

DURBAN DEVELOPMENT

TAKE 5 OIL CHANGE

LOCATED ON THE S.W. CORNER OF GIBSON BLVD AND YALE BLVD
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
2030 GIBSON BOULEVARD
CIVIL CONSTRUCTION DRAWINGS

OWNER/DEVELOPER

DURBAN DEVELOPMENT
106 FOSTER AVENUE
CHARLOTTE, NC, 28203
EMAIL: zach.holland@durbandevelopment.com
ATTN: ZACK HOLLAND, ASST DIR.

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
ATTN: TROY KELTS, P.E.

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
ATTN: TROY NOSER, RLA

SURVEYOR

SURV-TEK, INC.
P.O. BOX 66885
ALBUQUERQUE, NM 87114
TEL: (505) 300-4732
ATTN: RUSS P. HUGG, P.S.

GEOTECHNICAL ENGINEER

WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PLACE
ALBUQUERQUE, NM 87113
TEL: (602) 437-3737
ATTN: JUSTIN M. HEINECKE, P.E.

AGENCIES

PLANNING

CITY OF ALBUQUERQUE PLANNING DEPARTMENT
PLAZA DEL SOL BUILDING
600 SECOND NW
ALBUQUERQUE, NM 87102
TEL: (505) 924-3860
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV

WATER & SANITARY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
1441 MISSION AVE. NE
ALBUQUERQUE, NM 87113
TEL: 505-842-WATR

STORM SEWER

DEPARTMENT OF MUNICIPAL DEVELOPMENT
ONE CIVIC PLAZA
ROOM 7057
ALBUQUERQUE, NEW MEXICO 87102
TEL: (505) 768-3830

RIGHT-OF-WAY ACTIVITIES

CONSTRUCTION SERVICES DIVISION
600 SECOND STREET NW, ROOM 800
ALBUQUERQUE NM, 87102
TEL: (505) 924-3400

ELECTRIC

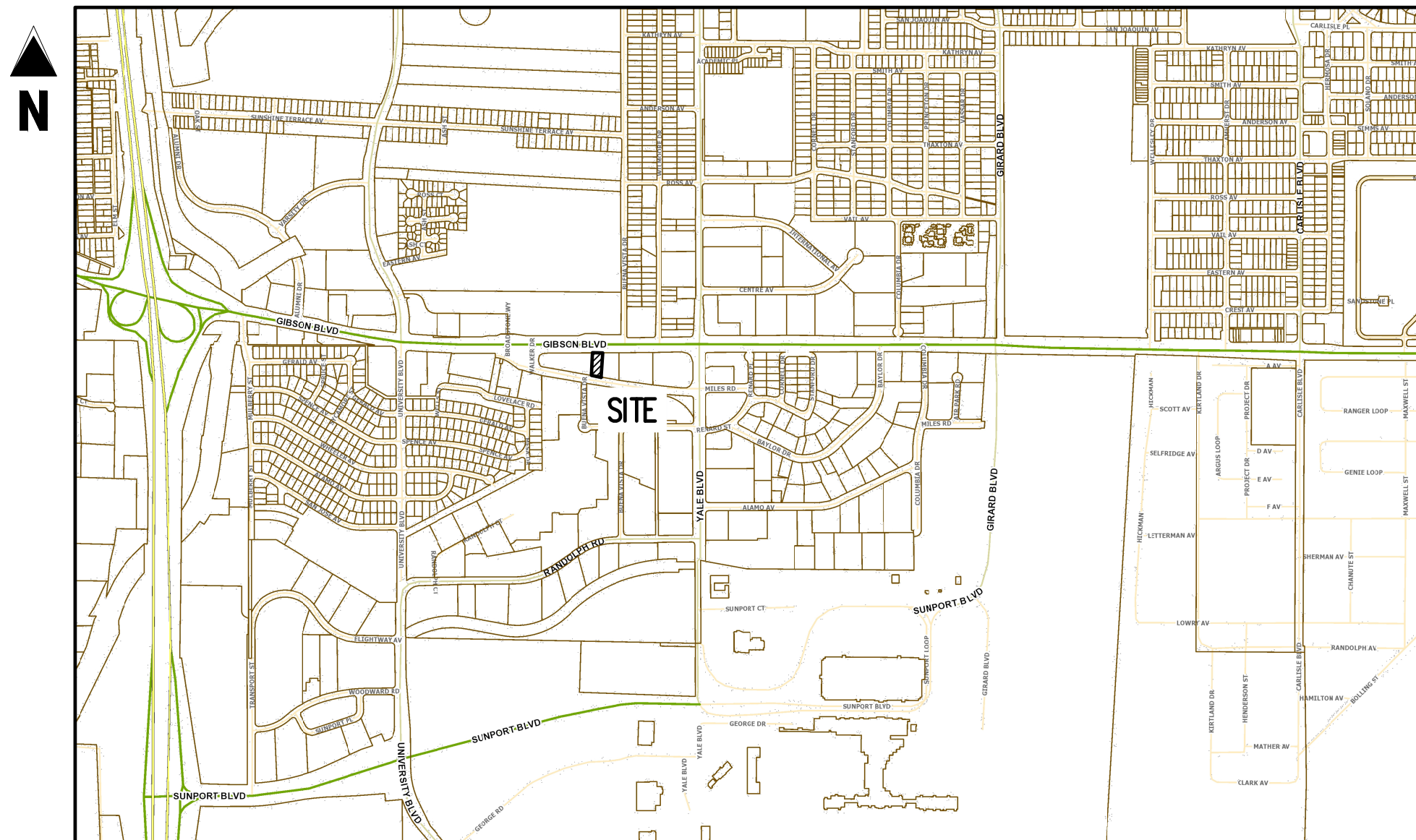
PNM
414 SILVER AVENUE SW
ALBUQUERQUE, NM 87102
TEL: (505) 241-2700

FIRE PROTECTION

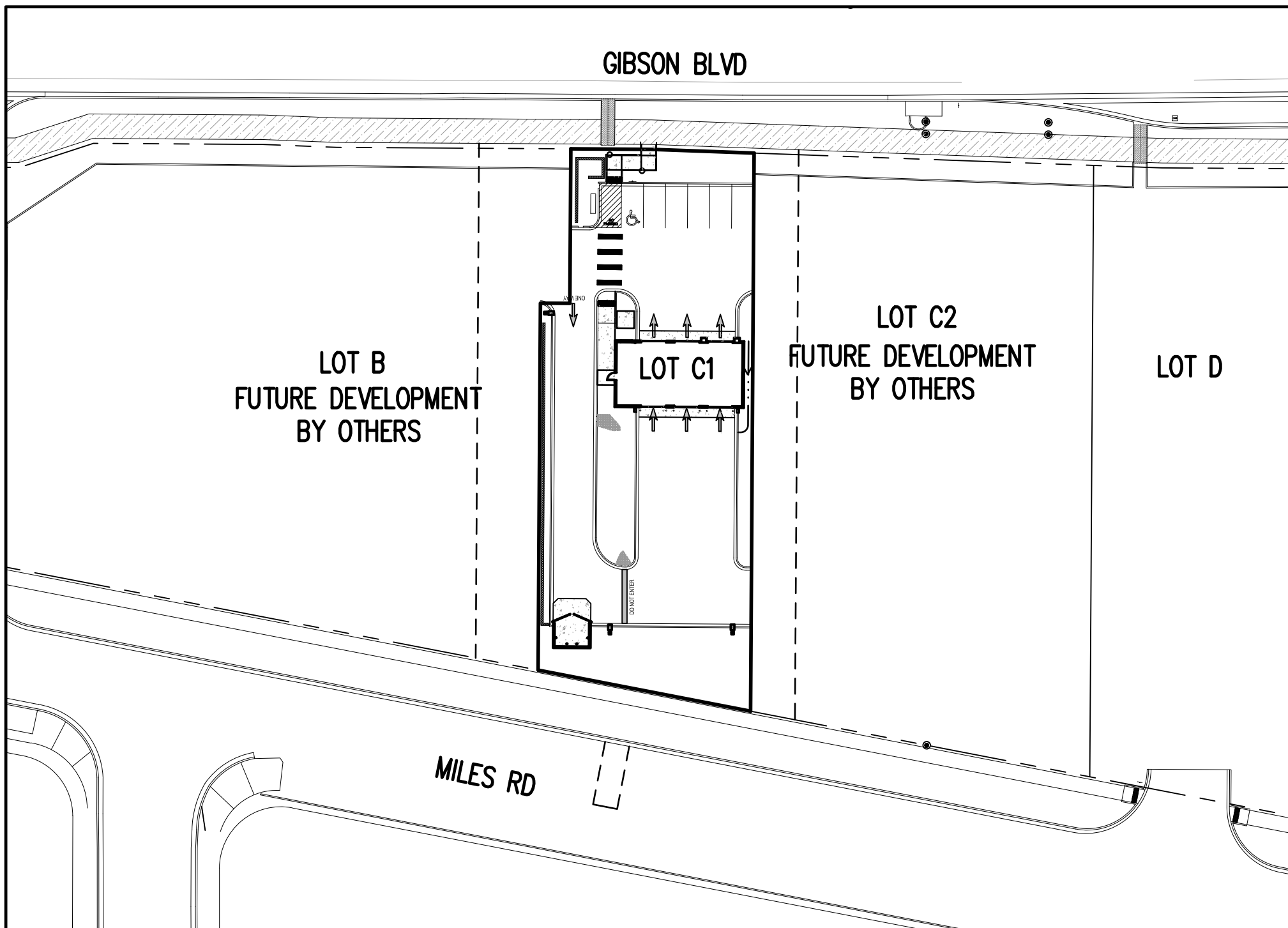
ALBUQUERQUE FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
TEL: (505) 244-3473

GAS

NEW MEXICO GAS COMPANY
4625 EDITH BOULEVARD
ALBUQUERQUE, NM 87107
TEL: (888) 664-2726



ZONE MAP: M-15 AND L-15
NOT TO SCALE



PROJECT MAP
SCALE: 1"=150'

SITE DATA

PROJECT DESCRIPTION:
THIS PROJECT ENCOMPASSES THE DEVELOPMENT OF A DRIVE-THRU OIL CHANGE FACILITY LOCATED ON LOT C-1 LOVELACE HEIGHTS ADDITION, 2040 GIBSON BOULEVARD SE. THE DEVELOPMENT IS CONSISTENT WITH THE CURRENT NON-RESIDENTIAL - COMMERCIAL ZONE DISTRICT (NR-C) LAND USE DESIGNATION. RIGHT-OF-WAY DEDICATION AND IMPROVEMENTS WERE PREVIOUSLY WITH THE OVERALL DEVELOPMENT LOVELACE HEIGHTS ADDITION, DRC #643186.

BUILDING ADDRESS:
2030 GIBSON BOULEVARD SE,
ALBUQUERQUE, NEW MEXICO 87108

SITE ACREAGE:
PROPERTY: 0.42AC (18,365 SF)
PARCEL ID: 1015055412513111601

BUILDING GROSS SQUARE FOOTAGE:
1,438 SQ. FT. 3 BAY DRIVE THRU OIL CHANGE

OCCUPANCY GROUP:
LIGHT VEHICLE REPAIR FACILITY
DRIVE-UP OR DRIVE-THROUGH FACILITY

UDO ZONING INFORMATION:
ZONING: NON-RESIDENTIAL COMMERCIAL (NR-C)
JURISDICTION: CITY OF ALBUQUERQUE
ZONE MAP: M-15 AND L-15

PROJECT PHASING:
THE PROPOSED PROJECT SHALL BE COMPLETED UNDER ONE PHASE.

PARKING CALCULATIONS:
PER IDO SECTION 5-5(B)(1)(c) OFF-STREET PARKING CALCULATIONS:
CONSTRUCTION OF A NEW PRIMARY BUILDING REQUIRES COMPLIANCE WITH THE STANDARDS IN SECTION 14-16-5-5.

REQUIRED PARKING:
AREA 1,438 GSF
TOTAL REQUIRED PARKING: 1,438 * 1 SPACES PER 1,000 GSF = 1.4 SPACES
ROUNDED SPACES: 1 SPACES

REQUIRED ADA ACCESSIBLE PARKING SPACES:
REQUIRED: 1 SPACE
PER ADAAG: IN PARKING FACILITIES WITH 1-25 TOTAL SPACES, PROVIDE 1 ACCESSIBLE SPACE MINIMUM.

PROVIDED PARKING:
REGULAR SPACES: 5
ADA SPACES: 1

SETBACKS:
FRONT: 5'
SIDE: 0'
REAR: 0'

BUFFERS:
FRONT: 8'
SIDE: 0'
REAR: 0'

Sheet List Table			
Sheet Number	Sheet Title	INCLUDED WITH TCL	INCLUDED FOR REFERENCE ONLY
C0.0	COVER SHEET	X	
C1.0	SITE PLAN	X	
C1.1	HORIZONTAL CONTROL PLAN	X	
C1.2	TRUCK TURN PLAN	X	
C1.3	SITE DETAILS	X	
C1.4	SITE DETAILS	X	
C1.5	SITE DETAILS	X	
C2.0	UTILITY PLAN		
C3.0	EROSION CONTROL PLAN		
C3.1	EROSION CONTROL DETAILS		
C3.2	EROSION CONTROL DETAILS		
L1.0	LANDSCAPE PLAN		
L2.0	LANDSCAPE NOTES & DETAILS		
IR1.0	IRRIGATION PLAN		
IR2.0	IRRIGATION NOTES & DETAILS		
IR2.1	IRRIGATION NOTES & DETAILS		
PP1.0	PHOTOMETRIC PLAN		
PP1.1	PHOTOMETRIC DETAILS		
DR-1	GRADING AND DRAINAGE PLAN		X
DR-2	GRADING PLAN		X
DR-3	POND GRADING DETAILS		X



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

LEGAL DESCRIPTION

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OF LOT LETTERED "C" OF LOVELACE HEIGHTS ADDITION (BEING A REPLAT OF TRACTS A-1A, B-1, AND C-1, LOVELACE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C, PAGE 57

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC.
PROJECT NO: 3220J031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

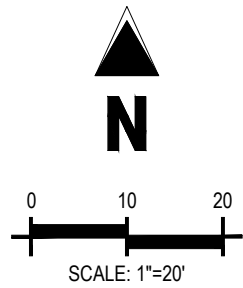
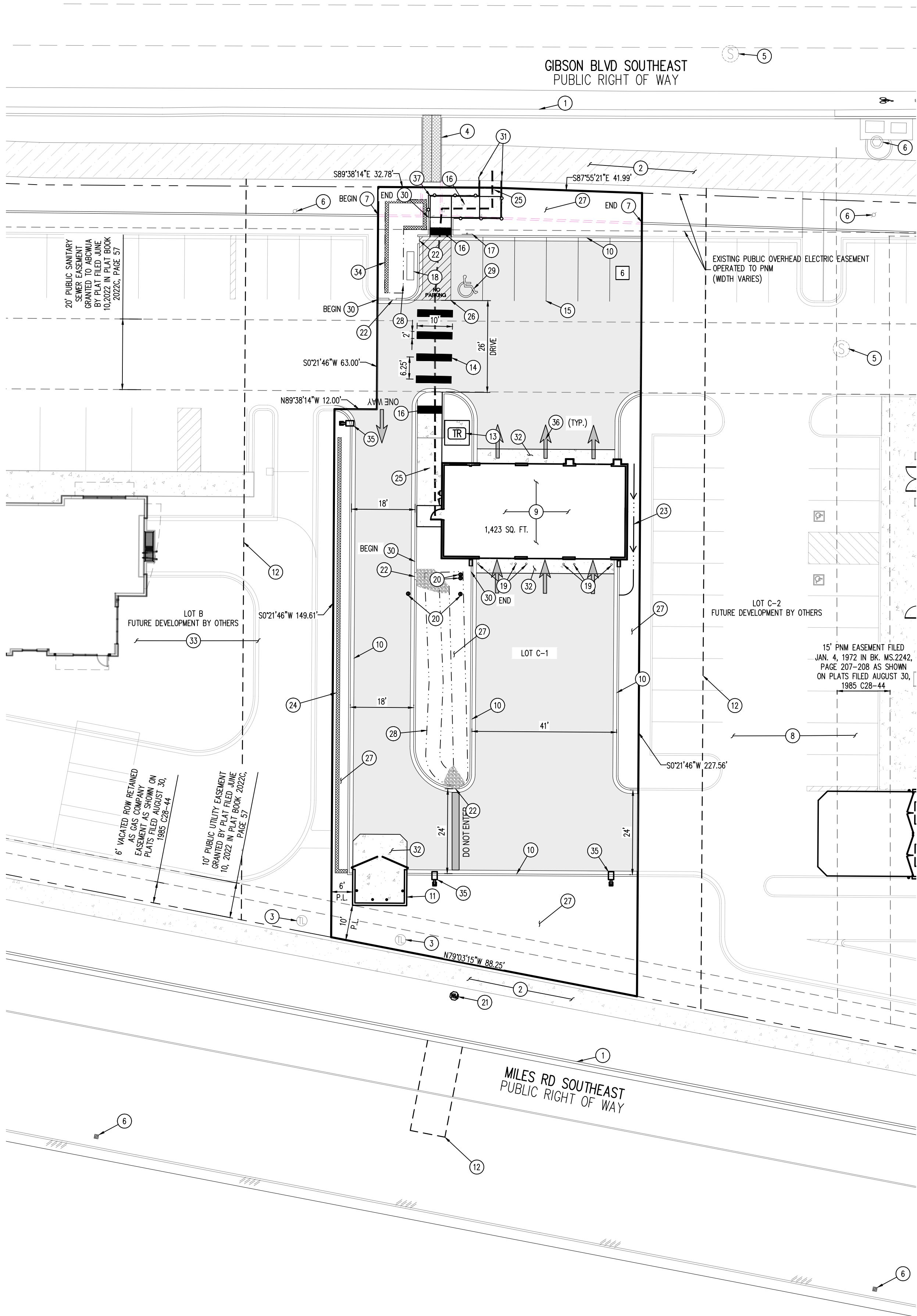
SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

