

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 26, 2023

Troy D. Kelts, PE  
Galloway  
5500 Greenwood Plaza Blvd.  
Greenwood Village, CO 80111

**Re: Take 5 Oil Change**  
**2151 Gibson Blvd. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 08-28-23 (M15-D021E)

Dear Mr. Kelts,

Based upon the information provided in your submittal received 09-20-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Identify the right of way width, medians, curb cuts, and street widths on Gibson Blvd. and Miles Rd.
3. Per the DPM, the minimum two-way traffic drive aisle width should be 22 ft.
4. Please provide shared access and shared drive aisle agreement.
5. Sheet C1.4 shows an ADA handrails details. Please clarify the location of the proposed handrails.
6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
7. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
9. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
10. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
11. Please provide a copy of Fire Marshal approval.
12. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
13. Please specify the City Standard Drawing Number when applicable.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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14. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).
15. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

PO Box 1293

Sincerely,

Albuquerque

*Marwa Al-najjar*

NM 87103

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

\ma via: email  
C: CO Clerk, File



DURBAN DEVELOPMENT

# TAKE 5 OIL CHANGE

LOCATED ON THE S.W. CORNER OF GIBSON BLVD AND YALE BLVD  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
2151 GIBSON BOULEVARD

CIVIL CONSTRUCTION DRAWINGS

CPN# XXXXX

OWNER/DEVELOPER

DURBAN DEVELOPMENT  
106 FOSTER AVENUE  
CHARLOTTE, NC, 28203  
EMAIL: zach.holland@durbandevelopment.com  
ATTN: ZACK HOLLAND, ASST DIR.

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD., SUITE 200  
GREENWOOD VILLAGE, COLORADO 80111  
TEL: (303) 770-8884  
ATTN: TROY KELTS, P.E.

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD., SUITE 200  
GREENWOOD VILLAGE, COLORADO 80111  
TEL: (303) 770-8884  
ATTN: TROY NOSER, RLA

SURVEYOR

SURV-TEK, INC.  
P.O. BOX 66885  
ALBUQUERQUE, NM 87114  
TEL: (505) 300-4732  
ATTN: RUSS P. HUGG, P.S.

GEOTECHNICAL ENGINEER

WESTERN TECHNOLOGIES, INC.  
8305 WASHINGTON PLACE  
ALBUQUERQUE, NM 87113  
TEL: (602) 437-3737  
ATTN: JUSTIN M. HEINECKE, P.E.

AGENCIES

PLANNING

CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
PLAZA DEL SOL BUILDING  
600 SECOND NW  
ALBUQUERQUE, NM 87102  
TEL: (505) 924-3860  
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV

WATER & SANITARY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY  
1441 MISSION AVE. NE  
ALBUQUERQUE, NM 87113  
TEL: 505-842-WATR

STORM SEWER

DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ONE CIVIC PLAZA  
ROOM 7057  
ALBUQUERQUE, NEW MEXICO 87102  
TEL: (505) 768-3830

RIGHT-OF-WAY ACTIVITIES

CONSTRUCTION SERVICES DIVISION  
600 SECOND STREET NW, ROOM 800  
ALBUQUERQUE NM, 87102  
TEL: (505) 924-3400

ELECTRIC

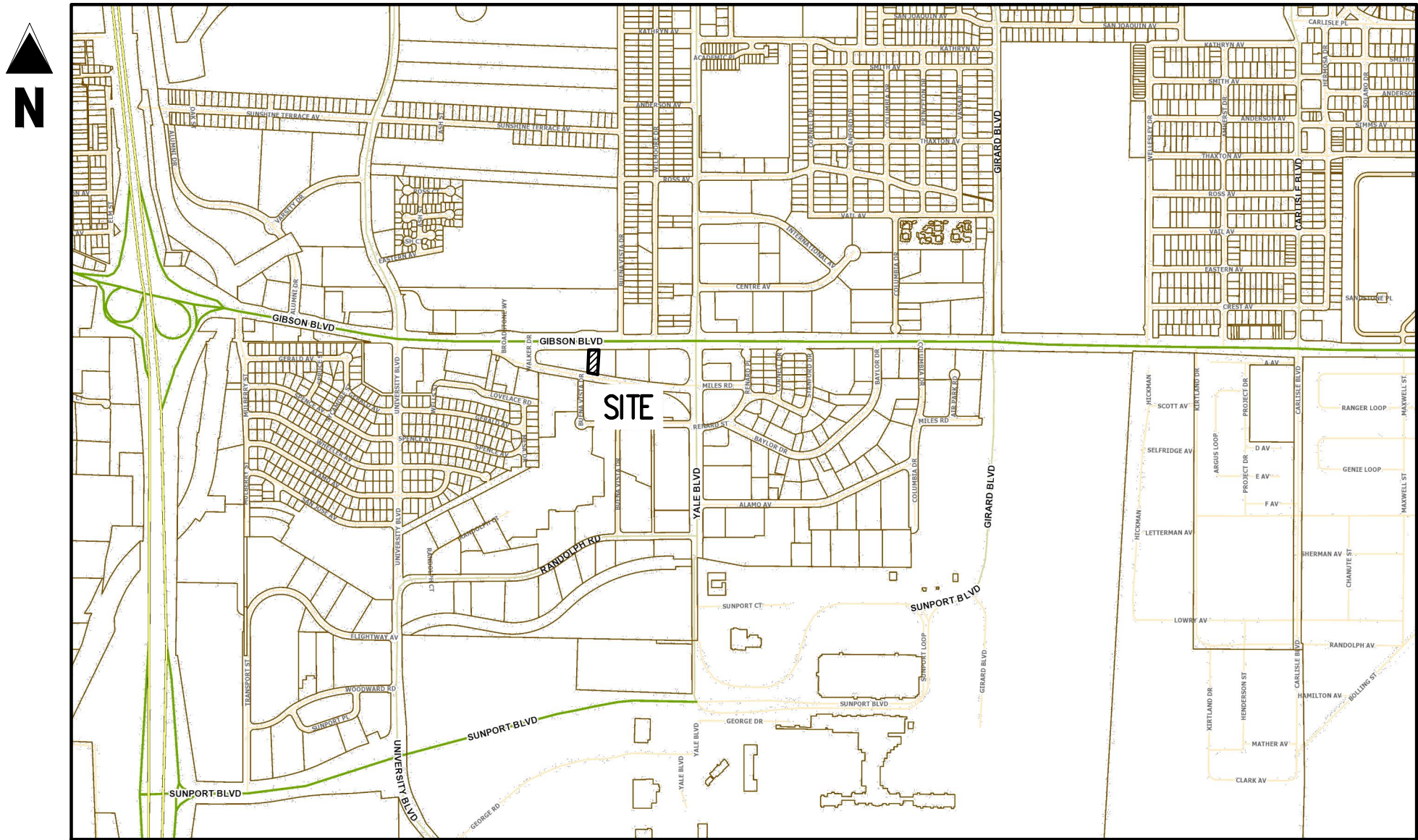
PNM  
414 SILVER AVENUE SW  
ALBUQUERQUE, NM 87102  
TEL: (505) 241-2700

