NON-RESIDENTIAL - COMMERCIAL ZONE DISTRICT (NR-C) LAND USE DESIGNATION. RIGHT-OF-WAY DEDICATION AND IMPROVEMENTS WERE PREVIOUSLY WITH THE OVERALL DEVELOPMENT LOVELACE HEIGHTS ADDITION,

SHEET

NUMBER

CO.0

BUILDING ADDRESS: 2151 GIBSON BOULEVARD SE, ALBUQUERQUE, NEW MEXICO 87108

SITE ACREAGE: PROPERTY: 0.42AC (18,365 SF) PARCEL ID: 1015055412513111601

BUILDING GROSS SQUARE FOOTAGE: 1,438 SQ. FT. 3 BAY DRIVE THRU OIL CHANGE

LIGHT VEHICLE REPAIR FACILITY DRIVE-UP OR DRIVE-THROUGH FACILITY

<u>IDO ZONING INFORMATION:</u> ZONING: NON-RESIDENTIAL COMMERCIAL (NR-C) JURISDICTION: CITY OF ALBUQUERQUE ZONE MAP: M-15 AND L-15

THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PER IDO SECTION 5-5(B)(1)(a) OFF-STREET PARKING CALCULATIONS: CONSTRUCTION OF A NEW PRIMARY BUILDING REQUIRES COMPLIANCE WITH THE STANDARDS IN SECTION 14-16-5-5.

REQUIRED PARKING:

AREA 1,438 GSF TOTAL REQUIRED PARKING: 1,438 * 1 SPACES PER 1,000 GSF = 1.4 SPACES

REQUIRED ADA ACCESSIBLE PARKING SPACES: REQUIRED:1 SPACE

PER ADAAG: IN PARKING FACILITIES WITH 1-25 TOTAL SPACES, PROVIDE 1 ACCESSIBLE SPACE MINIMUM.

INCLUDED FOR REFERENCE

REGULAR SPACES: 5 ADA SPACES: 1

SETBACKS: FRONT: 5' SIDE: 0'

REAR: 0' **BUFFERS:** FRONT: 8' SIDE: 0'

REAR: 0'

SHEET LIST TABLE INCLUDED WITH TCL SHEET TITLE

C1.0 C1.1 HORIZONTAL CONTROL PLAN C1.2 TRUCK TURN PLAN C1.3 SITE DETAILS C1.4 SITE DETAILS C2.0 UTILITY PLAN C3.0 GRADING PLAN C3.1 POND GRADING DETAILS

COVER SHEET

SITE PLAN

C4.0 EROSION CONTROL PLAN C4.1 EROSION CONTROL DETAILS C4.2 EROSION CONTROL DETAILS L1.0 LANDSCAPE PLAN

L2.0 LANDSCAPE NOTES & DETAILS IR1.0 IRRIGATION PLAN IR2.0 IRRIGATION NOTES & DETAILS IRRIGATION NOTES & DETAILS

GRADING AND DRAINAGE PLAN

CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION BASIS OF BEARING

BEARINGS ARE GRID AND BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD 83).

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OR LOT LETTERED "C" OF C-1. LOVELACE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE. BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C,

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC. PROJECT NO: 3220JJ031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCÉPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

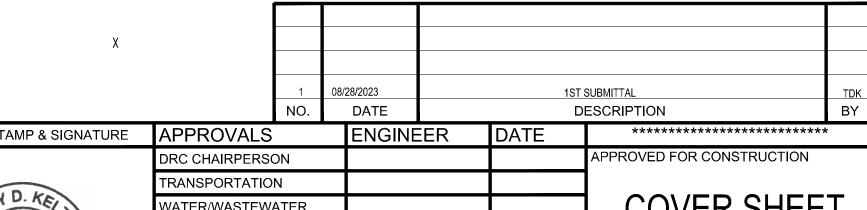
NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

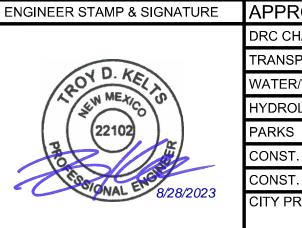
NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.