Galloway

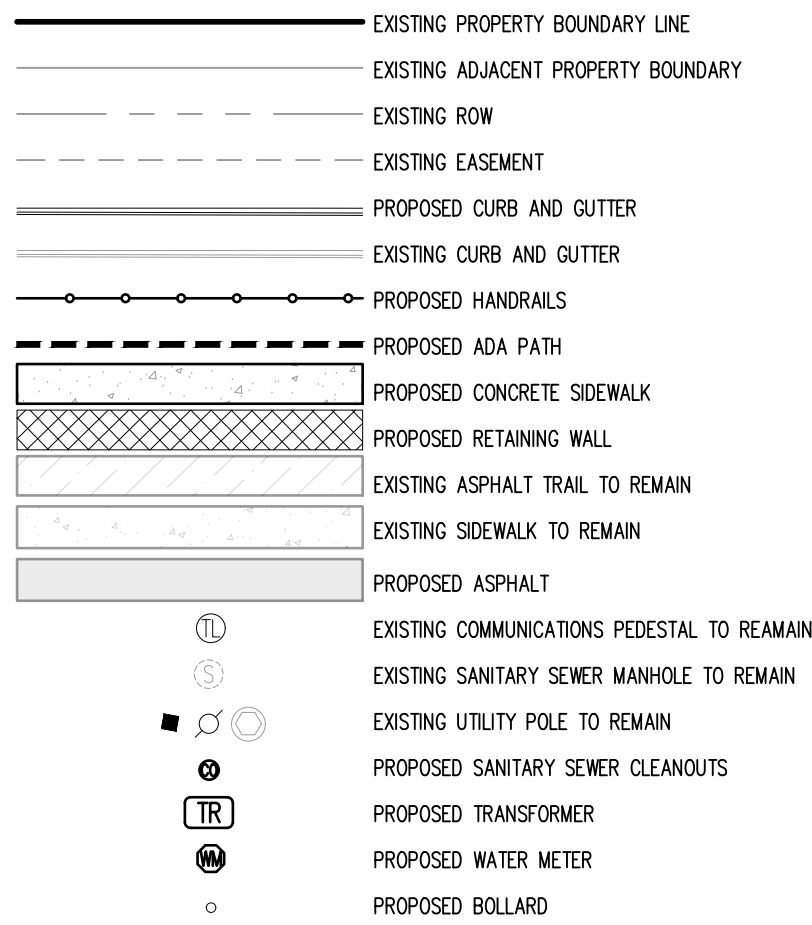
5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

1	09/19/2023	1ST TCL SUBMITTAL	TDK
2	08/15/2025	2ND TCL SUBMITTAL	TDK
NO.	DATE	DESCRIPTION	BY

ENGINEER STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****
	DRC CHAIRPERSON			APPROVED FOR CONSTRUCTION
	TRANSPORTATION			
	WATER/WASTEWATER			
	HYDROLOGY			
	PARKS			
	CONST. MGMT.			CITY ENGINEER
	CONST. COORD.			DATE
	CITY PROJECT NO.			SHEET
				C0.0
				PAGE 1 OF 18



SITE LEGEND



SITE SCHEDULE

- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING SIDEWALK/TRAIL TO REMAIN
- EXISTING COMMUNICATIONS PEDESTAL TO REMAIN
- EXISTING SIDEWALK CULVERT TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING OVERHEAD ELECTRIC POLE TO REMAIN
- EXISTING TEMPORARY ASPHALT CURB TO BE REMOVED
- EXISTING ASPHALT PARKING LOT TO REMAIN
- PROPOSED BUILDING
- PROPOSED CURB AND GUTTER. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED TRASH ENCLOSURE. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SAWCUT LINE (IF NECESSARY - SEE NOTES THIS SHEET)
- PROPOSED TRANSFORMER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- PROPOSED CROSSWALK STRIPING PER COA STANDARD DWG 2600-106
- PROPOSED PARKING STALL STRIPING, 4" SOLID WHITE LINE
- PROPOSED CURB RAMP. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION. SEE COA DETAILS 2440-2446
- PROPOSED ACCESSIBLE PARKING SIGN PER DETAIL 66-7-352-4C NMSA 1978
- PROPOSED MONUMENT SIGN. REFERENCE ARCHITECTURE PLANS FOR ADDITIONAL INFORMATION
- PROPOSED BOLLARD. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SANITARY SEWER CLEANOUT. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- PROPOSED WATER METER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- PROPOSED CURB OPENING. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SWALE. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- PROPOSED RETAINING WALL - MAX HEIGHT 2'. REFERENCE GRADING PLAN AND SITE DETAILS FOR ADDITIONAL INFORMATION
- PROPOSED SIDEWALK PER COA STANDARD DWG 2430
- PROPOSED ADA ACCESS AISLE WITH "NO PARKING" PER DETAIL 66-1-4.1 B NMSA 1978
- PROPOSED LANDSCAPING. REFERENCE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
- PROPOSED TOP OF WATER QUALITY POND. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- PROPOSED PAINTED ACCESSIBLE PARKING SYMBOL. SEE SITE DETAILS FOR MORE INFORMATION
- PROPOSED EXPOSED BACK OF CURB. SEE SITE DETAILS FOR MORE INFORMATION
- PROPOSED HANDRAIL. SEE SITE DETAILS FOR MORE INFORMATION
- PROPOSED HEAVY DUTY CONCRETE. SEE SITE DETAILS FOR MORE INFORMATION
- CONTRACTOR TO VERIFY AS-BUILT CONDITIONS ALONG WEST FRONTAGE FOR ANY MAJOR CONFLICTS WITH ALIGNMENTS AND GRADE
- PROPOSED RETAINING WALL - 1' MAX HEIGHT. SEE GRADING PLAN AND SITE DETAILS FOR MORE INFORMATION
- PROPOSED SITE LIGHT. SEE PHOTOMETRIC PLAN FOR MORE INFORMATION
- PROPOSED DIRECTIONAL ARROW. SEE SITE DETAILS FOR MORE INFORMATION
- PROPOSED TURN DOWN SLAB. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION

BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

LEGAL DESCRIPTION

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GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC.
PROJECT NO: 3220J031 DATE: MAY 9, 2021

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NOTES:

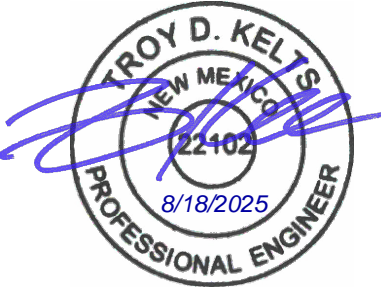
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
- LOT B TO THE WEST OF THE SITE MAY BE ACTIVELY UNDER CONSTRUCTION. CONTRACTOR COORDINATE AND VERIFY TIE IN POINTS PRIOR TO CONSTRUCTION.
- SAWCUTS ON LOTS B AND C-2 ARE FOR TEMPORARY GRADING TIE INS. SAWCUTS ONLY TO BE MADE IF ADJACENT DEVELOPMENT HAS NOT YET STARTED OR BEEN COMPLETED. CONTRACTOR TO VERIFY PRIOR TO THE START OF CONSTRUCTION.
- GROSS LOT ACCESS EASEMENTS ARE GRANTED BY THAT CERTAIN "DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 29, 2021 AS DOCUMENT NUMBER 202116117 AND THAT CERTAIN "FIRST AMENDMENT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 13, 2022 AS DOCUMENT NUMBER 2022036399.



LOVELACE HEIGHTS ADDITION CITY OF ALBUQUERQUE 2030 GIBSON BOULEVARD	
SITE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
ZONE MAP NO. M-15 & L-15	
CITY PROJECT NO.	
SHEET NO. C1.0	
PAGE 2 OF 18	

CONSULTANTS

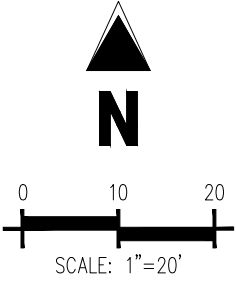
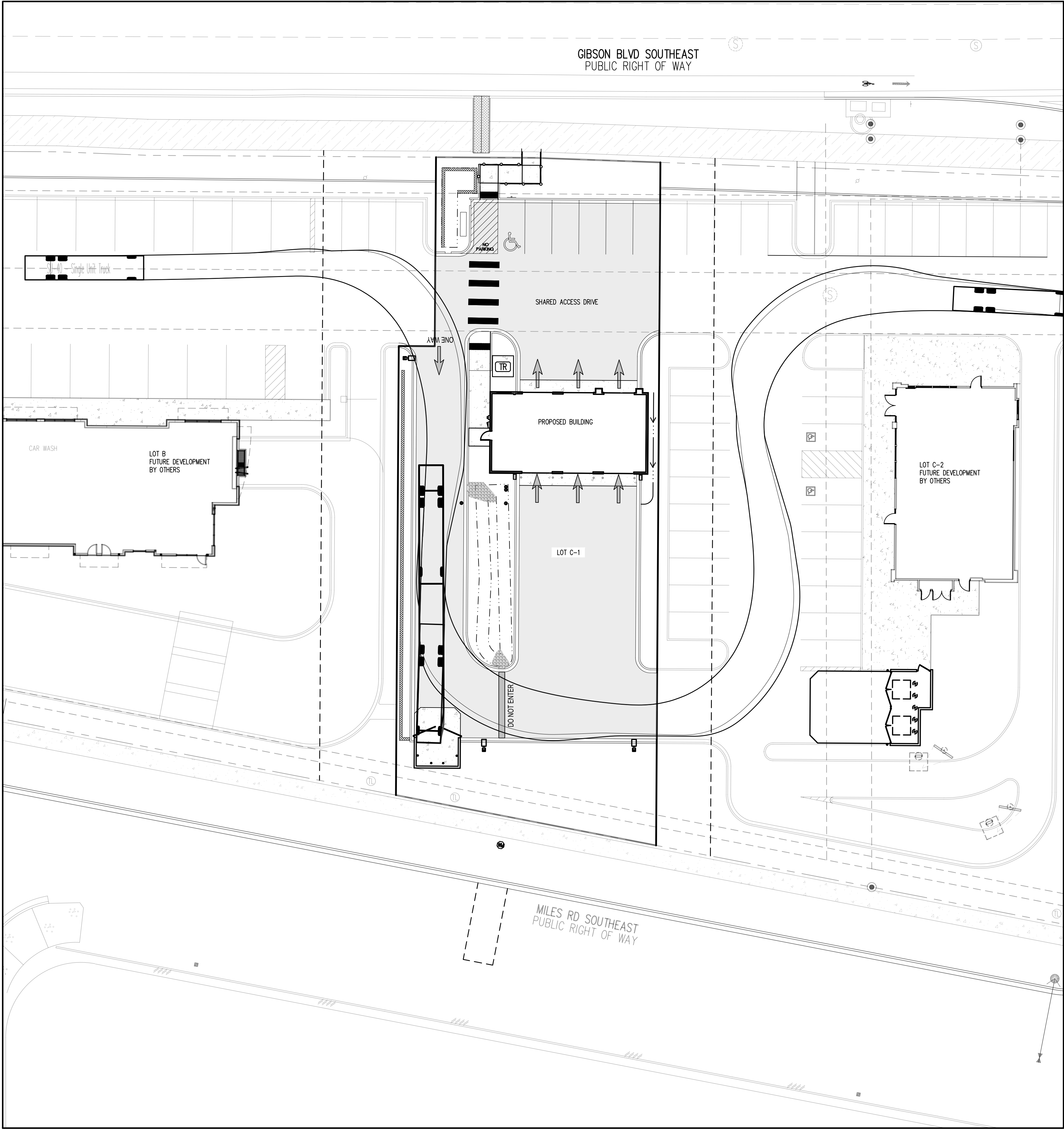
BENCH MARKS
VERTICAL DATUM IS BASED UPON ALBUQUERQUE
CONTROL SURVEY MONUMENT "ACS BM 24-L16",
ELEVATION = 5191.31 FEET (NAVD 88)



SEAL

TDK	TDK	BY
1ST TCL SUBMITTAL	2ND TCL SUBMITTAL	
08/19/2023	08/15/2025	
1	2	
NO.	DATE	
AS-BUILT INFORMATION		
CONTRACTOR:		
DESIGNED BY: DDJ		
DRAWN BY: HCH		
CHECKED BY: TDK		
DATE 08/15/2025		
WORK STAKED BY:		
INSPECTOR'S ACCEPTANCE BY:		
FIELD VERIFICATION BY:		
DRAWINGS CORRECTED BY:		

H:\00000001 - Gibson & Valencio\03-CD\000001 - C1-2 TRUCK TURN.dwg - 08/15/2025



SITE LEGEND	
	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJACENT PROPERTY BOUNDARY
	EXISTING ROW
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED ADA PATH
	PROPOSED CONCRETE SIDEWALK
	PROPOSED RETAINING WALL
	EXISTING ASPHALT TRAIL TO REMAIN
	EXISTING SIDEWALK TO REMAIN
	PROPOSED ASPHALT
	EXISTING COMMUNICATIONS PEDESTAL TO REMAIN
	EXISTING SANITARY SEWER MANHOLE TO REMAIN
	EXISTING UTILITY POLE TO REMAIN
	PROPOSED SANITARY SEWER CLEANOUTS
	PROPOSED TRANSFORMER
	PROPOSED WATER METER
	PROPOSED BOLLARD

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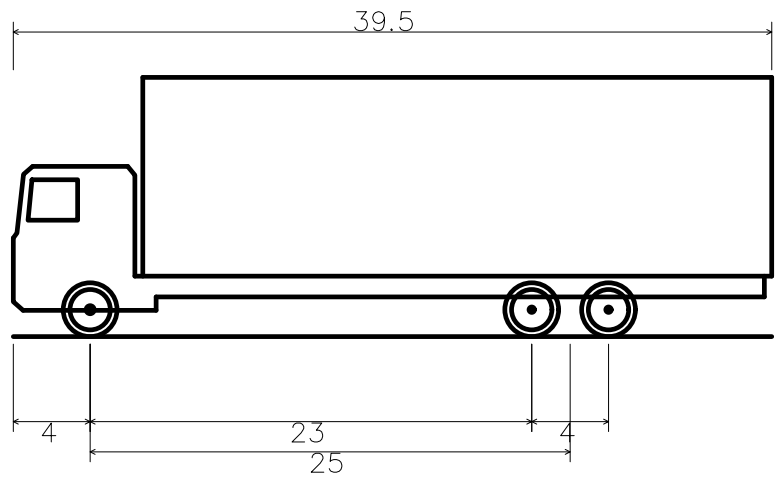
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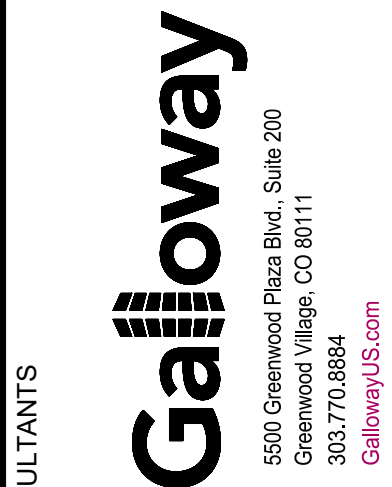


SU-40 - Single Unit Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Steering Angle (Virtual)

39.500ft
8.000ft
13.500ft
1.367ft
8.000ft
9.00s
31.80°



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION



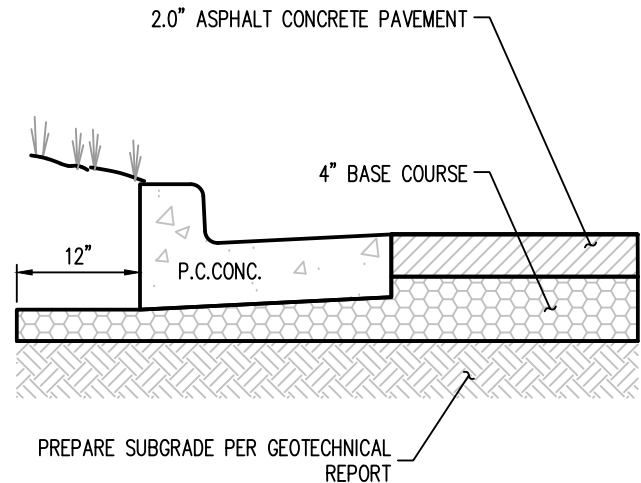
CONSULTANTS
BENCH MARKS
VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "ACS BM 24-L16".
ELEVATION = 5191.31 FEET (NAVD 88)



SEAL	
TDK	TDK
1ST TOL SUBMITTAL	2ND TOL SUBMITTAL
1	2
08/18/2023	08/15/2025
NO.	DATE
AS-BUILT INFORMATION	DATE
WORK STAKED BY:	DATE
INSPECTOR'S ACCEPTANCE BY:	DATE
FIELD VERIFICATION BY:	DATE
DRAWINGS CORRECTED BY:	DATE
DESIGNED BY:	DDJ
DRAWN BY:	HCH
CHECKED BY:	TDK
DATE	08/15/2025

LOVELACE HEIGHTS ADDITION CITY OF ALBUQUERQUE 2030 GIBSON BOULEVARD	
TRUCK TURN PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
ZONE MAP NO. M-15 & L-15	
CITY PROJECT NO.	
SHEET NO. C1.2	
PAGE 4 OF 18	

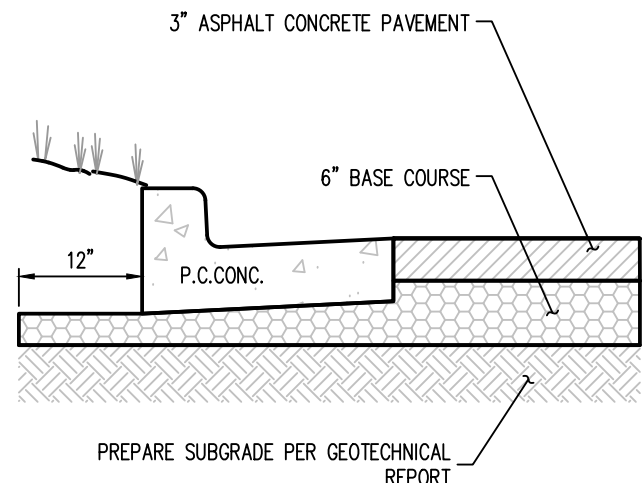
H:\2024\Urban Development\811\Albuquerque - 2030 Gibson Blvd - 811 Details.dwg - Nicholas Merrill - 8/15/2025



NOTES:

1. BASE COURSE AND ASPHALT CONCRETE SHOULD CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTIONS OR CITY OF ALBUQUERQUE SPECIFICATIONS.
2. BITUMINOUS SURFACING SHOULD BE CONSTRUCTED OF DENSE GRADED, CENTRAL PLANT MIX, ASPHALT CONCRETE OF AN SP-IV OR SP-III MIX DESIGN.
3. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT DESIGN AND SOIL PREPARATION REQUIREMENTS. (GEOTECHNICAL EVALUATION REDEVELOPMENT BY WESTERN TECHNOLOGIES INC. (PROJECT NO. 3220J031) DATED MAY 5, 2021).