FIRE PROTECTION

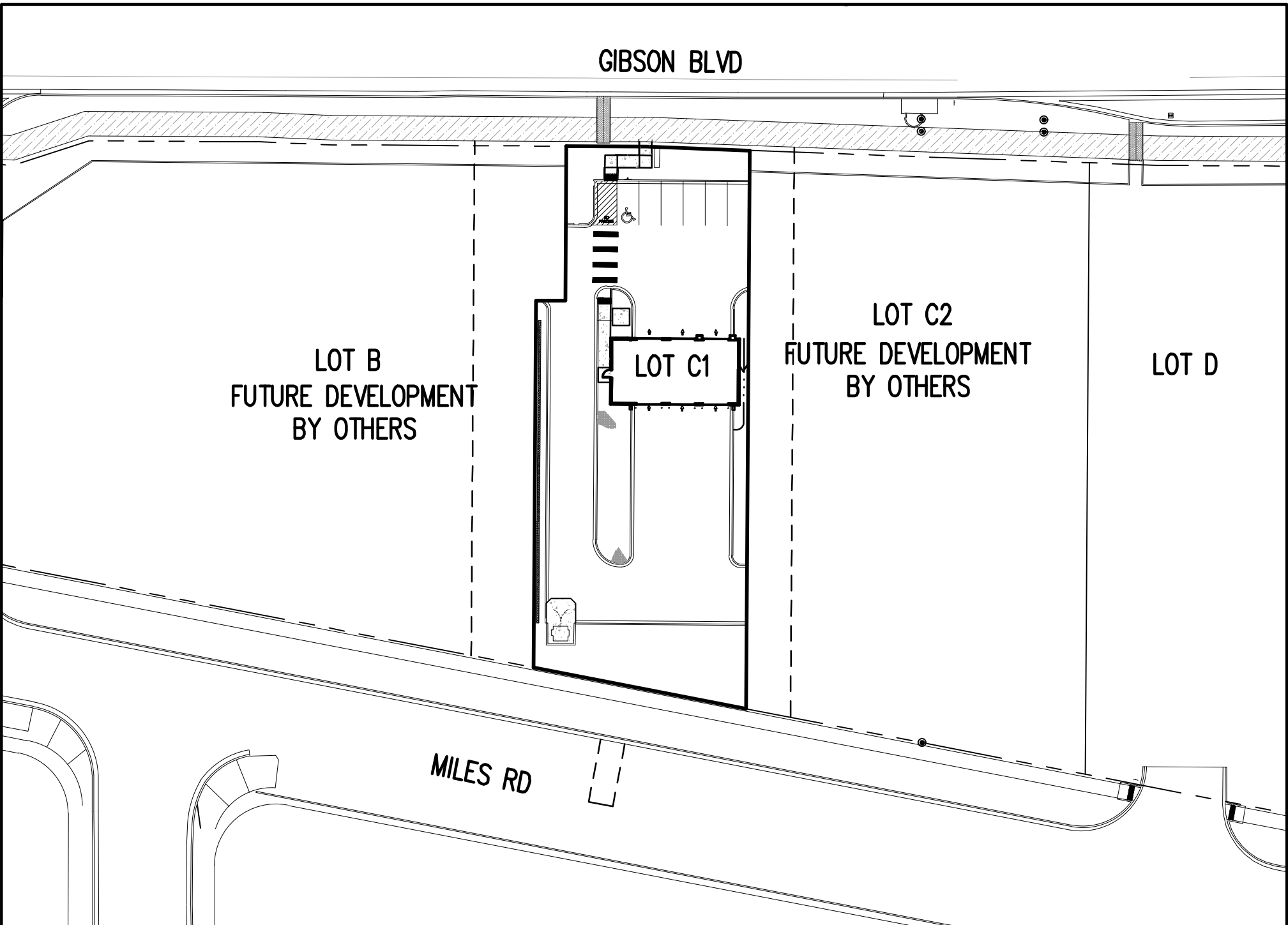
ALBUQUERQUE FIRE RESCUE  
11500 SUNSET GARDENS SW  
ALBUQUERQUE, NM 87121  
TEL: (505) 244-3473