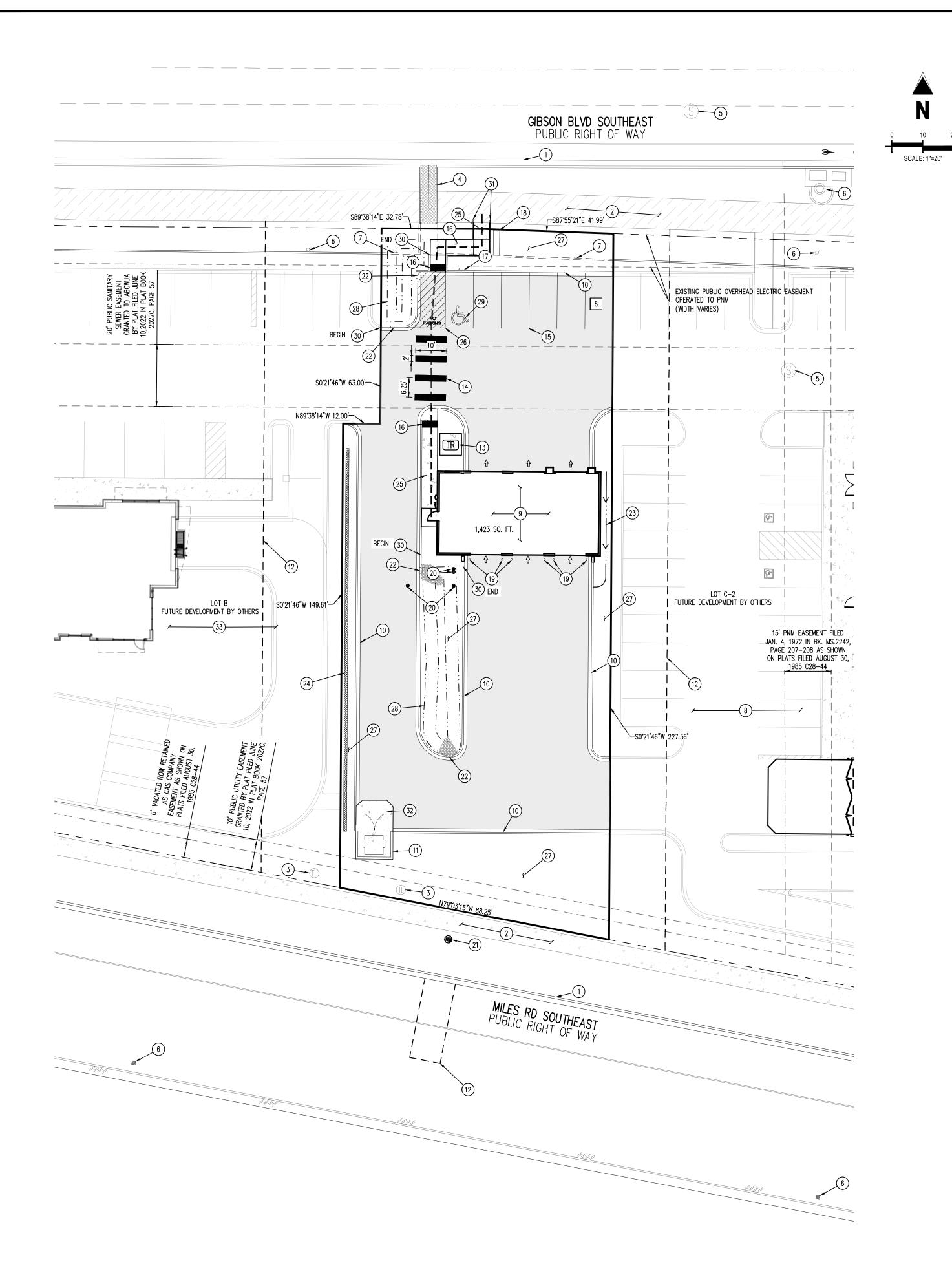
Greenwood Village, CO 80111 303.770.8884 GallowayUS.com