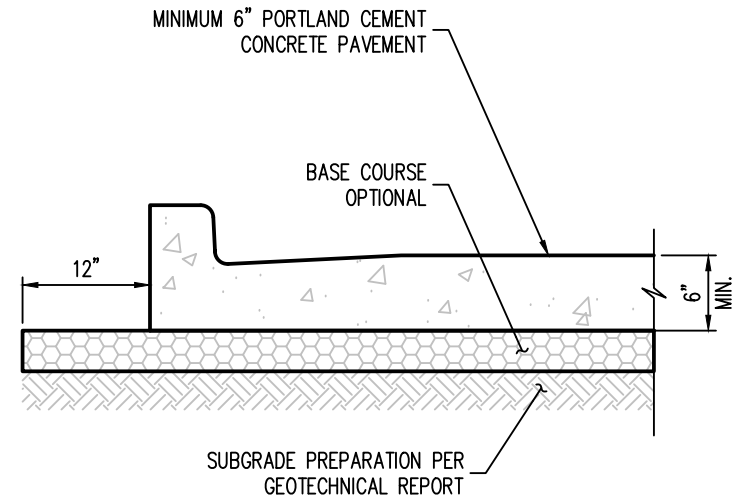
1 PARKING AND DRIVES ASPHALT CONCRETE PAVEMENT (PRIVATE)
NOT TO SCALE



NOTES:

1. BASE COURSE AND ASPHALT CONCRETE SHOULD CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTIONS OR CITY OF ALBUQUERQUE SPECIFICATIONS.
2. BITUMINOUS SURFACING SHOULD BE CONSTRUCTED OF DENSE GRADED, CENTRAL PLANT MIX, ASPHALT CONCRETE OF AN SP-IV OR SP-III MIX DESIGN.
3. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT DESIGN AND SOIL PREPARATION REQUIREMENTS. (GEOTECHNICAL EVALUATION REDEVELOPMENT BY WESTERN TECHNOLOGIES INC. (PROJECT NO. 3220J031) DATED MAY 5, 2021).

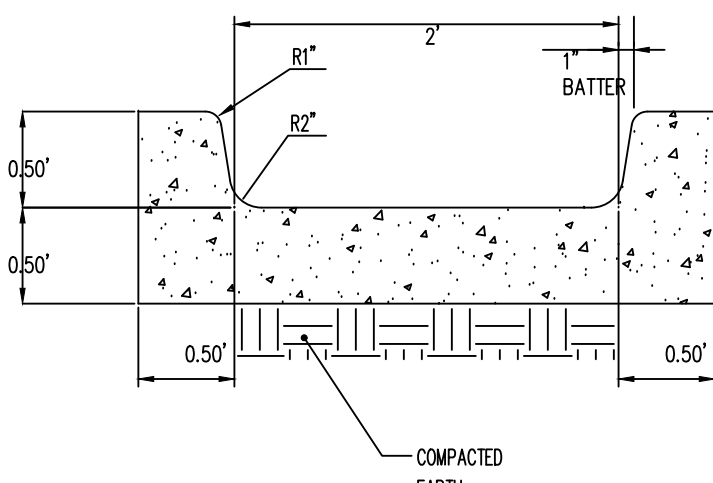
2 MAJOR ACCESS DRIVES ASPHALT CONCRETE PAVEMENT (PRIVATE)
NOT TO SCALE



NOTES:

1. HEAVY DUTY CONCRETE PAVEMENT SHALL BE FOR TRASH COMPACTOR PAD.
2. BASE COURSE, WHILE NOT REQUIRED STRUCTURALLY, IS DESIRABLE FOR SUBDRAINAGE.
3. CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT DESIGN AND SOIL PREPARATION REQUIREMENTS. (GEOTECHNICAL EVALUATION REDEVELOPMENT BY WESTERN TECHNOLOGIES INC. (PROJECT NO. 3220J031) DATED MAY 5, 2021).

3 HEAVY DUTY CONCRETE PAVEMENT SECTION (PRIVATE)
NOT TO SCALE

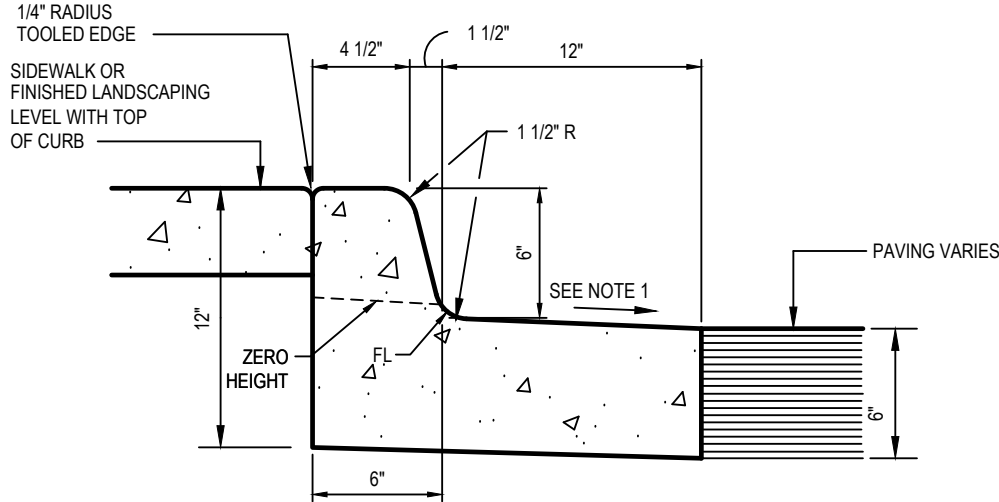


SLOPE FLUME ACCORDING TO GRADING AND DRAINAGE PLAN

CONCRETE NOTES:

- $f_c = 4,000$ PSI
- PROVIDE CONTROL JOINTS AT 5' O.C.
- PROVIDE EXPANSION JOINTS ONLY WHERE CONCRETE PAVEMENT ABUTS FIXED OBJECTS, CURB AND GUTTER, AND OTHER PAVEMENT TYPES.
- 6"x6" W/M MAY BE SUBSTITUTED WITH EQUIVALENT STRENGTH FIBER MESH.

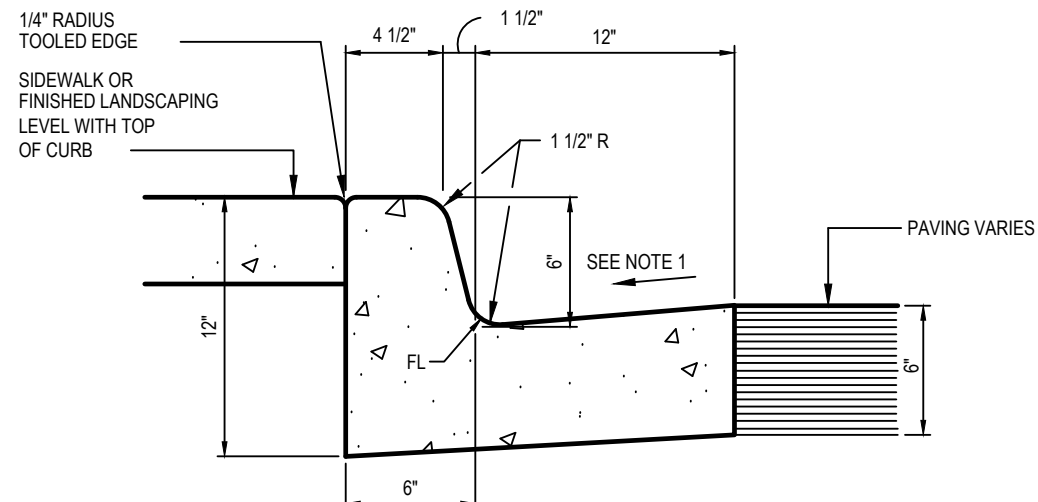
4 CURB OPENING
NOT TO SCALE



NOTES:

1. GUTTER CROSS SLOPE SHALL BE 1 IN./FT. WHEN DRAINING TOWARD CURB.
2. BASE OF CURB SHALL REST ON COMPACTED FILL.
3. ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
4. CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS.
5. ISOLATION JOINTS SHALL BE INSTALLED AT 50 FOOT MAXIMUM INTERVALS, AT THE END OF CURB RETURNS AND/OR TO MATCH LOCATION OF ISOLATION JOINTS IN PAVING - SEE DETAIL 2/C1.6.

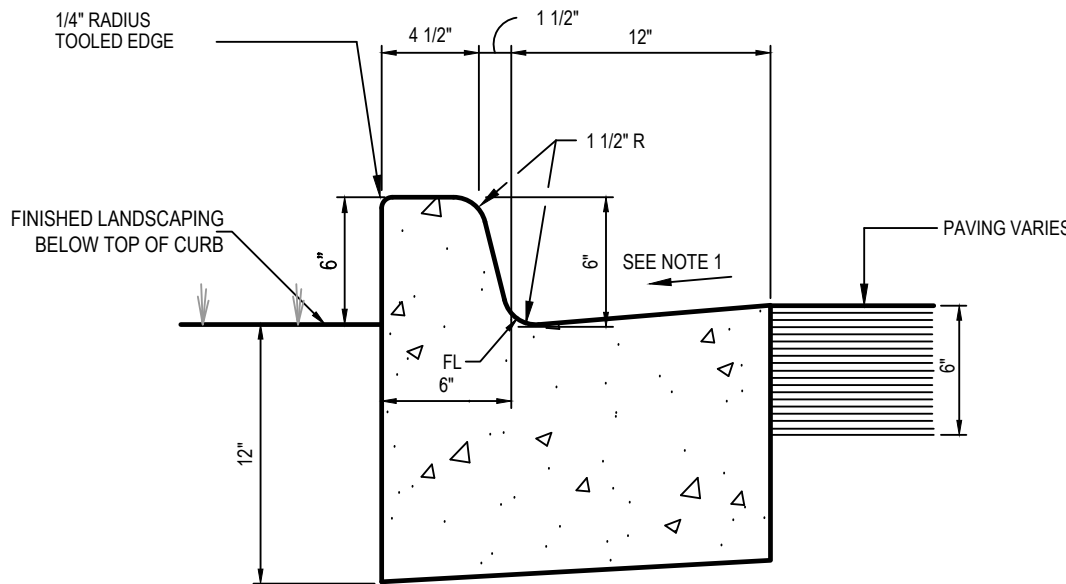
5 SPILL CURB AND GUTTER
NOT TO SCALE



NOTES:

1. GUTTER CROSS SLOPE SHALL BE 1 IN./FT. WHEN DRAINING TOWARD CURB.
2. BASE OF CURB SHALL REST ON COMPACTED FILL.
3. ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
4. CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS.
5. ISOLATION JOINTS SHALL BE INSTALLED AT 50 FOOT MAXIMUM INTERVALS, AT THE END OF CURB RETURNS AND/OR TO MATCH LOCATION OF ISOLATION JOINTS IN PAVING - SEE DETAIL 2/C1.6.

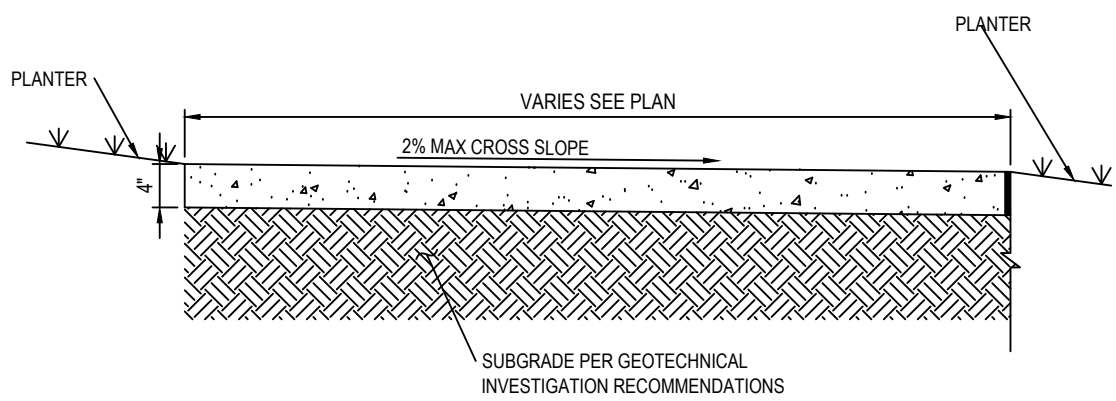
6 CATCH CURB AND GUTTER
NOT TO SCALE



NOTES:

1. GUTTER CAN BE CATCH OR SPILL.
2. BASE OF CURB SHALL REST ON COMPACTED FILL.
3. ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
4. CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS.
5. ISOLATION JOINTS SHALL BE INSTALLED AT 50 FOOT MAXIMUM INTERVALS, AT THE END OF CURB RETURNS AND/OR TO MATCH LOCATION OF ISOLATION JOINTS IN PAVING - SEE DETAIL 2/C1.6.

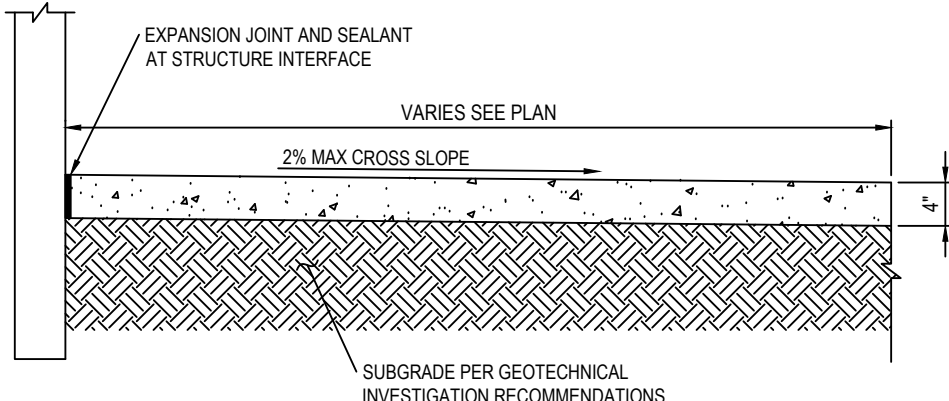
7 EXPOSED CURB AND GUTTER
NOT TO SCALE



NOTES:

1. MAX CROSS SLOPE 2%
2. 5" MINIMUM SIDEWALK WIDTH
3. 2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS, OR OTHER IMMOVABLE OBJECTS.
4. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE COA STD. DWG. 2415.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIDEWALK REPLACEMENT DUE TO DEFECT, EXCESSIVE OR INADEQUATE GRADE, OR ADA NON-COMPLIANCE IF PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
6. CONSTRUCTION MATERIALS AND PROCEDURE SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

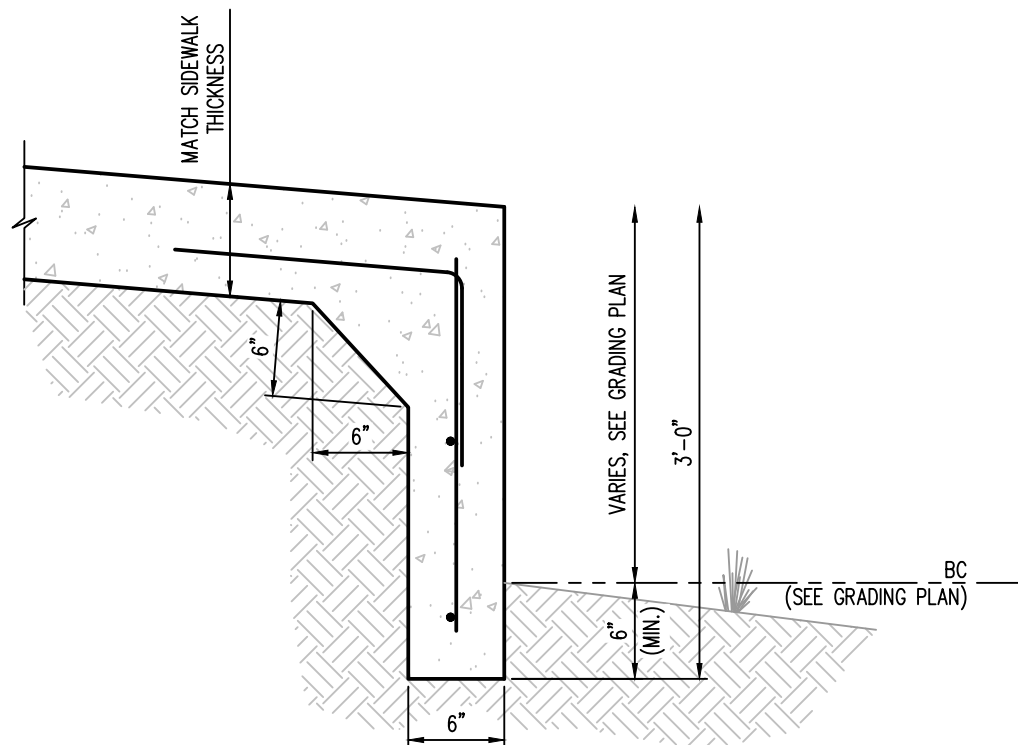
8 CONCRETE SIDEWALK (TYP.)
NOT TO SCALE



NOTES:

1. MAX CROSS SLOPE 2%
2. 5" MINIMUM SIDEWALK WIDTH
3. 2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS, OR OTHER IMMOVABLE OBJECTS.
4. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE COA STD. DWG. 2415.
5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIDEWALK REPLACEMENT DUE TO DEFECT, EXCESSIVE OR INADEQUATE GRADE, OR ADA NON-COMPLIANCE IF PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
6. CONSTRUCTION MATERIALS AND PROCEDURE SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

9 CONCRETE SIDEWALK AT BUILDING
NOT TO SCALE



NOTES:

- $f_c = 4,000$ PSI
- PROVIDE CONTROL JOINTS AT 5' O.C.
- PROVIDE EXPANSION JOINTS ONLY WHERE CONCRETE PAVEMENT ABUTS FIXED OBJECTS, CURB AND GUTTER, AND OTHER PAVEMENT TYPES.
- 6"x6" W/M MAY BE SUBSTITUTED WITH EQUIVALENT STRENGTH FIBER MESH.
- ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.