GAS

NEW MEXICO GAS COMPANY  
4625 EDITH BOULEVARD  
ALBUQUERQUE, NM 87107  
TEL: (888) 664-2726



ZONE MAP: M-15 AND L-15  
NOT TO SCALE



PROJECT MAP  
SCALE: 1"=150'

SITE DATA

PROJECT DESCRIPTION:  
THIS PROJECT ENCOMPASSES THE DEVELOPMENT OF A DRIVE-THRU OIL CHANGE FACILITY LOCATED ON LOT C-1 LOVEFACE HEIGHTS ADDITION, 2040 GIBSON BOULEVARD SE. THE DEVELOPMENT IS CONSISTENT WITH THE CURRENT NON-RESIDENTIAL - COMMERCIAL ZONE DISTRICT (NR-C) LAND USE DESIGNATION. RIGHT-OF-WAY DEDICATION AND IMPROVEMENTS WERE PREVIOUSLY WITH THE OVERALL DEVELOPMENT LOVEFACE HEIGHTS ADDITION, DRC #643186.

BUILDING ADDRESS:  
2151 GIBSON BOULEVARD SE,  
ALBUQUERQUE, NEW MEXICO 87108

SITE ACREAGE:  
PROPERTY: 0.42AC (18,365 SF)  
PARCEL ID: 1015055412513111601

BUILDING GROSS SQUARE FOOTAGE:  
1,438 SQ. FT. 3 BAY DRIVE THRU OIL CHANGE

OCCUPANCY GROUP:  
LIGHT VEHICLE REPAIR FACILITY  
DRIVE-UP OR DRIVE-THROUGH FACILITY

IDO ZONING INFORMATION:  
ZONING: NON-RESIDENTIAL COMMERCIAL (NR-C)  
JURISDICTION: CITY OF ALBUQUERQUE  
ZONE MAP: M-15 AND L-15

PROJECT PHASING:  
THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:  
PER IDO SECTION 5-5(B)(1)(g) OFF-STREET PARKING CALCULATIONS:  
CONSTRUCTION OF A NEW PRIMARY BUILDING REQUIRES COMPLIANCE WITH THE STANDARDS IN SECTION 14-16-5-5.

REQUIRED PARKING:  
AREA 1,438 GSF  
TOTAL REQUIRED PARKING: 1,438 \* 1 SPACES PER 1,000 GSF = 1.4 SPACES  
ROUNDED SPACES: 1 SPACES

REQUIRED ADA ACCESSIBLE PARKING SPACES:  
REQUIRED: 1 SPACE  
PER ADAAG: IN PARKING FACILITIES WITH 1-25 TOTAL SPACES, PROVIDE 1 ACCESSIBLE SPACE MINIMUM.

PROVIDED PARKING:  
REGULAR SPACES: 5  
ADA SPACES: 1

SETBACKS:  
FRONT: 5'  
SIDE: 0'  
REAR: 0'

BUFFERS:  
FRONT: 8'  
SIDE: 0'  
REAR: 0'

BASIS OF BEARING

BEARINGS ARE GRID AND BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD 83).

LEGAL DESCRIPTION

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OR LOT LETTERED "C" OF LOVEFACE HEIGHTS ADDITION. (BEING A REPLAT OF TRACTS A-1A, B-1 AND C-1, LOVEFACE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTRY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C, PAGE 57.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC.  
PROJECT NO: 3220J031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**Galloway**

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION



ENGINEER STAMP & SIGNATURE

APPROVALS

ENGINEER

DATE

\*\*\*\*\*

DRC CHAIRPERSON

APPROVED FOR CONSTRUCTION

TRANSPORTATION

WATER/WASTEWATER

HYDROLOGY

PARKS

CONST. MGMT.

CONST. COORD.