COVER SHEET WATER/WASTEWATER HYDROLOGY ITY ENGINEER CONST. MGMT. ONST. COORD. ITY PROJECT NO. SHEET

C0.0 PAGE 1 OF 17



SITE LEGEND

EXISTING PROPERTY BOUNDARY LINE

EXISTING ADJACENT PROPERTY BOUNDARY

EXISTING ROW

EXISTING EASEMENT

PROPOSED CURB AND GUTTER

EXISTING CURB AND GUTTER

PROPOSED ADA PATH

PROPOSED CONCRETE SIDEWALK

PROPOSED RETAINING WALL

EXISTING ASPHALT TRAIL TO REMAIN

EXISTING SIDEWALK TO REMAIN

PROPOSED ASPHALT

EXISTING COMMUNICATIONS PEDESTAL TO REAMAIN

EXISTING SANITARY SEWER MANHOLE TO REMAIN

EXISTING UTILITY POLE TO REMAIN

PROPOSED SANITARY SEWER CLEANOUTS

PROPOSED TRANSFORMER

PROPOSED WATER METER

PROPOSED BOLLARD

SITE SCHEDULE

- 1) EXISTING CURB AND GUTTER TO REMAIN
- 2 EXISTING SIDEWALK/TRAIL TO REMAIN
- (3) EXISTING COMMUNICATIONS PEDESTAL TO REMAIN
- 4 EXISTING SIDEWALK CULVERT TO REMAIN
- (5) EXISTING SANITARY SEWER MANHOLE TO REMAIN
- 6 EXISTING OVERHEAD ELECTRIC POLE TO REMAIN
- 7) EXISTING TEMPORARY ASPHALT CURB TO BE REMOVED
- 8 EXISTING ASPHALT PARKING LOT TO REMAIN
- 9 PROPOSED BUILDING
- PROPOSED CURB AND GUTTER. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED TRASH ENCLOSURE. REFERENCE ARCHITECTURE PLANS FOR ADDITIONAL INFORMATION
- 12) PROPOSED SAWCUT LINE
- PROPOSED TRANSFORMER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 14) PROPOSED CROSSWALK STRIPING PER COA STANDARD DWG 2600-106
- (15) PROPOSED PARKING STALL STRIPING, 4" SOLID WHITE LINE
- PROPOSED CURB RAMP. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION. SEE COA DETAILS 2440–2446
- PROPOSED ACCESSIBLE PARKING SIGN PER DETAIL 66-7-352.4C NMSA 1978
- PROPOSED MONUMENT SIGN. REFERENCE ARCHITECTURE PLANS FOR ADDITIONAL INFORMATION
- PROPOSED BOLLARD. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SANITARY SEWER CLEANOUT. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- PROPOSED WATER METER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- PROPOSED CURB OPENING. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SWALE. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- PROPOSED RETAINING WALL MAX HEIGHT 2'. REFERENCE GRADING PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION
- (25) PROPOSED SIDEWALK PER COA STANDARD DWG 2430
- FINOPOSED SIDEMALK FER CON STANDARD DING 2450
- PROPOSED ADA ACCESS AISLE WITH "NO PARKING" PER DETAIL 66-1-4.1 B NMSA 1978
- PROPOSED LANDSCAPING. REFERENCE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
- PROPOSED TOP OF WATER QUALITY POND. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- PROPOSED PAINTED ACCESSIBLE PARKING SYMBOL. SEE SITE DETAILS FOR MORE INFORMATION
- PROPOSED EXPOSED BACK OF CURB. SEE SITE DETAILS FOR MORE INFORMATION
- 31) PROPOSED HANDRAIL. SEE SITE DETAILS FOR MORE INFORMATION
- 32) PROPOSED HEAVY DUTY CONCRETE
- PROPERTY UNDER CONSTRUCTION, CONTRACTOR TO VERIFY AS-BUILT CONDITIONS ALONG WEST FRONTAGE FOR ANY MAJOR CONFLICTS WITH ALIGNMENTS AND GRADE

BASIS OF BEARING

BEARINGS ARE GRID AND BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD 83).