10 TURN DOWN SLAB AT EDGE OF SIDEWALK
NOT TO SCALE



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

CONSULTANTS

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

BENCH MARKS
VERTICAL DATUM IS BASED UPON ALBUQUERQUE
CONTROL SURVEY MONUMENT "ACS BM 24-L16".
ELEVATION = 5191.31 FEET (NAVD 86)



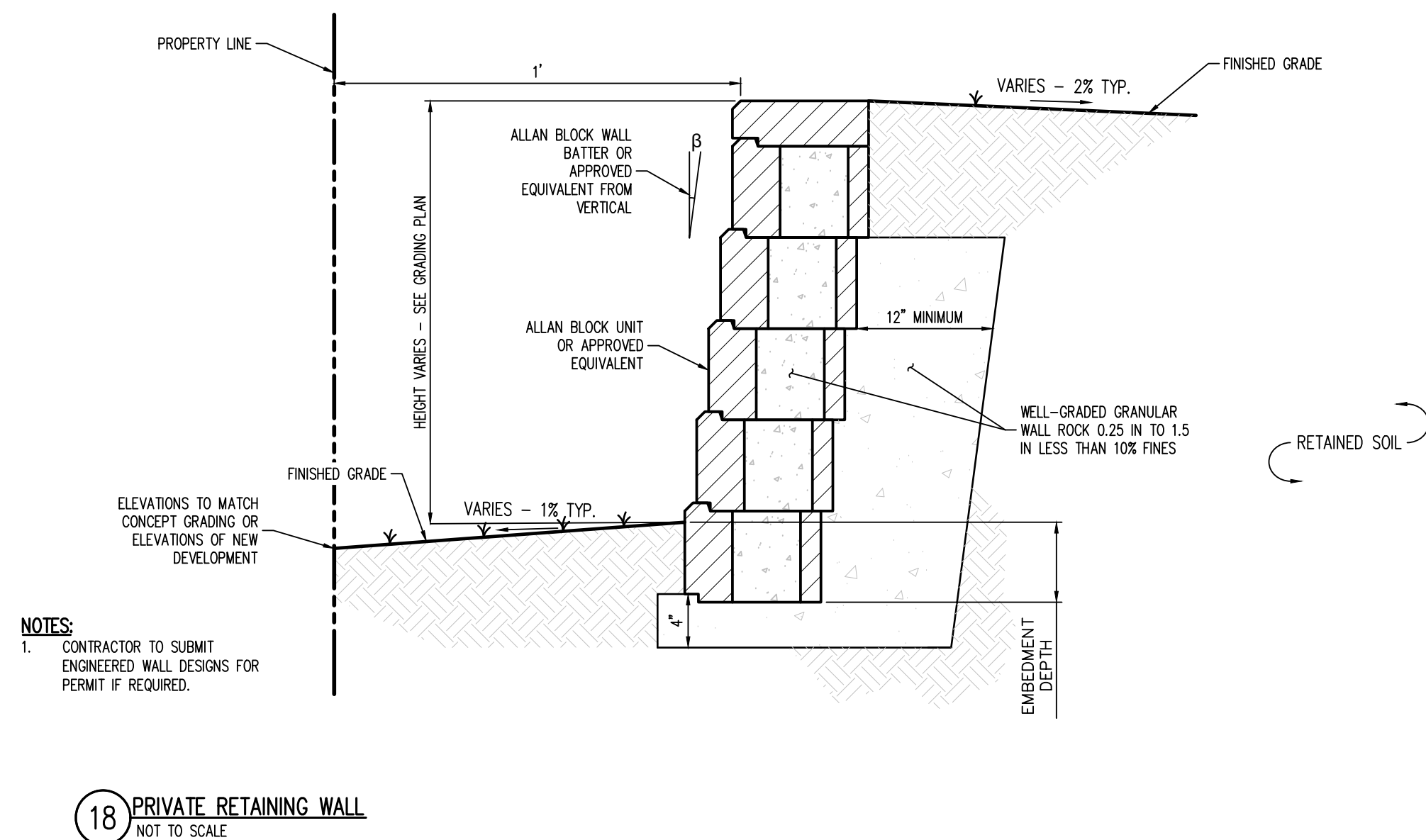
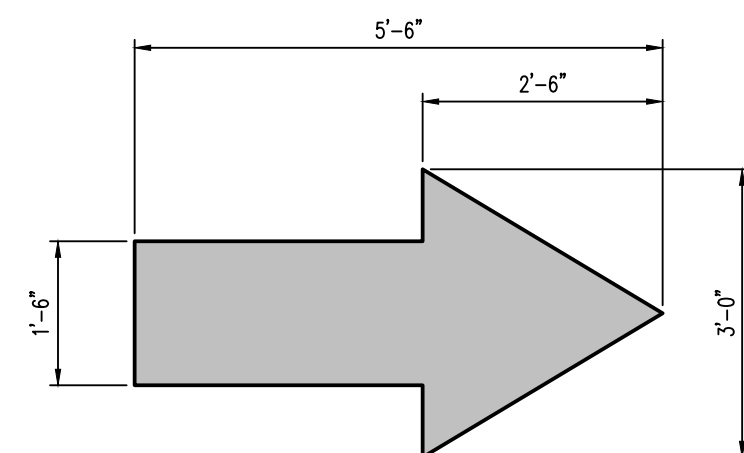
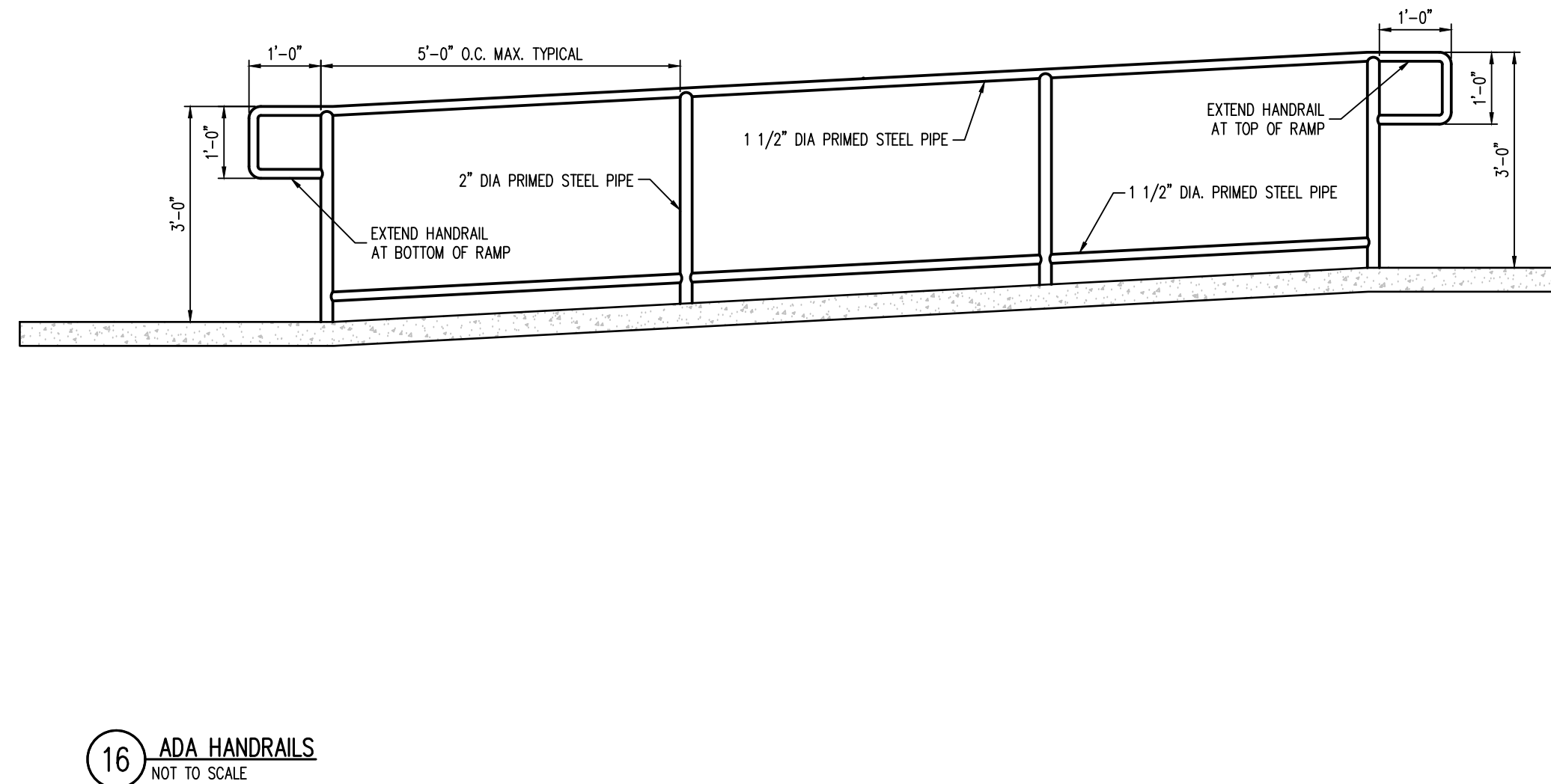
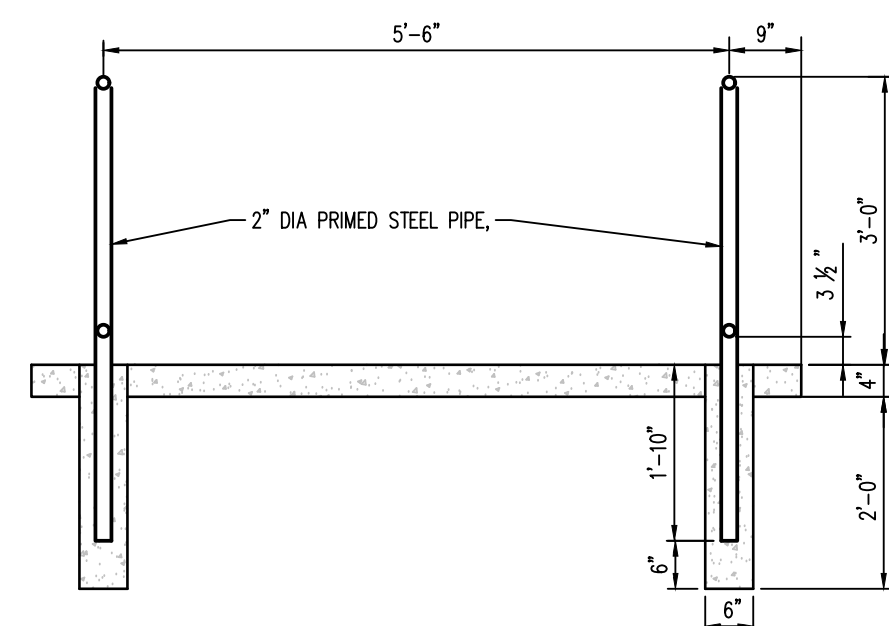
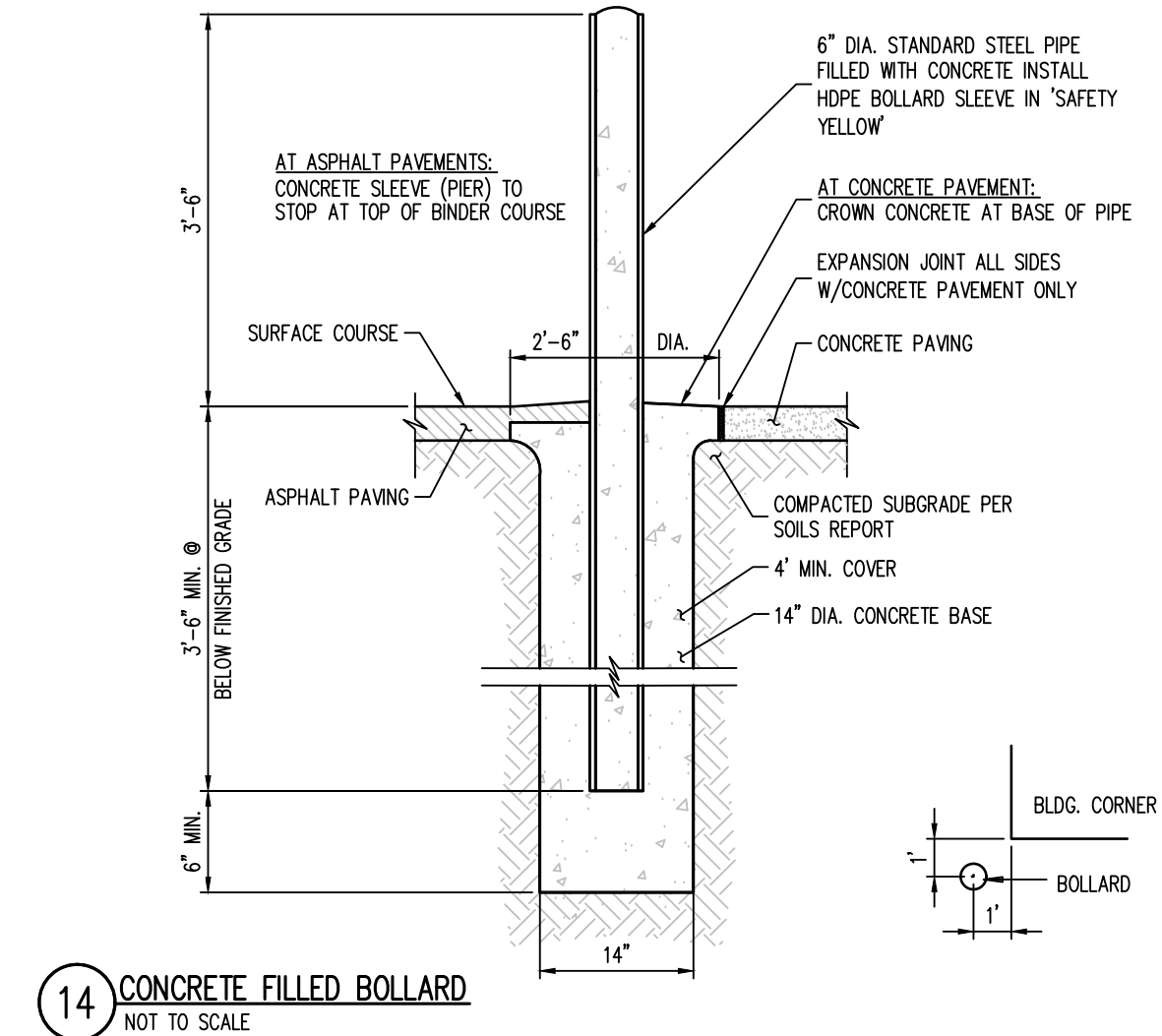
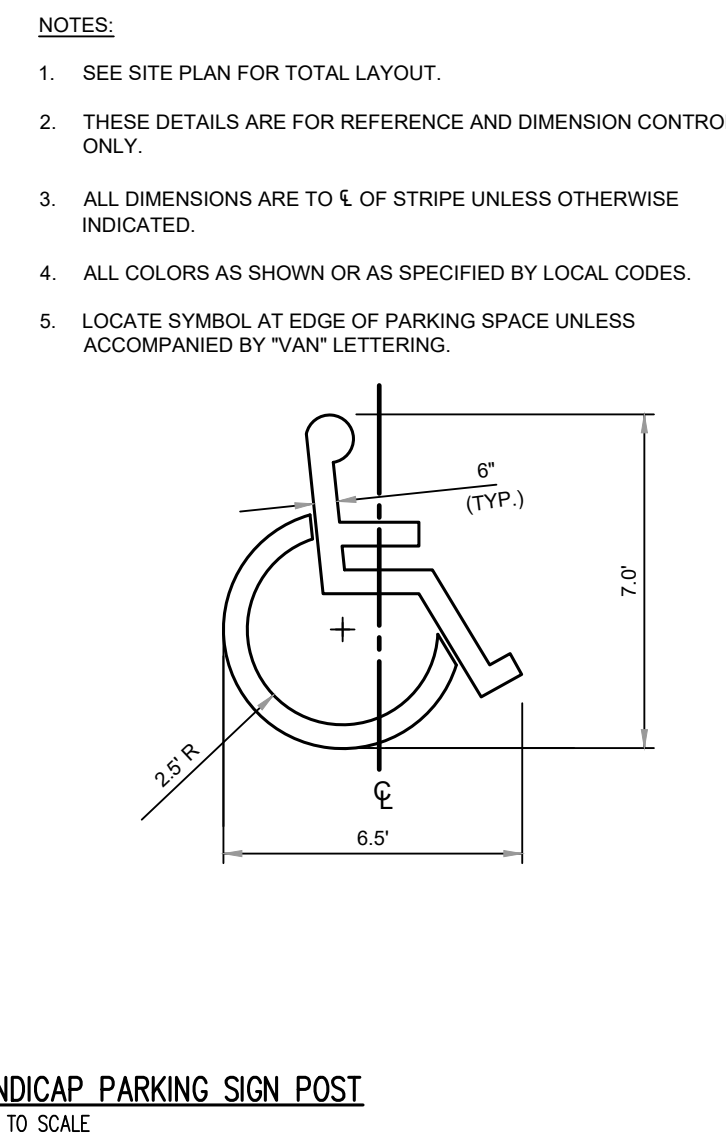
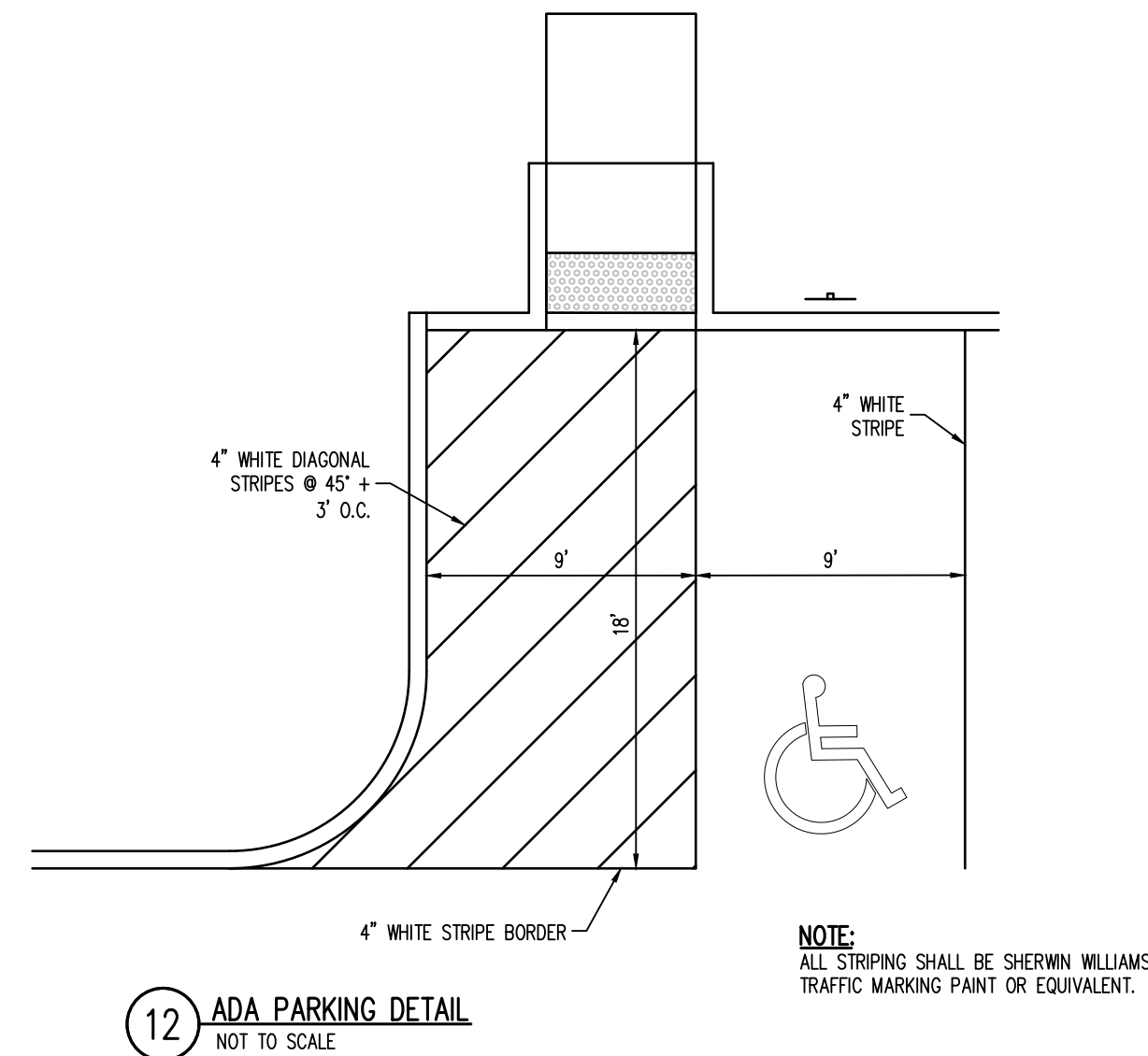
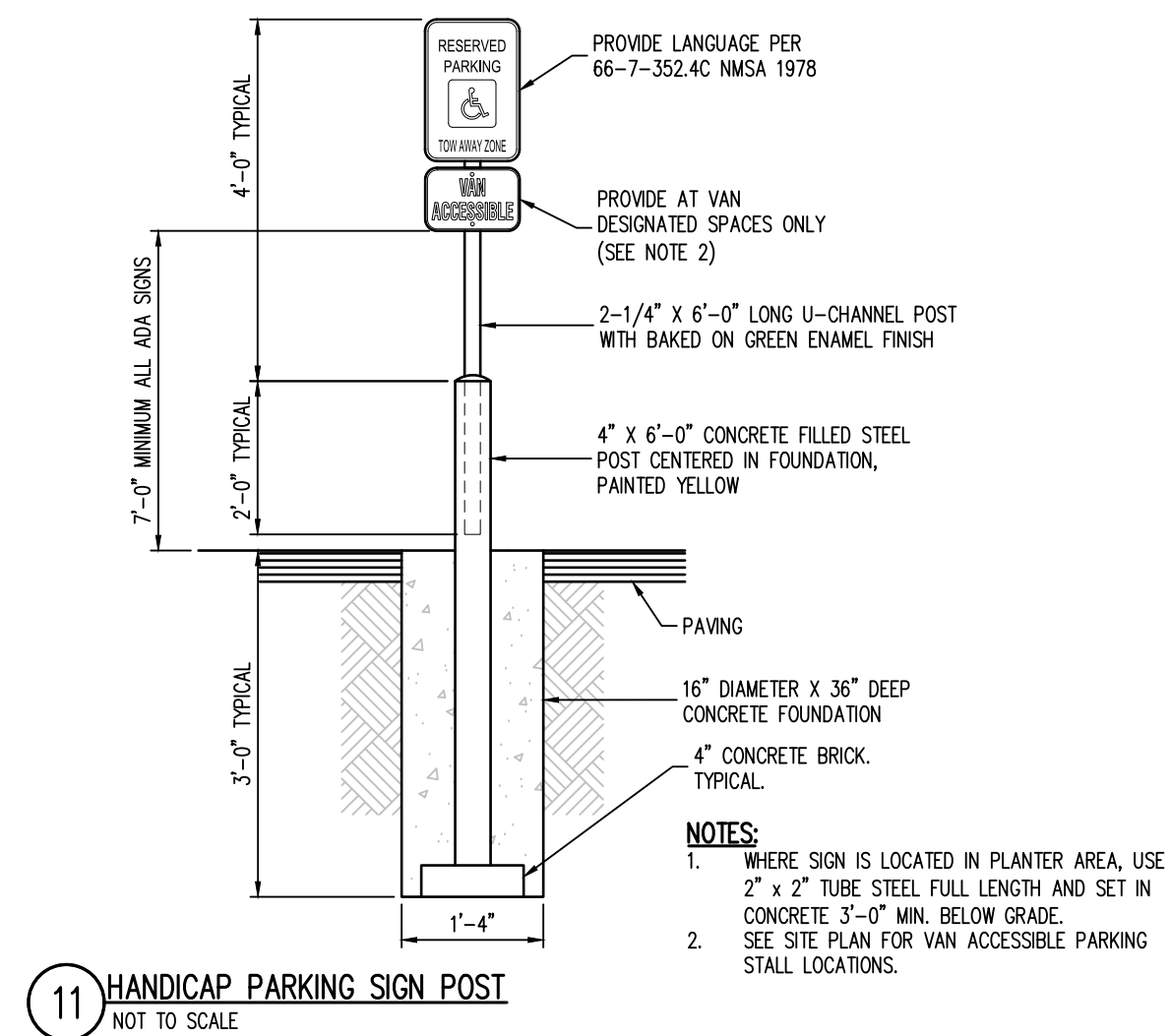
SEAL