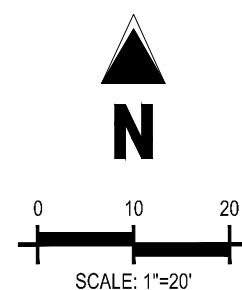
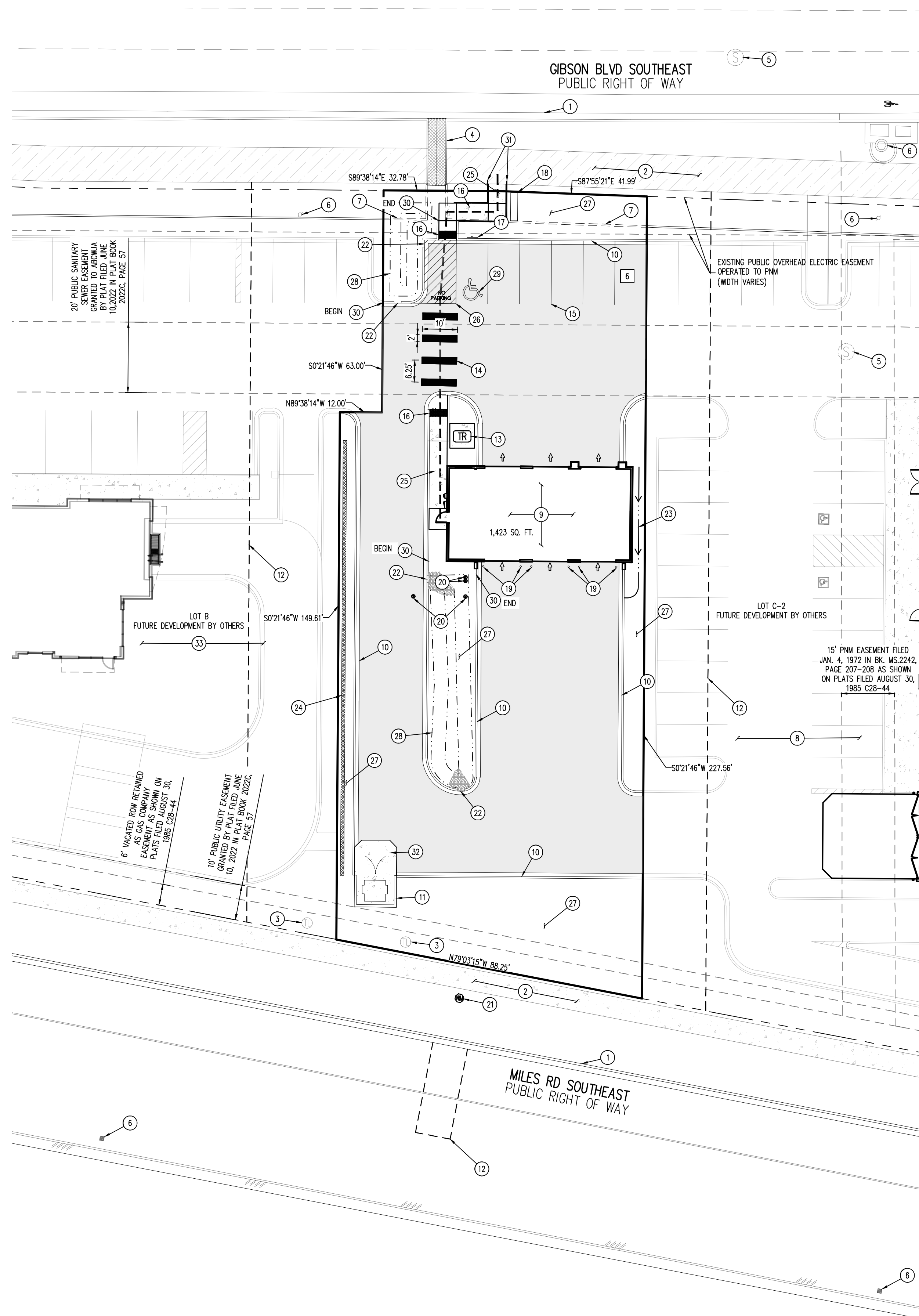
CITY PROJECT NO.

