

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2024

Ray G. Flake, P.E.
Civil Engineering Services
7705 Spicer Farm Lane
Fairview, TN 37062

**RE: Panda Express – Gibson
2040 Gibson Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 06/10/24
Hydrology File: M15D021F**

Dear Mr. Flake:

PO Box 1293

Based upon the information provided in your submittal received 07/01/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

2. Please pay the Payment-in-Lieu of \$ **4,632.80** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

CIVIL ENGINEERING SERVICES

P.O. Box 1302, Fairview, TN 37062

Office: (615) 624-3294

June 26, 2023

Attn: Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

RE: Panda Express – Gibson
2040 Gibson Blvd SE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 09/12/23
Hydrology File: M15D021F

Dear Renée Brissette,

Civil Engineering Services, PC (CES) is in receipt of your comments. Below are our responses to your comments. Please include this document in your review of the proposed development engineering plans.

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.

- a. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.

Response 1a: Benchmark information provided, see BM 24-L16 on Grading and Drainage Plan C05.0

- b. Please provide a legal Description of the property.

Response 1b: See Legal Description on Grading and Drainage Plan C05.0

2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event. This site is part of the Lovelace Heights Drainage Master Plan (attached). Please reference this under the Proposed Conditions. This site has two drainage areas which sheet drains through the adjacent property to a sidewalk culvert.

Response 2: See Table of existing and proposed conditions on Grading and Drainage Plan C05.0

3. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area (Square feet) draining to the BMP by 0.42 inches for new development sites divided by

12 to get the required volume in cubic feet. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation. Landscaping of surface BMPs is also required to be noted on the Grading and Drainage Plan.

Response 3: See stormwater quality on Grading and Drainage Plan C05.0, see also attached waiver.

4. Please change the Title of the sheet to "Conceptual Grading and Drainage Plan".

Response 4: Title is changed to Grading and Drainage Plan C05.0, this cant be conceptual because this approval is for building permit

5. Please add the note, "Not for Construction".

Response 5: This grading and drainage plan approval is for Building permit

6. For trash enclosures serving food service developments, trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan."

Response 6: Inlet and label added, see keynote 4 on Grading and Drainage Plan C05.0

Thank you,

Lee Pennington
Project Manager
Civil Engineering Services, PC
P.O. Box 1302
Fairview, Tennessee 37062

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Lee Pennington DATE: 06/26/2024
DEVELOPMENT: Panda Express with in Lovelace Heights
LOCATION: 2040 GIBSON BLVD SE ALBUQUERQUE, NM 87106

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 579.1 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 579.1 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: _____

The lot is too small to accommodate management on site while also
accommodating the full plan of development. Other physical conditions exist
where compliance with on-site stormwater quality control leaves insufficient
area.

Ray Flake

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 4,632.8

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section

07/10/24

Precipitation Zone 2 (in)				
Zone 2	2 yr	10 yr	100 yr	500 yr
6-hr rainfall depth	0.977	1.480	2.290	2.980
24-hr rainfall depth	1.220	1.760	2.590	3.210

Land Treatments					
	Existing Conditions			Proposed Conditions	
	Area (sq.ft.)	Area (acres)	Runoff (CN)	Area (sq.ft.)	Runoff (CN)
Type B	0	0.000	79	6,293	0.144
Type D	33,021	0.758	98	26,728	0.614
Total	33,021	0.758	98.0	33,021	0.758
				94.4	

TYPE B = IRRIGATED LAWNS
 TYPE D = IMPERVIOUS AREAS

TREATMENT B = 0.50 INCHES
 TREATMENT D = 0.10 INCHES

Excess Precipitation									
	Existing Conditions					Proposed Conditions			
	Area (sq.ft.)	Area (acres)	2-year	10-year	100-year	Area (sq.ft.)	Area (acres)	2-year	100-year
Type B	0	0.00	0.02	0.30	0.80	6,293	0.14	0.02	0.30
Type D	33,021	0.76	0.98	1.51	2.33	26,728	0.61	0.98	1.51
Total	33,021	0.76	0.98	1.51	2.33	33,021	0.76	0.80	2.04

Runoff Volume							
	Area (sq.ft.)	Area (acres)	2-year (acre-ft) V360	10-year (acre-ft) V360	100-year (acre-ft) V360	2-year (acre-ft) V1440	100-year (acre-ft) V1440
Existing Conditions	33,021	0.758	0.74	1.14	1.77	2.95	4.50
Proposed Conditions	33,021	0.758	0.60	0.97	1.55	2.81	4.27