TDK	TDK	BY
1ST/1CL SUBMITTAL	2ND/2CL SUBMITTAL	
1	2	
08/19/2023	08/19/2025	
NO.	DATE	
AS-BUILT INFORMATION		
CONTRACTOR:		
DESIGNED BY:	DDJ	
DRAWN BY:	HCH	
CHECKED BY:	TDK	
DATE	08/15/2025	
WORK STAKED BY:		DATE:
INSPECTOR'S ACCEPTANCE BY:		DATE:
FIELD VERIFICATION BY:		DATE:
DRAWINGS CORRECTED BY:		DATE:

LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE
2030 GIBSON BOULEVARD

SITE DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. M-15 & L-15
		CITY PROJECT NO.
		SHEET NO. C1.3



CONSULTANTS

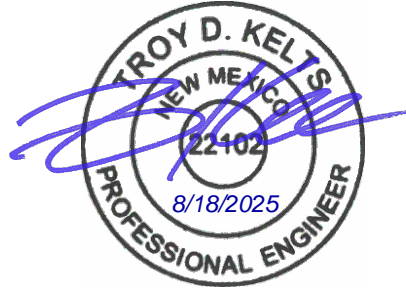
Galloway

5500 Greenwood Plaza Blvd., Suite 200
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BENCH MARKS

VERTICAL DATUM IS BASED UPON ALBUQUERQUE
CONTROL SURVEY MONUMENT "ACS BM 24-L 16",
ELEVATION = 5191.31 FEET (NAVD 88)

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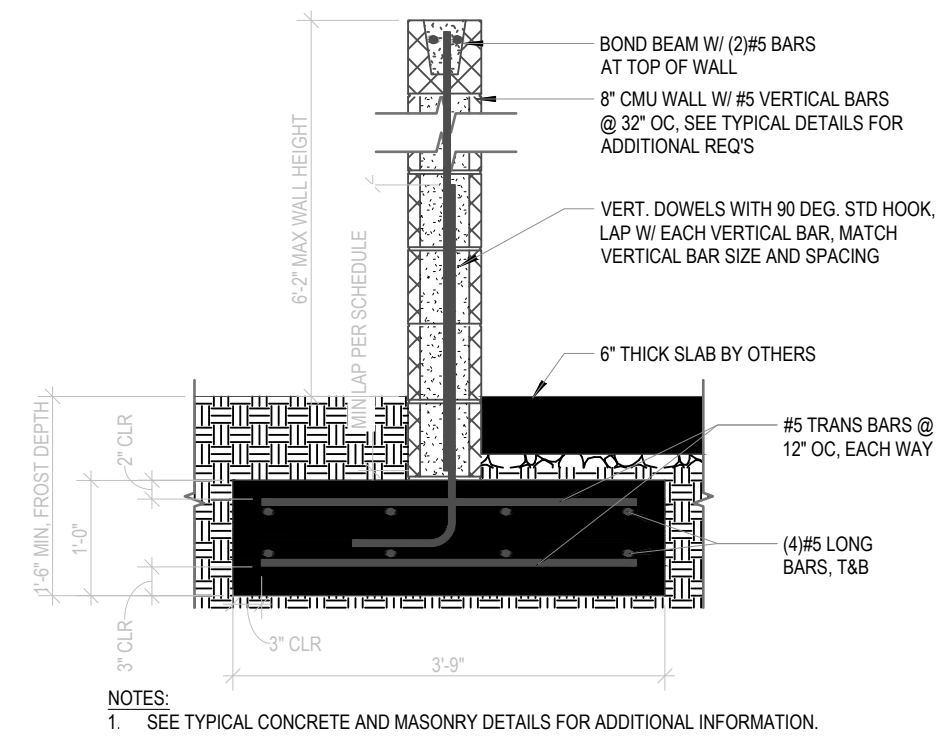
SHTS ADDITION UQUERQUE BOULEVARD	
DETAILS	
ZONE MAP NO. M-15 & L-15	
CITY PROJECT NO.	
SHEET NO. C1.4	
PAGE 6 OF 18	



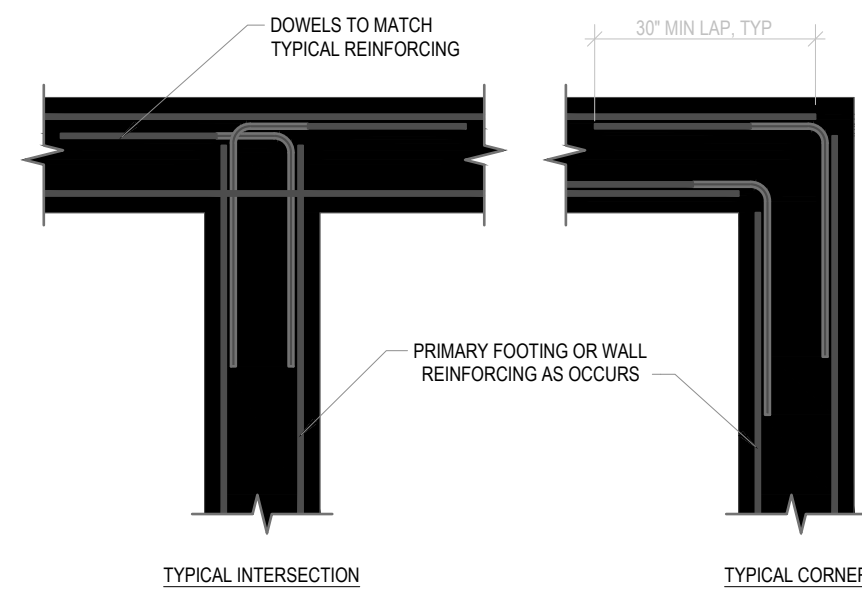
**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**

ADDITIONAL INFORMATION CONCERNING THESE SPECIFICATIONS MAY BE OBTAINED BY CALLING THE SOLID WASTE MANAGEMENT DEPARTMENT AT (505) 761-8125.

19 REFUSE/SOLID WASTE - TRASH ENCLOSURE
NOT TO SCALE



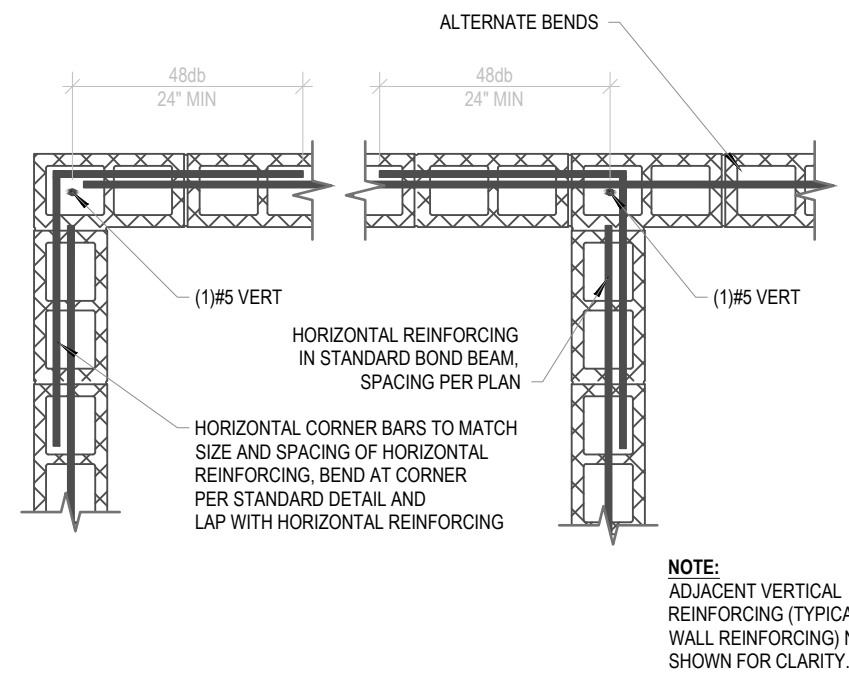
20 TRASH ENCLOSURE - CMU WALL
NOT TO SCALE



NOTES:

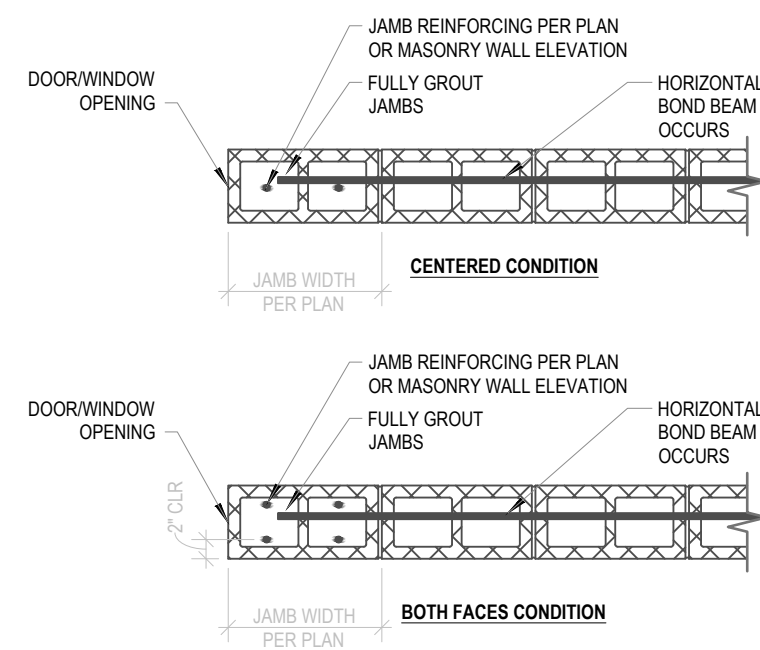
- A. VERTICAL REINFORCING AND STIRRUPS NOT SHOWN FOR CLARITY.
- B. DETAIL APPLIES TO FOOTINGS AND WALLS AS THEY OCCUR.
- C. REF STANDARD REBAR BENDS FOR BEND DIAMETERS AND OTHER INFORMATION.