SHEET

C0.0

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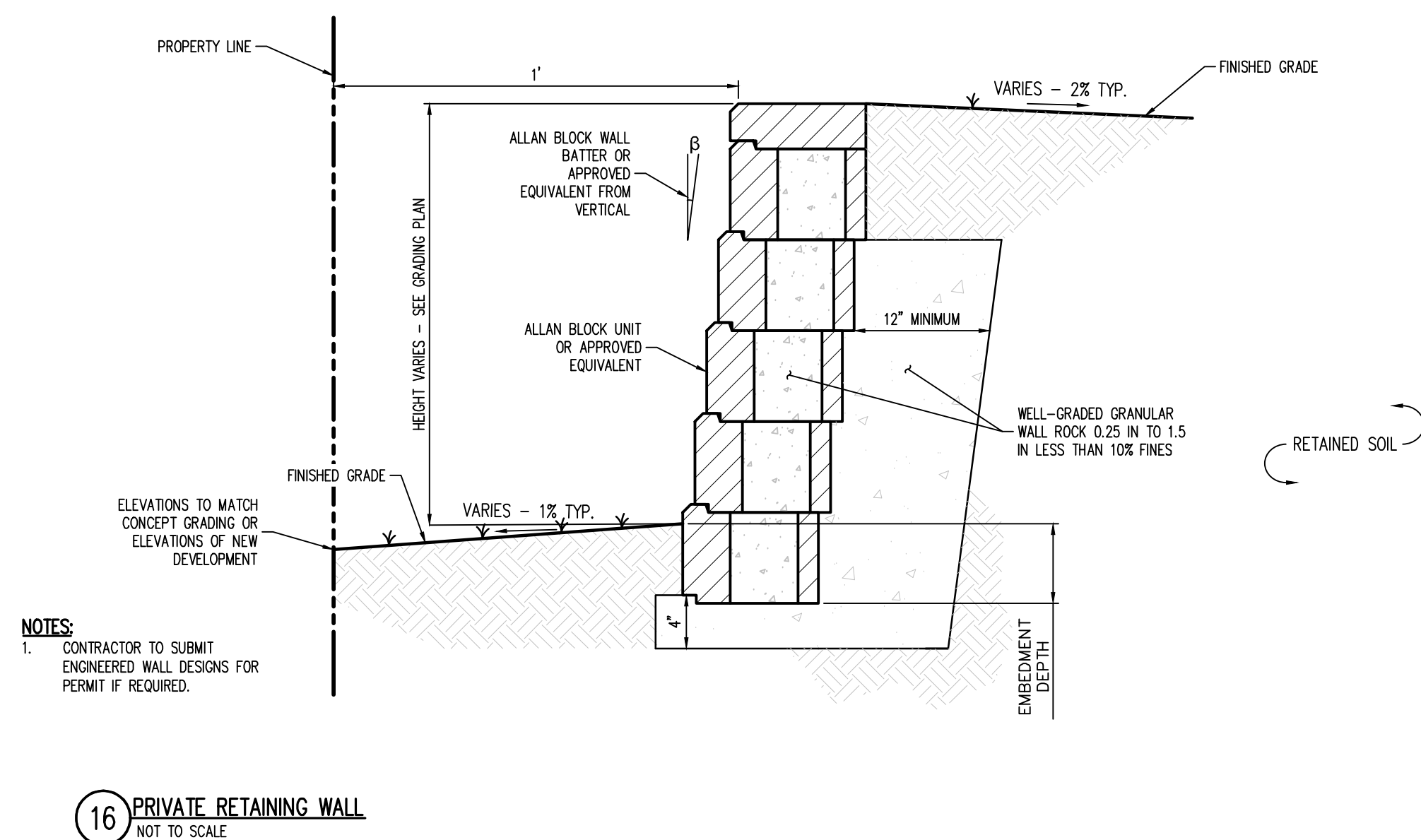
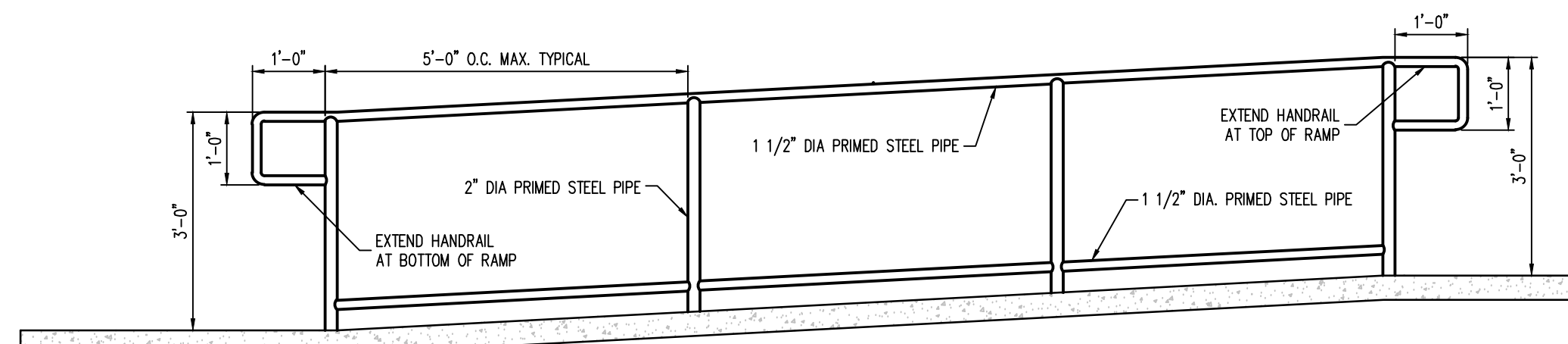
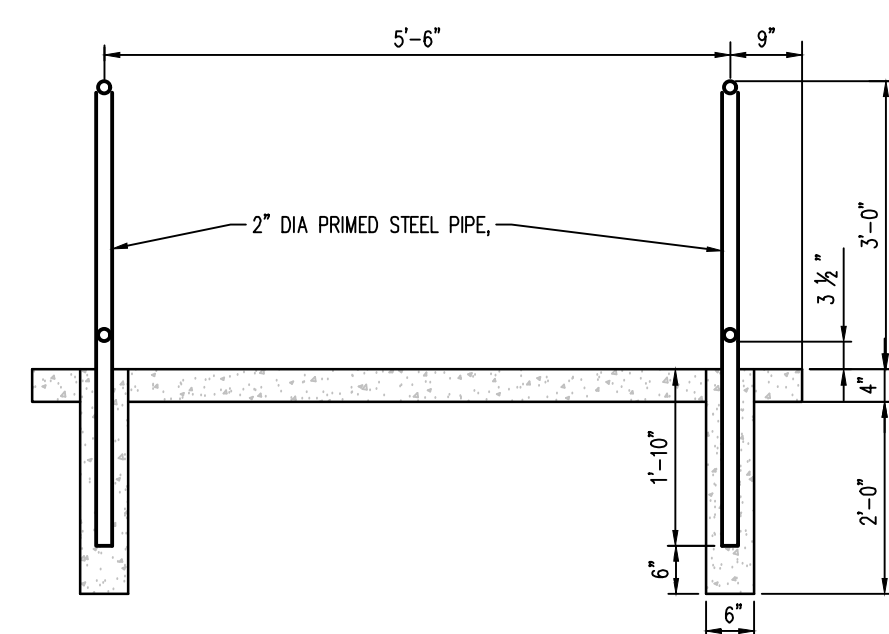
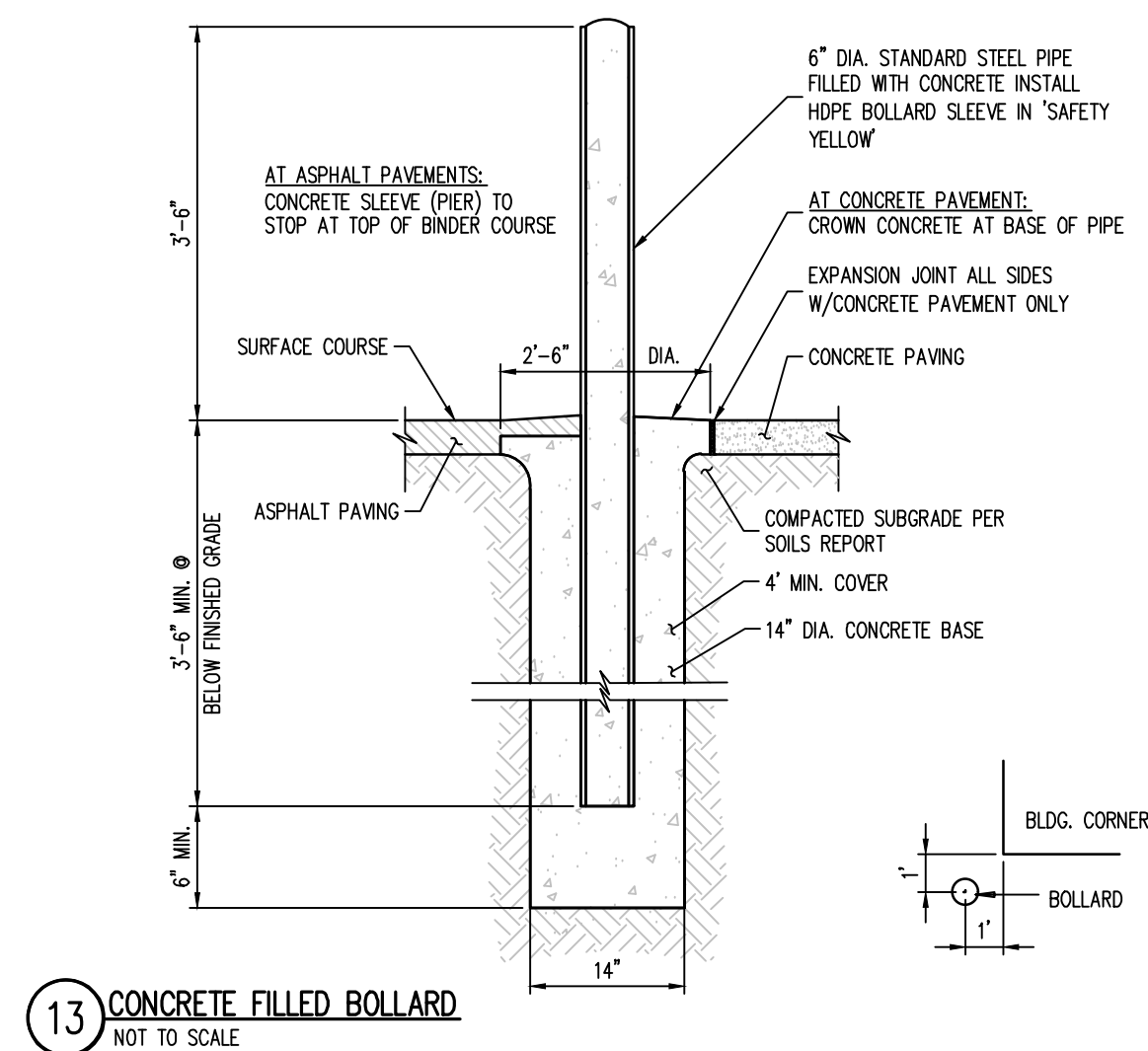
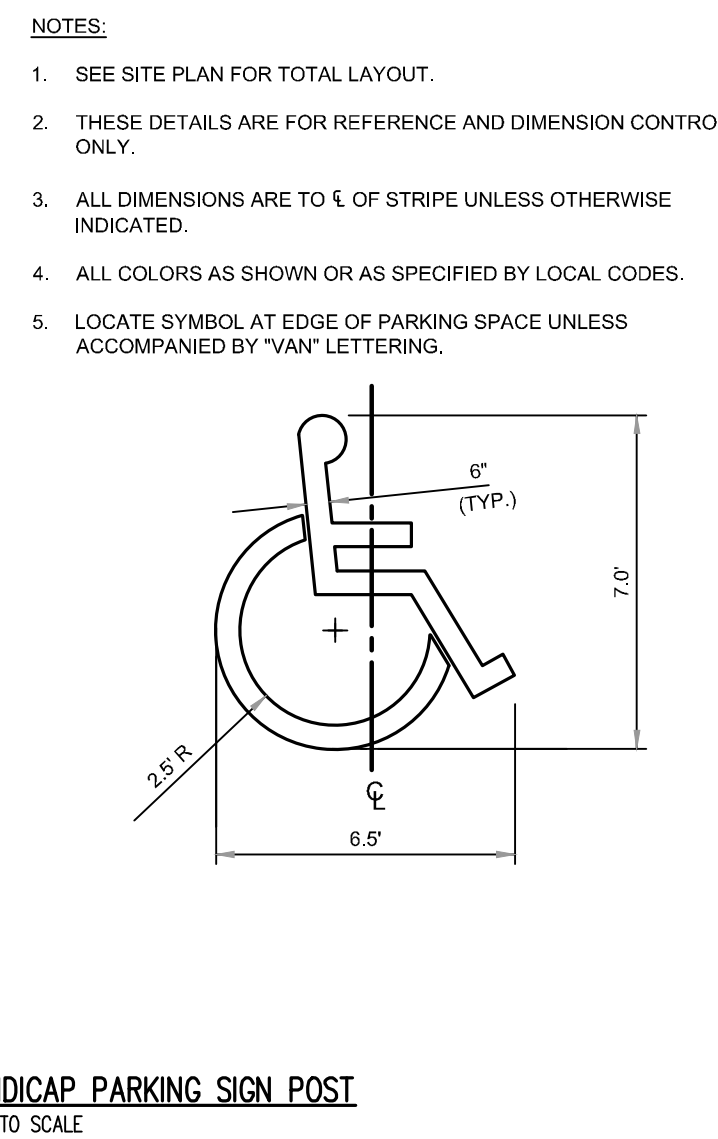