LEGAL DESCRIPTION

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OR LOT LETTERED "C" OF LOVELACE HEIGHTS ADDITION. (BEING A REPLAT OF TRACTS A-1A, B-1 AND C-1, LOVELACE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C, PAGE 57.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC. PROJECT NO: 3220JJ031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

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<u> 10TES:</u>

1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

2. LOT B TO THE WEST OF THE SITE MAY BE ACTIVELY UNDER CONSTRUCTION. CONTRACTOR COORDINATE AND VERIFY TIE IN POINTS PRIOR TO CONSTRUCTION.

3. SAWCUTS ON LOTS B AND C-2 ARE FOR TEMPORARY GRADING TIE INS. SAWCUTS ONLY TO BE MADE IF ADJACENT DEVELOPMENT HAS NOT YET STARTED OR BEEN COMPLETED. CONTRACTOR TO VERIFY PRIOR TO THE START OF CONSTRUCTION.

5500 Greenwood Greenwood Villag

BENCH MARKS
ATUM IS BASED UPON ALBUQUERQUE
URVEY MONUMENT "ACS BM 24-L16",
= 5191 31 FFFT (NAVD 88)

VERTICAL DATUM IS BASED UP CONTROL SURVEY MONUMENT ELEVATION = 5191.31 FEET (NAV



TOVETACE HEIGHTS ADDITION

To see the contraction of the contraction o

CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS

PRIOR TO ANY EXCAVATION

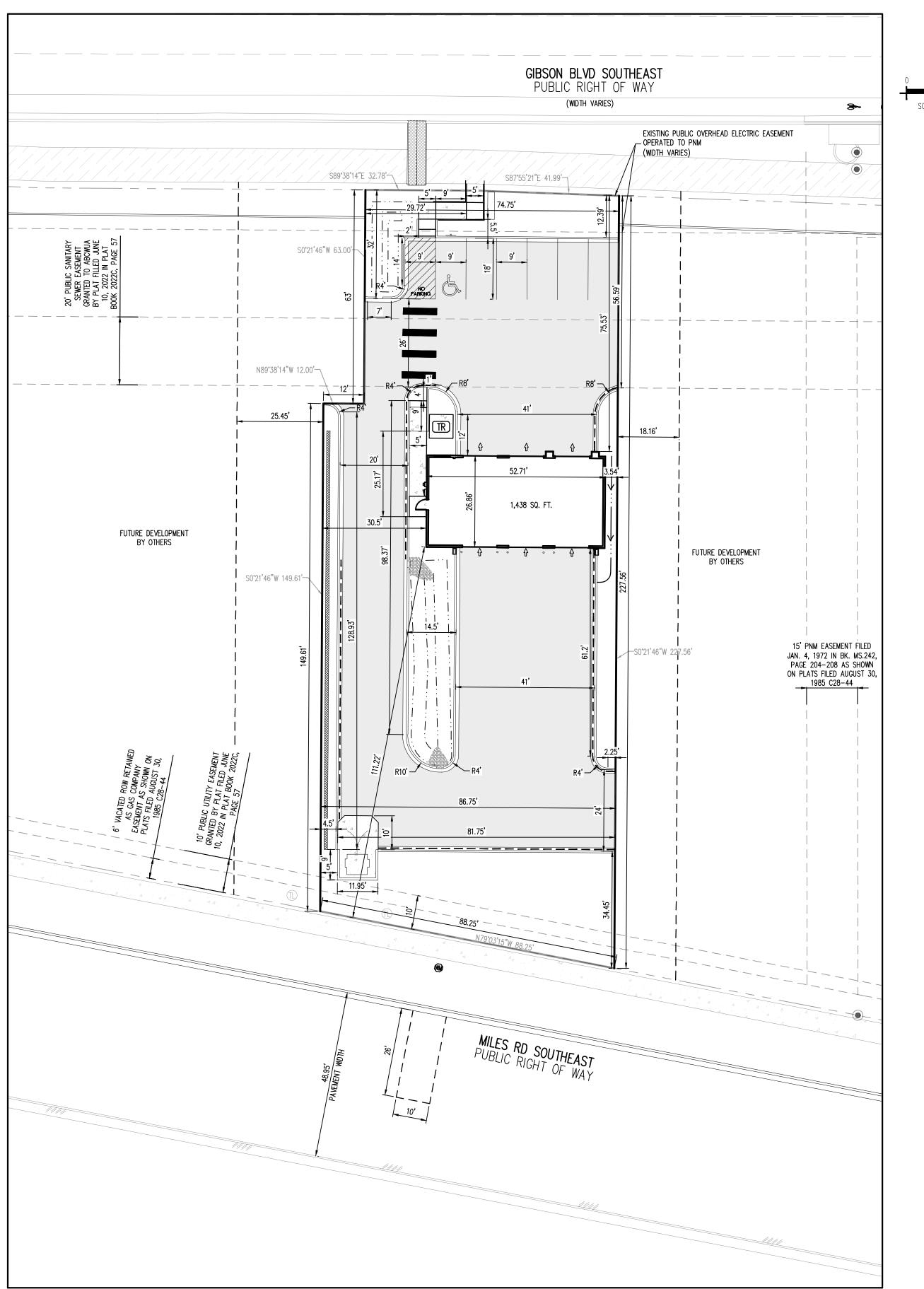
SITE PLAN

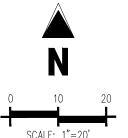
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL ZONE MAP NO. M-15 & L-15

CITY PROJECT NO.