21 FOOTING INTERSECTION REINFORCING
NOT TO SCALE

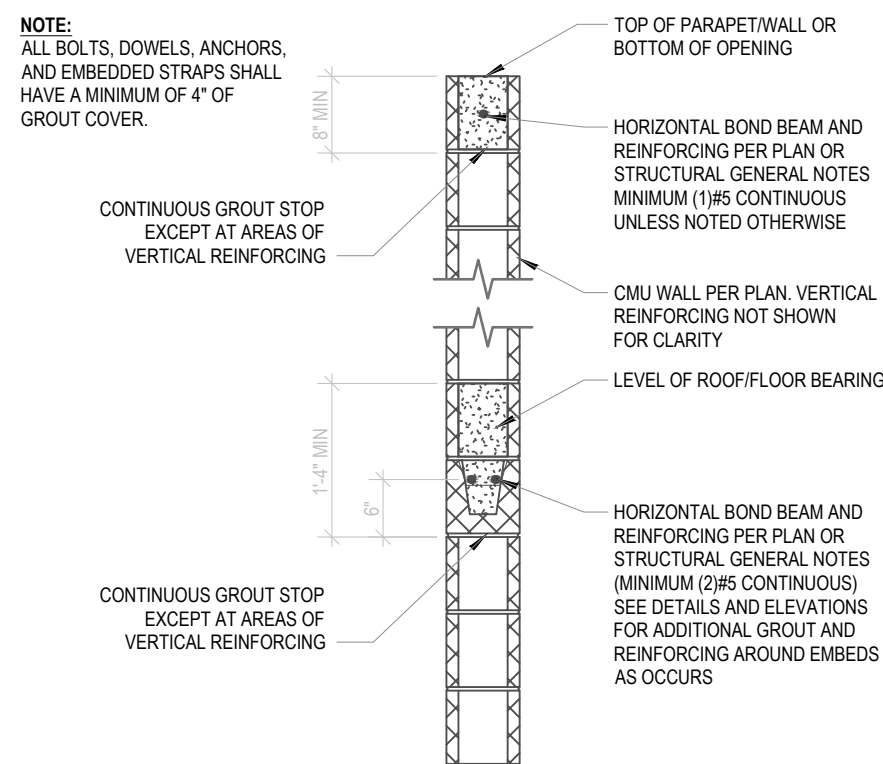


NOTE:
ADJACENT VERTICAL
REINFORCING (TYPICAL
WALL REINFORCING) NOT
SHOWN FOR CLARITY.

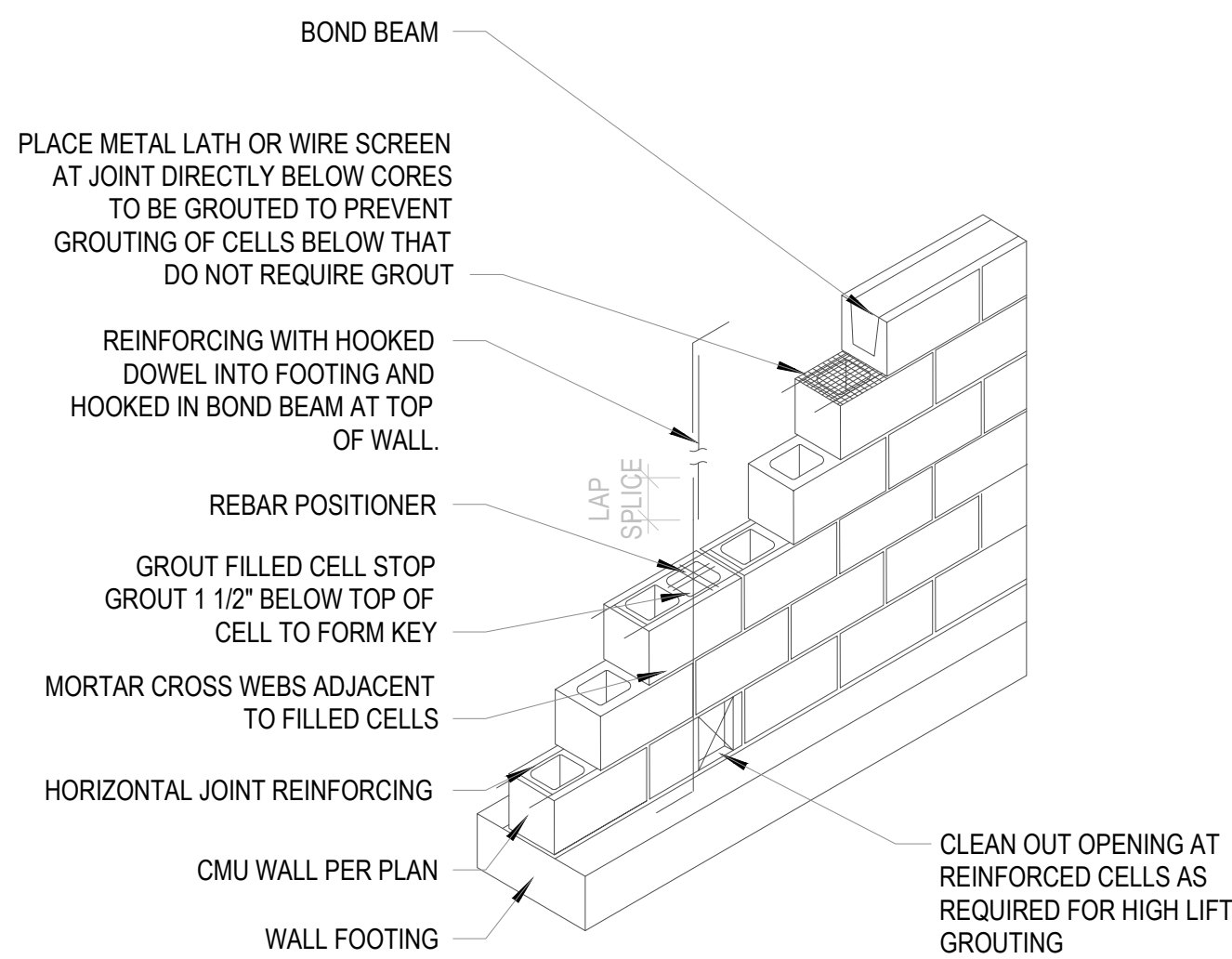
22 CMU WALL REINF. PLAN DETAIL
NOT TO SCALE



23 TYPICAL JAMB REINFORCING
NOT TO SCALE



24 TYPICAL HORIZONTAL BOND BEAM
NOT TO SCALE



25 TYPICAL MASONRY WALL CONSTRUCTION
NOT TO SCALE

TENSION LAP SPlice LENGTHS (GRADE 60 BARS)

2018 IBC, REF ACI 318-14, SECTION 25.4.2 AND 25.5


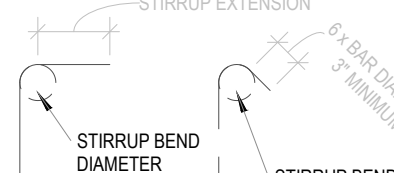
NON-TOP BARS							
f _c = 3,000 PSI			f _c = 4,000 PSI			f _c = 5,000 PSI	
BAR	DIA.	CLASS A	CLASS B	CLASS A	CLASS B	CLASS A	CLASS B
#3	0.375"	17	22	15	19	13	17
#4	0.500"	22	29	19	25	17	23
#5	0.625"	28	36	24	31	22	28
#6	0.750"	33	43	29	37	26	34
#7	0.875"	40	53	42	54	38	49
#8	1.000"	55	72	48	62	43	56
#9	1.128"	62	81	54	70	48	62
#10	1.270"	69	89	60	78	53	69
#11	1.410"	74	98	63	85	59	76
#14	1.693"	96	125	83	108	75	97

TOP BARS							
f _c = 3,000 PSI			f _c = 4,000 PSI			f _c = 5,000 PSI	
BAR	DIA.	CLASS A	CLASS B	CLASS A	CLASS B	CLASS A	CLASS B
#3	0.375"	22	28	19	24	17	22
#4	0.500"	29	37	25	33	23	29
#5	0.625"	36	47	31	41	28	36
#6	0.750"	43	56	37	49	34	43
#7	0.875"	53	68	47	61	42	53
#8	1.000"	72	93	62	81	56	72
#9	1.128"	81	105	70	91	62	81
#10	1.270"	89	116	78	101	69	90
#11	1.410"	98	128	85	111	76	99
#14	1.693"	125	162	108	141	97	126

NOTES:

1. ALL DIMENSIONS SHOWN ARE IN INCHES
2. TOP BARS ARE DEFINED AS HORIZONTAL BARS PLACED WITH MORE THAN 12" OF FRESH CONCRETE BELOW THEM. ALL OTHER BARS ARE NON-TOP BARS.
3. DEVELOPMENT LENGTHS IN TABLES ABOVE ARE BASED ON CLEAR COVER BEING GREATER THAN 1.0db (BAR DIAMETERS), AND AN AVERAGE SPACING BETWEEN BARS BEING GREATER THAN 2.0db.
4. IF BAR IS EPOXY COATED AND CLEAR SPACING IS LESS THAN 3d, OR CLEAR SPACING IS LESS THAN 8d, MULTIPLY LAP LENGTH BY 1.5.
5. FOR ALL OTHER EPOXY COATED BAR CONDITIONS, MULTIPLY LAP LENGTH BY 1.2.
6. IF CONCRETE IS LIGHTWEIGHT, MULTIPLY LAP LENGTH BY 0.75.

TYPICAL HOOKS AND BENDS SCHEDULE

STANDARD REINFORCING					STIRRUPS AND TIE HOOKS				
STANDARD EXTENSION				STANDARD HOOK EXTENSION	STIRRUP EXTENSION				
									
90° BEND					90° BEND				
180° BEND					135° BEND				

BAR	DIAMETER	STD. EXTENSION	FBD	STD. HOOK EXT	STIRRUP EXT	STIRRUP BEND
#3	0.375"	4.5'	2.25'	1.5'	2.25'	1.5'
#4	0.500"	6'	3'	2"	3'	2"
#5	0.625"	7.5'	3.75'	2.5'	3.75'	2.5'
#6	0.750"	9'	4.5'	3"	9'	4.5'
#7	0.875"	10.5'	5.25'	3.5'		
#8	1.000"	12'	6'	4"		
#9	1.125"	11.25'	5.625'	4.5'		
#10	1.270"	15.25'	7.625'	5"		
#11	1.410"	17'	8.5'	5.75'		
#12	1.693"	20.5'	10.25'	6.75'		
#14	2.257"	27'	13.5'	9"		

NOTES:

1. ALL DIMENSIONS PER CRSI MANUAL OF STANDARD PRACTICE AND ACI 318.
2. ALL BARS TO BE BENT COLD.
3. DO NOT BEND OR STRAIGHTEN BARS IN A MANNER THAT WILL DAMAGE THE BARS.
4. DO NOT FIELD BEND BARS PARTIALLY EMBEDDED IN CONCRETE OR MASONRY.

CMU REINF LAP SPLICE LENGTHS				
2018 IBC, f _m = 1,500 PSI, REINF IN CENTER OF WALL				
LONGITUDINAL BAR SIZE	6" CMU UNCONFINED	8" CMU UNCONFINED	10" CMU UNCONFINED	12" CMU UNCONFINED
#2 (#10)	12	12	12	12
#4 (#13)	20	15	12	12
#5 (#16)	32	23	18	15
#6 (#19)	54	43	34	28
#7 (#22)	NP	60	46	38
#8 (#25)	NP	72	71	57
#9 (#29)	NP	NP	82	74



**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**

LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE
2030 GIBSON BOULEVARD

SITE DETAILS

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO. M-15 & L-15

CITY PROJECT NO.

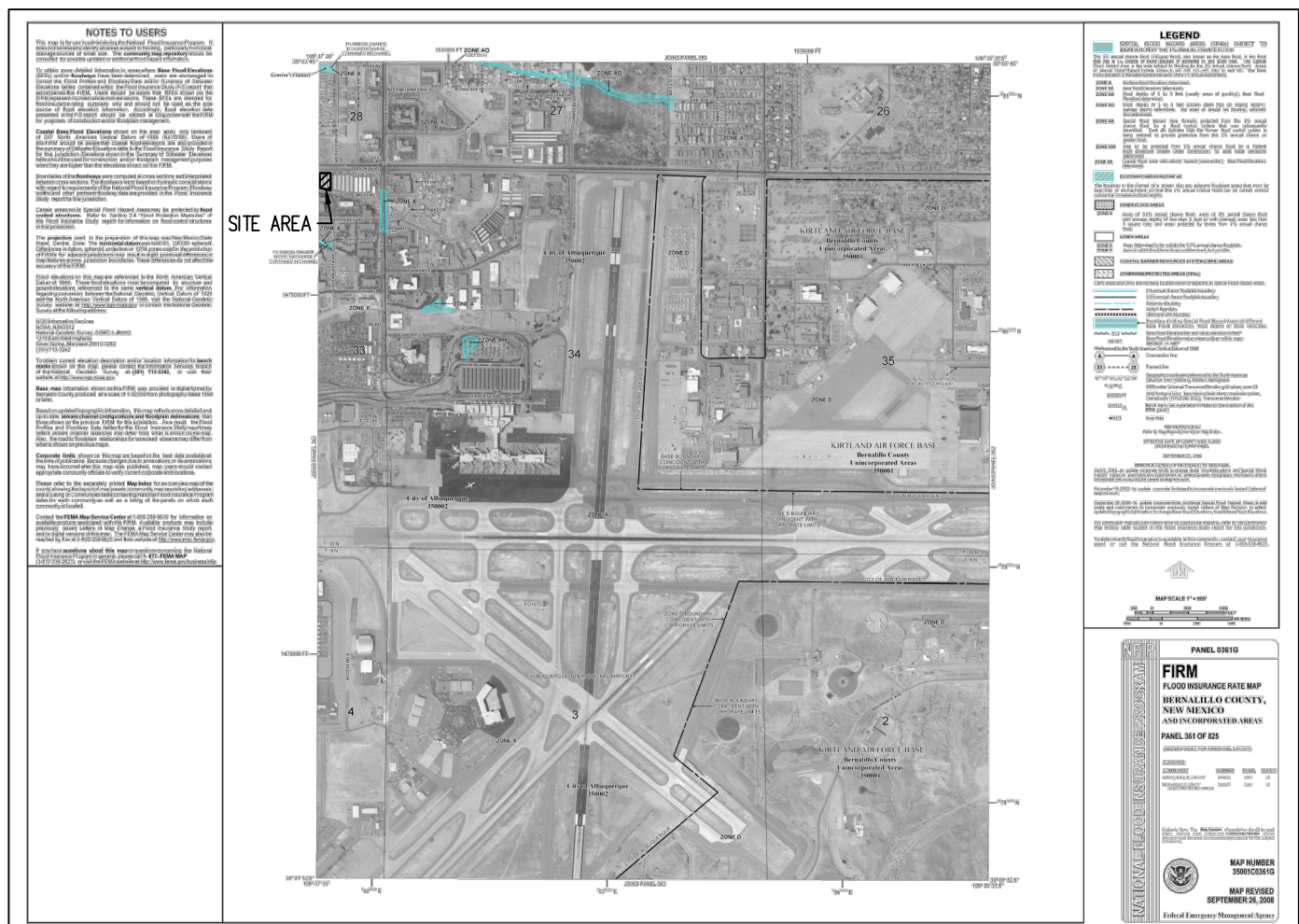
SHEET NO. **C1.5**
PAGE 7 OF 18

PAGE 7 OF 18 C1.3

1:\CD\Urban Development\RM\A\Albuquerque - 234000000 - Gibson & Associates\CD\Urban\001 - 234 - GRADING AND DRAINAGE PLAN.dwg - 08/12/2025



VICINITY MAP
SCALE: 1"=1000'



FIRM MAP 35001CQ361G
NOT TO SCALE

NOTE:

ADJACENT LOT LAYOUTS ARE CONCEPTUAL AND SHOWN FOR CONTEXT ONLY. THEY ARE NOT A PART OF THIS DEVELOPMENT AND WILL NOT BE APPROVED WITH THIS GRADING & DRAINAGE PLAN.

WATER QUALITY NOTE:

POND SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE FINAL STABILIZATION CRITERIA GCP 2.2.14.B).

Curb Chase Capacity

Weir Equation:

$$Q = CLH^{3/2}$$

Q = Flow

C = 2.95

L = Length of weir

H = Height of weir

2' Curb Chase Capacity (8" Curb)

$$Q = 2.95^2 \times 0.583^{3/2}$$

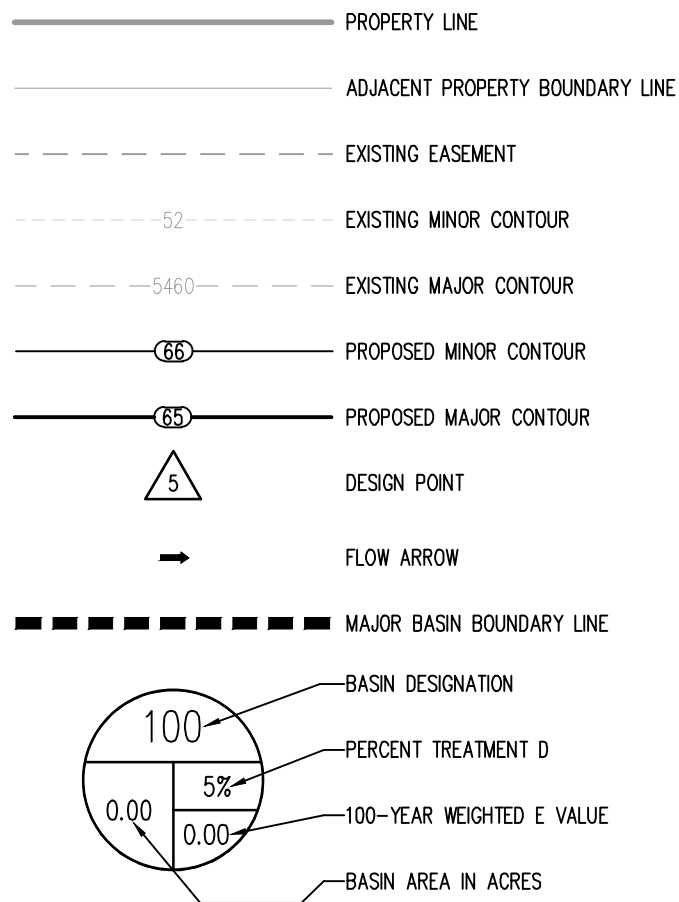
$$Q = 2.63 \text{ cfs}$$

Required Equivalent Curb Opening				
Basin	10-Year Flow (cfs)	Number of 2' Curb Openings	Equivalent Open Length (ft)	Actual Flow Capacity (cfs)
EX. CURB CHASE	2.25	2	4	5.26

Ex. Curb chase receives flow from basins 106, 108, and 204

Note: Due to the temporary conditions shown in this plan, sidewalk culverts were sized using 10-year flows.