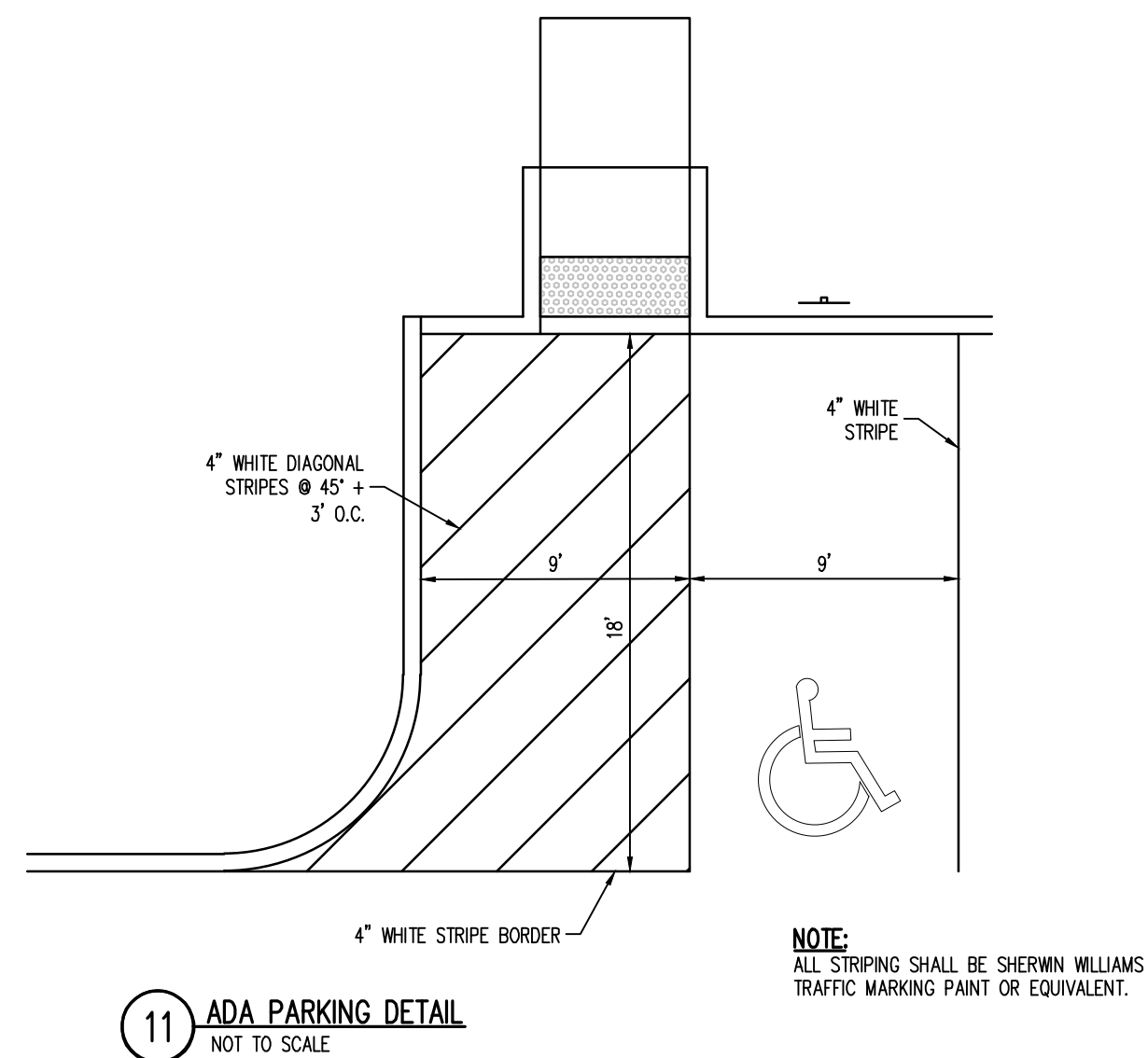
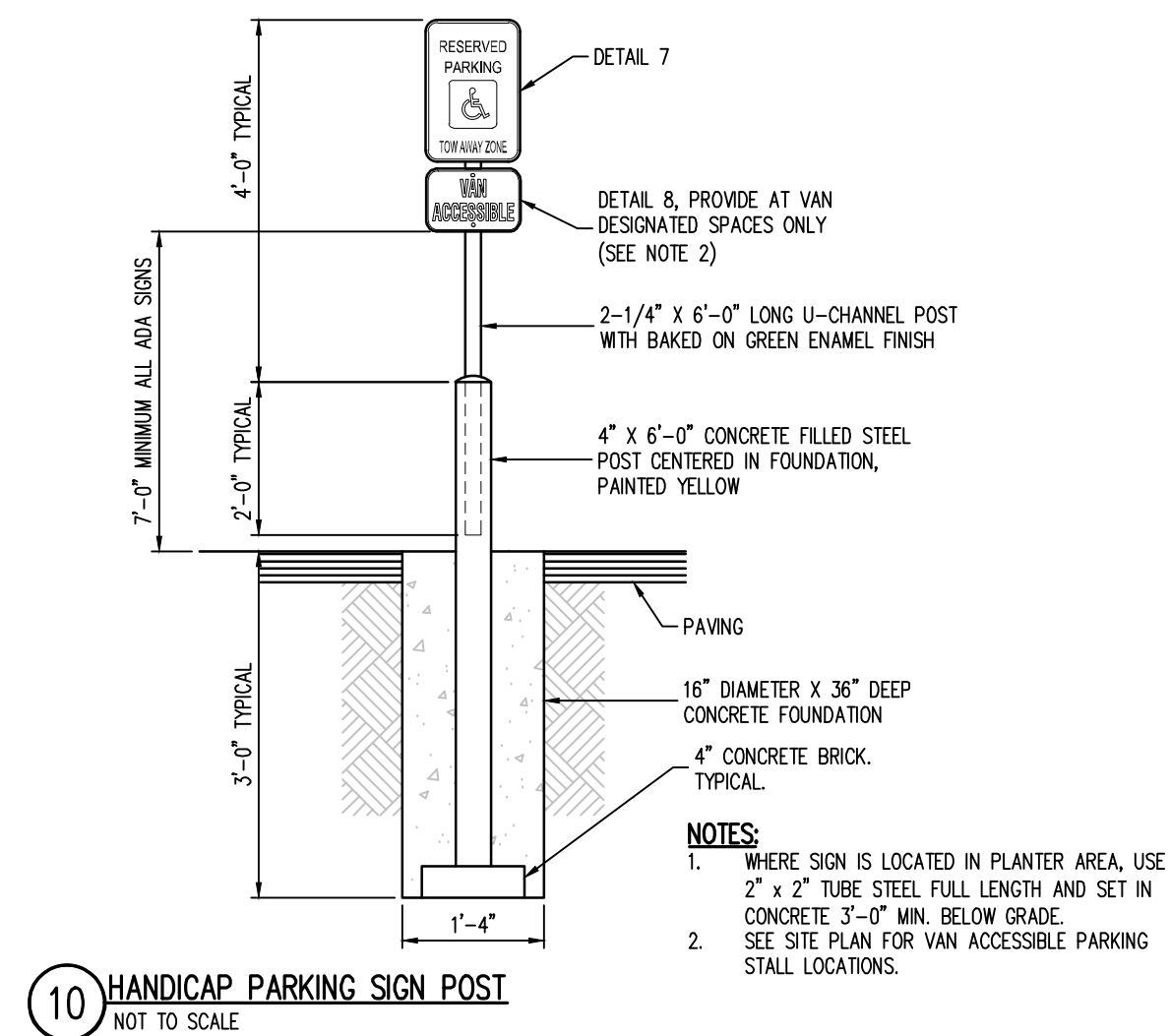


## C1.0









**CONSULTANTS**

**Galloway**

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
[GallowayUS.com](http://GallowayUS.com)

BENCH MARKS

VERTICAL DATUM IS BASED UPON ALBUQUERQUE  
CONTROL SURVEY MONUMENT "ACS BM 24-L 16",  
ELEVATION = 5191.31 FEET (NAVD 88)



DESIGNED BY: DDJ										DRAWN BY: HCH										CHECKED BY: TDK										DATE 08/04/2023										SEAL									
1		08/22/2023																				1ST SUBMITTAL								TDK																			

LOVELACE HEIGHTS ADDITION  
CITY OF ALBUQUERQUE  
2151 GIBSON BOULEVARD

## SITE DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. M-15 & L-15
		CITY PROJECT NO.
		SHEET NO. <b>C1.4</b>
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**CALL NM ONE-CALL  
SYSTEM SEVEN (7) DAYS  
PRIOR TO ANY EXCAVATION**