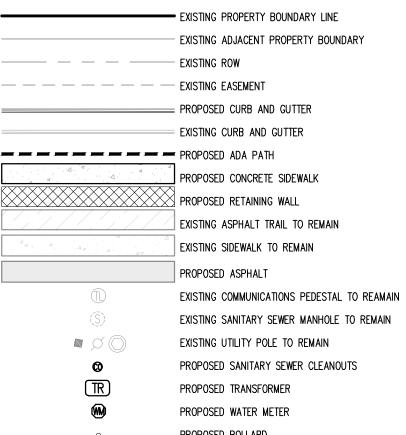
CITY OF ALBUQUERQUE 2151 GIBSON BOULEVARD

SHEET NO.
PAGE 2 OF 17 C1.0





SITE LEGEND



9A SP-89-76 BLVD CAPSTONE OF AMERICA For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance **IDO Zone Atlas** M-15-ZMay 2018 Easement Scarpment Petroglyph National Monument Areas Outside of City Limits Airport Protection Overlay (APO) Zone Character Protection Overlay (CPO) Zone Historic Protection Overlay (HPO) Zone

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones

are established by the
Integrated Development Ordinance (IDO).

EXISTING SANITARY SEWER MANHOLE TO REMAIN

PROPOSED BOLLARD

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	ДП				ВУ					
							DATE:	DATE:	DATE:	DATE.
	1ST SUBMITTAL				DESCRIPTION	CONTRACTOR:				
						NO		TANCE BY:	BY:	TEN BV:
	08/28/2023				DATE	AS-BUILT INFORMATION	WORK STAKED BY:	INSPECTOR'S ACCEPTANCE BY:	FIELD VERIFICATION BY:	DPAWINGS COPPECTED BY:
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	DA	TE				08/0	4/20)23		
LOVELACE HEIGHTS ADDITION										

811
CALL NM ONE-CAL

View Protection Overlay (VPO) Zone

SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

HORIZONTAL CONTROL
PLAN

CITY OF ALBUQUERQUE

2151 GIBSON BOULEVARD

		-				
SIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL	ZONE MAP NO	M-15 & L-15		
				W-13 & L-13		
			CITY PROJECT NO.			
			SHEET NO.	C1 1		
			PAGE 3 OF 17	C1.1		