DRAINAGE LEGEND



PRIVATE DRAINAGE FACILITIES WITHIN CITY ROW:

NOTICE TO CONTRACTOR (SPECIAL ORDER 19 "SO-10")

- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD SO THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

Weighted E Method (Developed)												
Basin	Area (sf)	Area (ac)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year	
			%	acres	%	acres	%	acres	%	acres	Weighted E (in)	Volume (ac-ft)
102	10,410	0.24	0.00%	0	0.00%	0	33.47%	0.08	66.53%	0.16	1.895	0.453
104	2,528	0.06	0.00%	0	0.00%	0	17.23%	0.01	82.77%	0.05	2.106	0.122
106	4,263	0.10	0.00%	0	0.00%	0	10.22%	0.01	89.78%	0.09	2.197	0.215
108	952	0.02	0.00%	0	0.00%	0	77.76%	0.02	22.24%	0.00	1.319	0.029
202	13,893	0.32	0.00%	0	0.00%	0	34.49%	0.11	65.51%	0.21	1.882	0.600
204	33,197	0.76	0.00%	0	0.00%	0	11.81%	0.09	88.19%	0.67	2.176	1.659
Total	65,244	1.50										

Equations:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / \text{Total Area}$$

$$\text{Volume} = \text{Weighted E} \cdot \text{Total Area}$$

$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

Water Quality Calculations					Note: For redevelopment site, SWQV = 0.26 in	
Lot	Impervious Area (sf)	SWQV (in)	Storm Water Quality Vol Required (cf)	Storm Water Quality Vol required (ac-ft)		
102	7,068	0.26	153	0.004		
106	3,816	0.26	83	0.002		
Total	10,884		236	0.005		

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY DEVELOPED AND USED AS AIRPORT PARKING, CONSISTING ASPHALT DRIVES. ALMOST THE ENTIRETY OF THE LOT IS IMPERVIOUS AREA. THE SITE IS BOUNDED BY GIBSON BLVD TO THE NORTH, MILES RD TO THE SOUTH, AND FUTURE COMMERCIAL DEVELOPMENT TO THE EAST AND WEST. THE SITE IS APPROXIMATELY 0.422 ACRES AND DRAINS FROM SOUTHEAST TO NORTHWEST, FREE RELEASING INTO GIBSON BLVD THROUGH SEVERAL SIDEWALK CULVERTS. THE SITE IS NOT LOCATED IN A FLOODPLAIN AS SHOWN ON THE FIRM MAP (SEE THIS SHEET). THE PROJECT DOES NOT RECEIVE OFFSITE FLOWS. THIS SITE WILL CONFIRM WITH THE CONCEPTUAL MASTER GRADING & DRAINAGE PLAN M15D021.



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

PROPOSED DRAINAGE:

THE PROPOSED SITE IS APPROXIMATELY 0.422 ACRES. THE PROPOSED DEVELOPMENT CONSISTS OF A DRIVE-THRU OIL CHANGE FACILITY AND ASSOCIATED INFRASTRUCTURE. THIS REPORT WILL COMPLY WITH M15D021 CONCEPTUAL MASTER GRADING & DRAINAGE PLAN PREPARED WITH THE OVERALL DEVELOPMENT LOVELACE HEIGHTS ADDITION. ADJACENT SITE LAYOUTS ARE SHOWN FOR CONTEXT ONLY AND ARE NOT A PART OF THIS GRADING & DRAINAGE PLAN.

BASIN "102" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.93 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTHWEST, WHERE IT SHALL BE DIRECTED INTO WATER QUALITY POND 1 THEN OVERFLOWING INTO THE PRIVATE DRIVE AISLE.

BASIN "104" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.24 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTHWEST, WHERE IT SHALL FLOW OFFSITE INTO THE SHARED PRIVATE DRIVE AS EXISTING BASIN XXX IN THE CONCEPTUAL MASTER GRADING & DRAINAGE PLAN.

BASIN "106" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.41 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTHWEST, WHERE IT SHALL BE DIRECTED INTO WATER QUALITY POND 2 THEN OVERFLOWING INTO THE GIBSON RIGHT-OF-WAY THROUGH THE EXISTING 2' X 2' SIDE WALK CULVERTS.

BASIN "108" WILL GENERATE A 100-YR, 6-HOUR FLOW OF 0.07 CFS, WHICH IS ASSUMED TO BE DIRECTED NORTH, WHERE IT SHALL FLOW DIRECTLY INTO THE GIBSON RIGHT-OF-WAY.

BASIN "202" CORRESPONDS WITH OFFSITE PORTIONS OF EXISTING BASIN 406 ON LOT C2. BASIN 202 WILL GENERATE A 100-YR, 6-HOUR FLOW OF 1.24 CFS, WHICH IS ASSUMED TO BE DIRECTED WEST INTO BASIN 102, THEN FOLLOW THE DRAINAGE PATTERN ASSOCIATED WITH BASIN 102.

BASIN "204" CORRESPONDS WITH OFFSITE PORTIONS OF EXISTING BASIN 408 ON LOTS C2 AND D. BASIN 204 WILL GENERATE A 100-YR, 6-HOUR FLOW OF 3.19 CFS, WHICH IS ASSUMED TO BE DIRECTED WEST INTO BASIN 106, THEN FOLLOW THE DRAINAGE PATTERN ASSOCIATED WITH BASIN 106.

THE TOTAL DISCHARGE INTO THE GIBSON RIGHT-OF-WAY SHALL BE LESS THAN THE DISCHARGE IN THE EXISTING CONDITIONS DUE TO THE INCREASE IN LANDSCAPED AREA ONSITE.

Galloway
5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

CONSULTANTS
BENCH MARKS
VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "ACS BM 24-L16".
ELEVATION = 5191.31 FEET (NAVD 88)



SEAL	TDK	BY	DESCRIPTION	CONTRACTOR:	DATE	DATE	DATE
1ST SUBMITTAL							
08/12/2025							
1							
DESIGNED BY:	DDJ						
DRAWN BY:	HCH						
CHECKED BY:	TDK						
DATE	08/12/2025						
NO.							
AS-BUILT INFORMATION							
WORK STAKED BY:							
INSPECTOR'S ACCEPTANCE BY:							
FIELD VERIFICATION BY:							
DRAWINGS CORRECTED BY:							

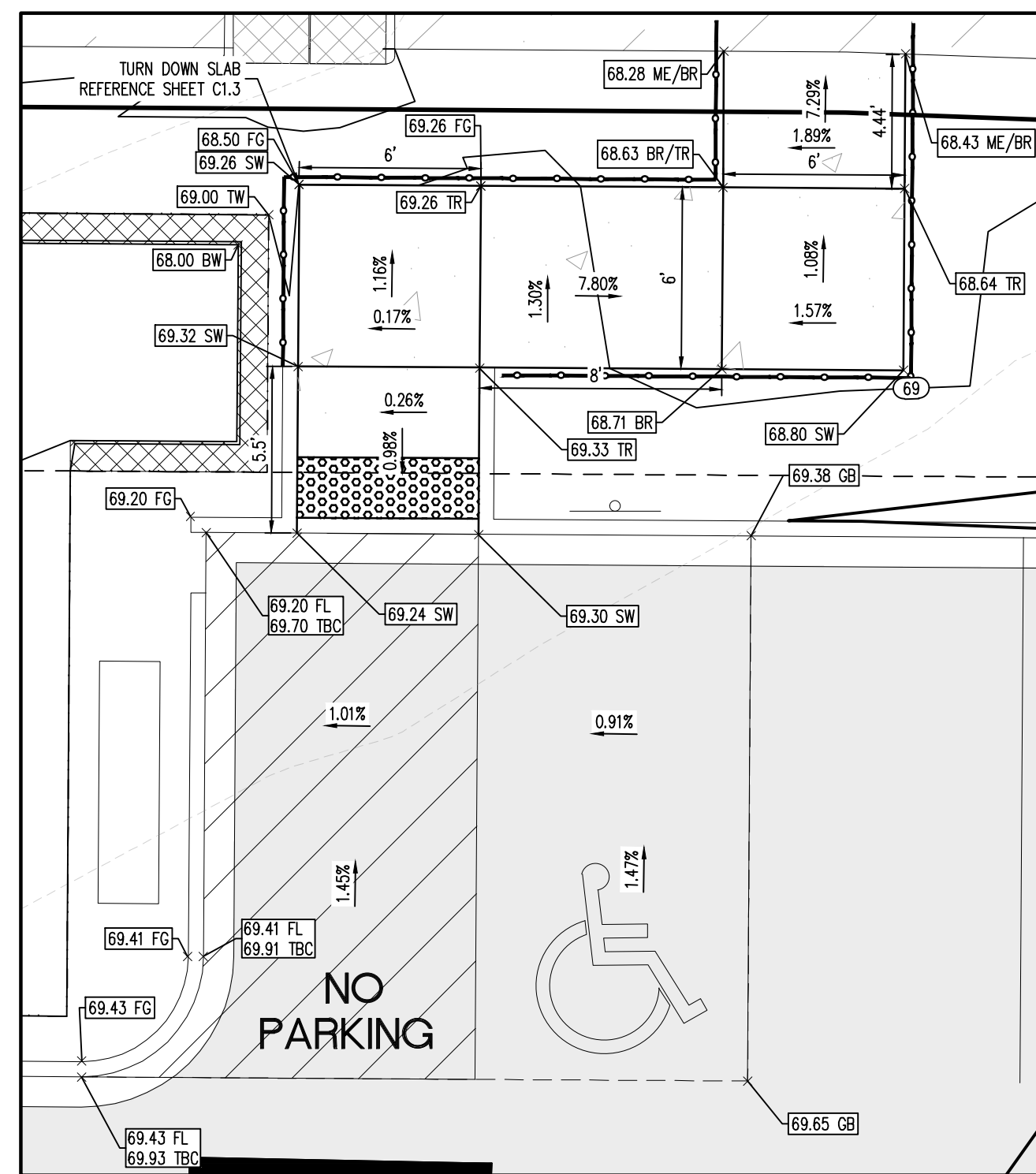
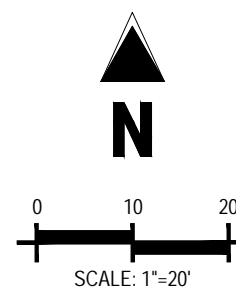
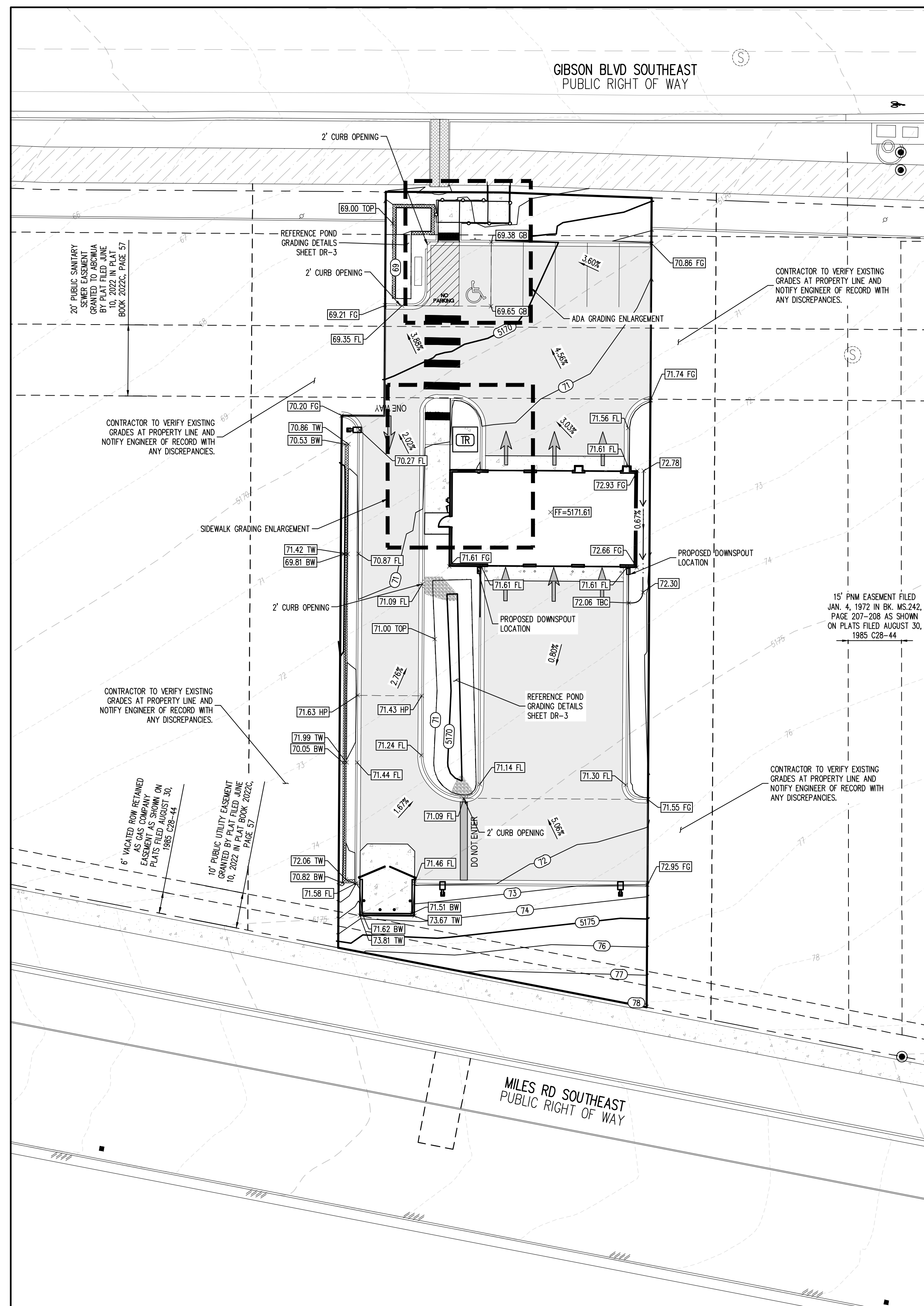
LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE
2030 GIBSON BOULEVARD

GRADING AND DRAINAGE PLAN

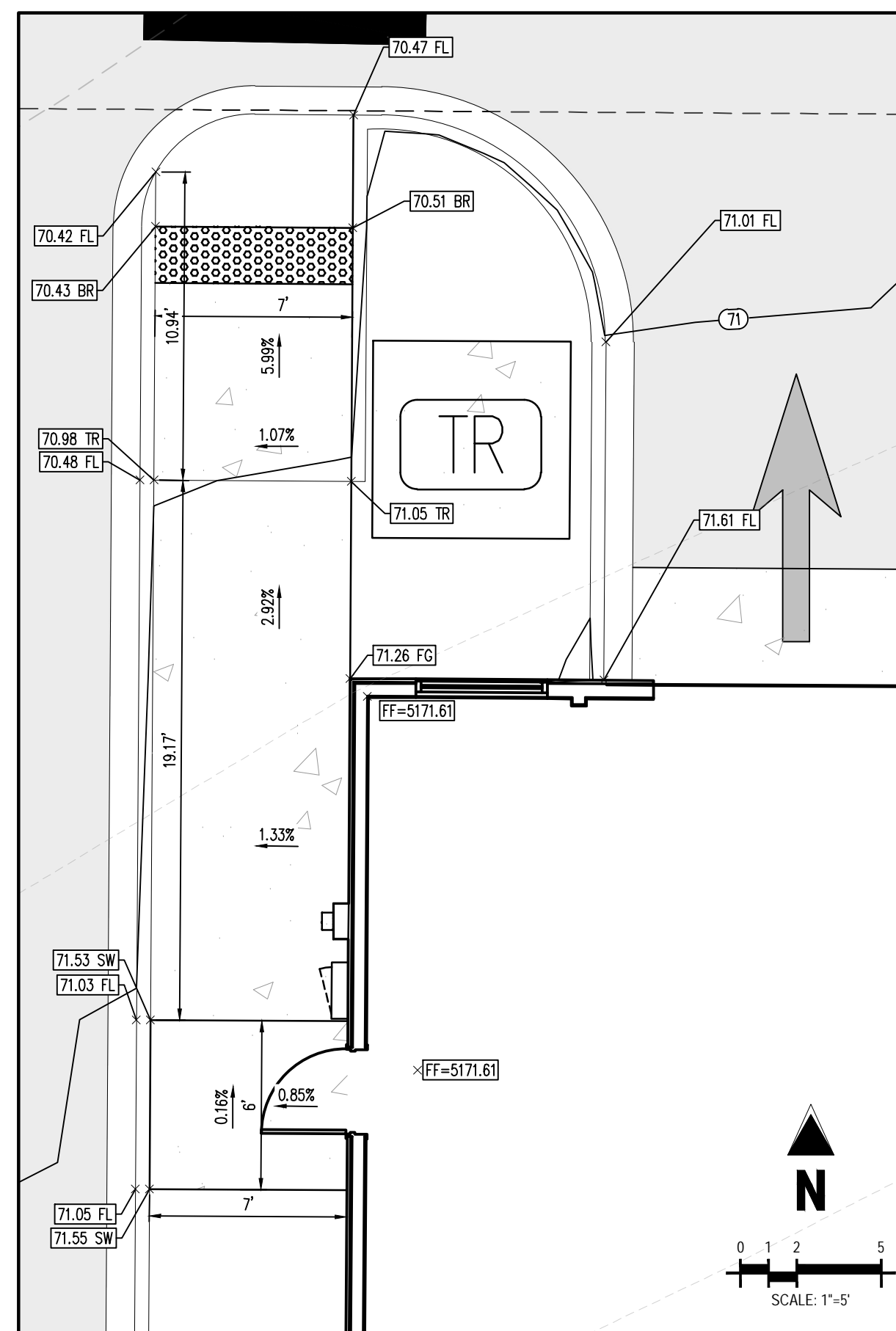
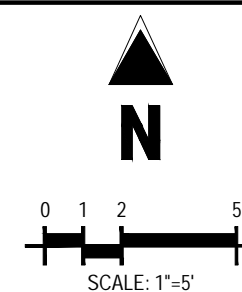
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL ZONE MAP NO. M-15 & L-15

CITY PROJECT NO.

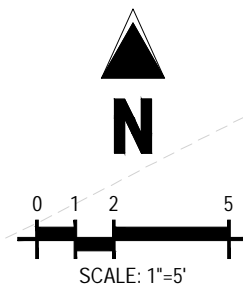
SHEET NO. DR-1
PAGE 1 OF 3



ADA GRADING ENLARGEMENT
SCALE: 1"=5"



SIDEWALK GRADING ENLARGEMENT
SCALE: 1"=5"



BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

LEGAL DESCRIPTION

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OF LOT LETTERED "C" OF LOVELAKE HEIGHTS ADDITION, (BEING A REPLAT OF TRACTS A-1A, B-1, AND C-1, LOVELAKE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C, PAGE 57

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER
RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS
SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC.
PROJECT NO: 3220JJ031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

SITE LEGEND

- | | |
|--|--|
| | EXISTING PROPERTY BOUNDARY LINE |
| | EXISTING ADJACENT PROPERTY BOUNDARY |
| | EXISTING ROW |
| | EXISTING EASEMENT |
| | PROPOSED CURB AND GUTTER |
| | EXISTING CURB AND GUTTER |
| | PROPOSED ADA PATH |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED RETAINING WALL |
| | EXISTING ASPHALT TRAIL TO REMAIN |
| | EXISTING SIDEWALK TO REMAIN |
| | PROPOSED ASPHALT |
| | EXISTING COMMUNICATIONS PEDESTAL TO REMAIN |
| | EXISTING SANITARY SEWER MANHOLE TO REMAIN |
| | EXISTING UTILITY POLE TO REMAIN |
| | PROPOSED SANITARY SEWER CLEANOUTS |
| | PROPOSED TRANSFORMER |
| | PROPOSED WATER METER |
| | PROPOSED BOLLARD |

GRADING LEGEND

- | | | | |
|-----|-------|-----|-----------------------------|
| --- | 370 | --- | EXISTING MAJOR CONTOUR |
| --- | 72 | --- | EXISTING MINOR CONTOUR |
| --- | 5175 | --- | PROPOSED MAJOR CONTOUR |
| --- | 14 | --- | PROPOSED MINOR CONTOUR |
| --- | | --- | PROPOSED GRADE BREAK |
| --- | 15.00 | --- | PROPOSED SPOT ELEVATION |
| --- | FL | --- | PROPOSED FLOWLINE ELEVATION |
| --- | HP | --- | HIGH POINT |
| --- | FG | --- | FINISHED GROUND |
| --- | SW | --- | SIDEWALK |
| --- | TBC | --- | TOP BACK CURB |
| --- | BW | --- | WALL BOTTOM |
| --- | TW | --- | WALL TOP |
| --- | GB | --- | GRADE BREAK |
| --- | ME | --- | MATCH EXISTING |

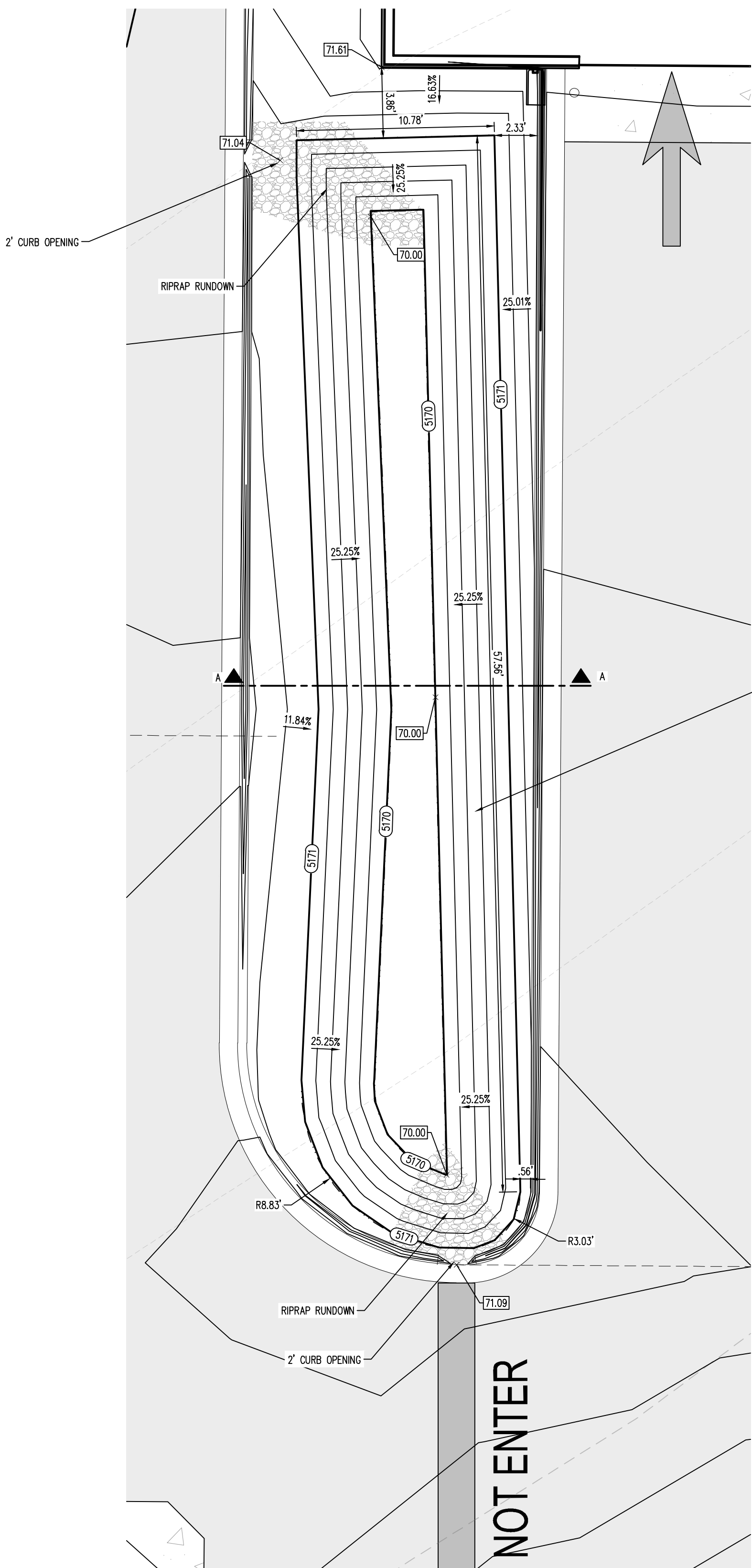


**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**

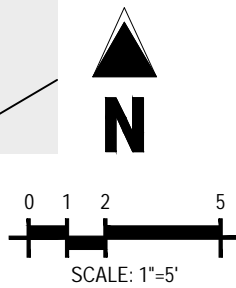
LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE
2030 GIBSON BOULEVARD

GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. M-15 & L-15
		CITY PROJECT NO.
		SHEET NO. PAGE 2 OF 3 DR-2

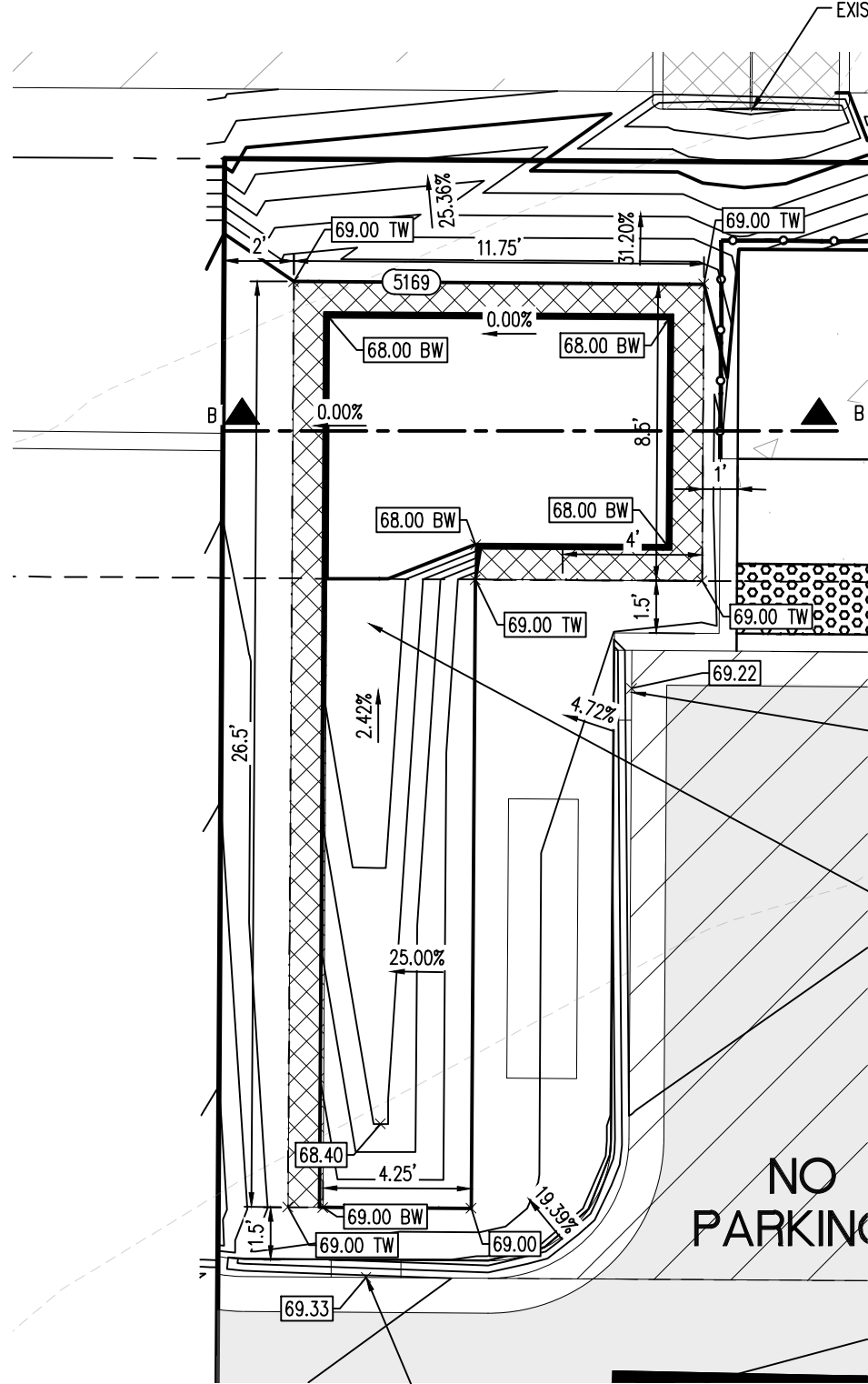


WATER QUALITY POND 1 GRADING ENLARGEMENT
SCALE: 1"=5'

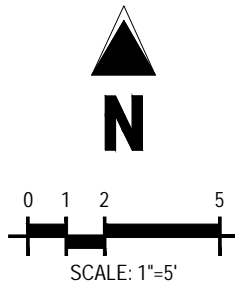


SEE GRADING AND DRAINAGE MAP
FOR MORE INFORMATION

WATER QUALITY POND 1
POND VOLUME = 385 CU. FT.
TOP = 5171
BOT = 5170

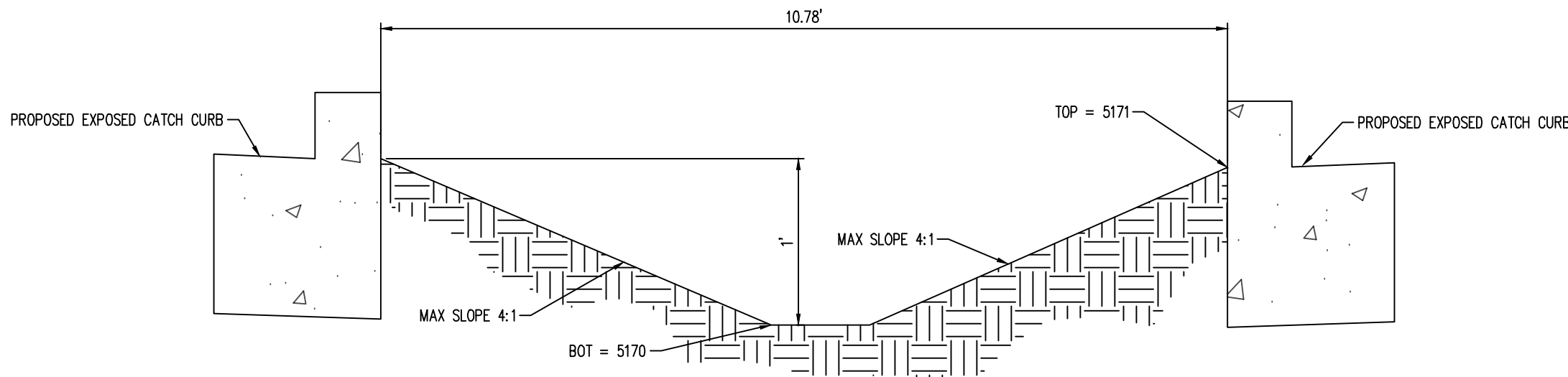


WATER QUALITY POND 2 GRADING ENLARGEMENT
SCALE: 1"=5'

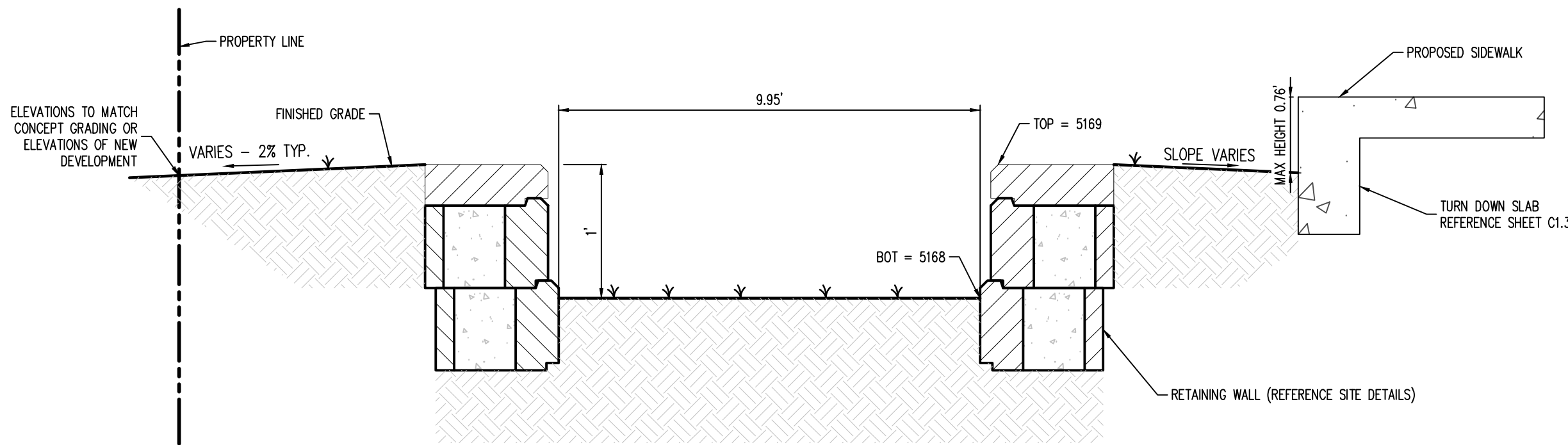


SEE GRADING AND DRAINAGE MAP
FOR MORE INFORMATION

WATER QUALITY POND 2
POND VOLUME = 92 CU. FT.
TOP = 5169
BOT = 5168



WATER QUALITY POND 1 CROSS SECTION A-A
SCALE: NTS



WATER QUALITY POND 2 CROSS SECTION B-B
SCALE: NTS

WATER QUALITY NOTE:

POND SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE FINAL STABILIZATION CRITERIA GCP 2.2.14.B).

PRIVATE DRAINAGE FACILITIES WITHIN CITY ROW:

- NOTICE TO CONTRACTOR (SPECIAL ORDER 19 "50-10")
1. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
 5. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD SO THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.
 6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 9. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

BASIS OF BEARING

BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE - NAD 83.

LEGAL DESCRIPTION

PROPOSED LOT LETTERED "C-1" OF THE REPLAT OF LOT LETTERED "C" OF LOVELACE HEIGHTS ADDITION, (BEING A REPLAT OF TRACTS A-1A, B-1, AND C-1, LOVELACE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 10, 2022 IN PLAT BOOK 2022C, PAGE 57.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES, INC.
PROJECT NO: 3220JJ031 DATE: MAY 9, 2021

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

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SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJACENT PROPERTY BOUNDARY
- EXISTING ROW
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED ADA PATH
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING ASPHALT TRAIL TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- PROPOSED ASPHALT
- EXISTING COMMUNICATIONS PEDESTAL TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING UTILITY POLE TO REMAIN
- PROPOSED SANITARY SEWER CLEANOUTS
- PROPOSED TRANSFORMER
- PROPOSED WATER METER
- PROPOSED BOLLARD

GRADING LEGEND

- 5170 EXISTING MAJOR CONTOUR
- 72 EXISTING MINOR CONTOUR
- 5175 PROPOSED MAJOR CONTOUR
- 74.80 PROPOSED MINOR CONTOUR
- 15.00 PROPOSED SPOT ELEVATION
- FL PROPOSED FLOWLINE ELEVATION
- HP HIGH POINT
- FG FINISHED GROUND
- SW SIDEWALK
- TBC TOP BACK CURB
- BW WALL BOTTOM
- TW WALL TOP
- GB GRADE BREAK
- ME MATCH EXISTING



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

CONSULTANTS

BENCH MARKS
VERTICAL DATUM IS BASED UPON ALBUQUERQUE
CONTROL SURVEY MONUMENT "ACS BM 24-L16".
ELEVATION = 5191.31 FEET (NAVD 88)



SEAL

TDK

BY

DESCRIPTION

CONTRACTOR:

DATE

NO.

AS-BUILT INFORMATION

WORK STAKED BY:

INSPECTOR'S ACCEPTANCE BY:

FIELD VERIFICATION BY:

DRAWINGS CORRECTED BY:

DATE

08/12/2025

1

DESIGNED BY:

DDJ

DRAWN BY:

HCH

CHECKED BY:

TDK

DATE

08/12/2025

LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE
2030 GIBSON BOULEVARD

POND GRADING DETAILS

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.

M-15 & L-15

CITY PROJECT NO.

SHEET NO.

PAGE 3 OF 3

DR-3