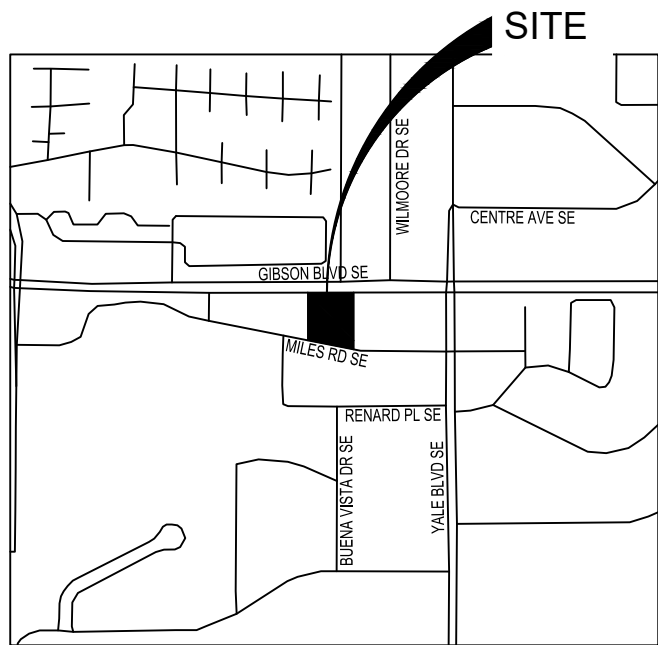
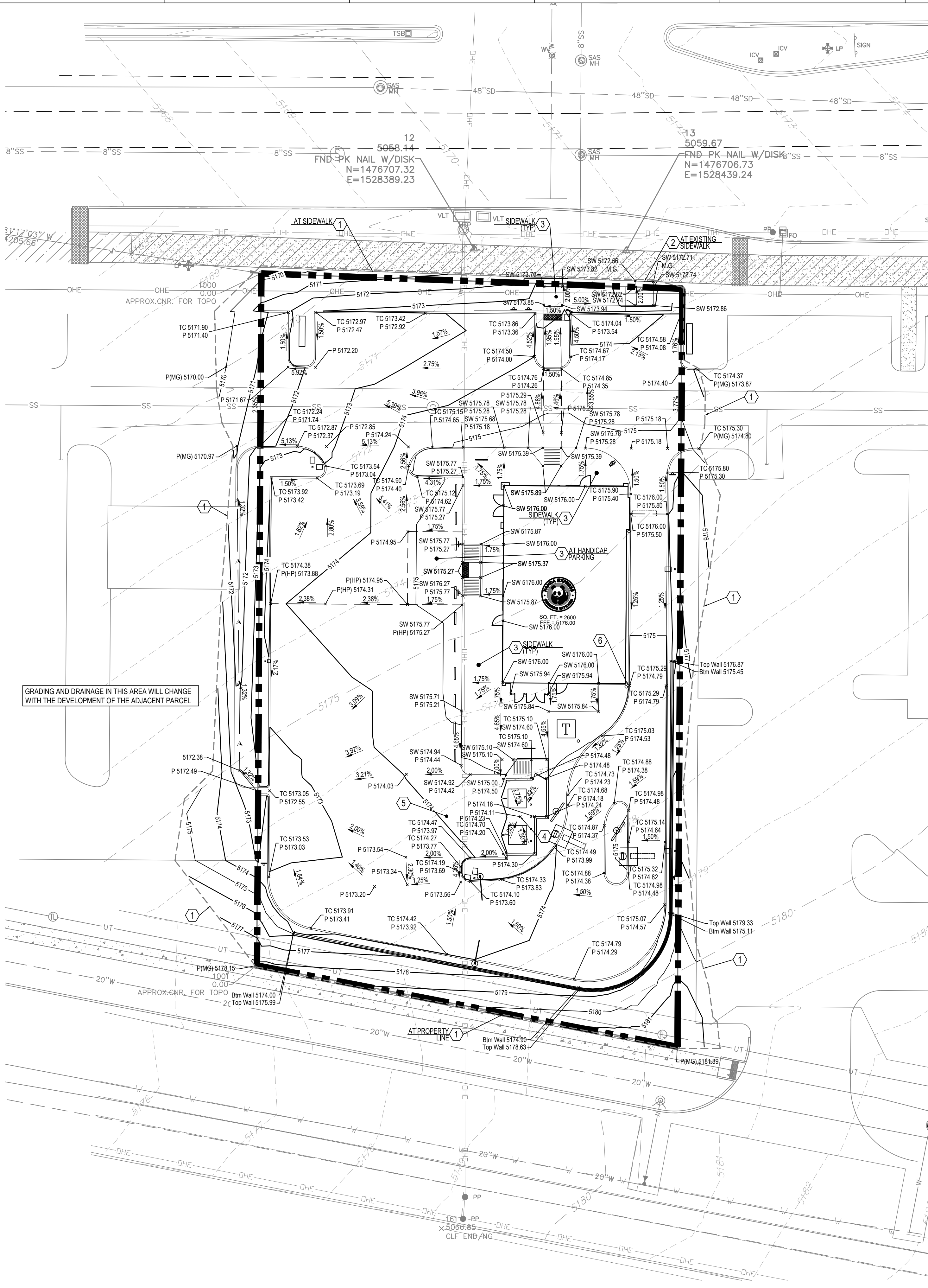
Existing Conditions							
Peak Discharge Rate				Peak Discharge			
Area (sq.ft.)	Area (acres)	2-year (Q peak) (cfs/acre)	10-year (Q peak) (cfs/acre)	100-year (Q peak) (cfs/acre)	2-year (Q peak) (cfs)	10-year (Q peak) (cfs)	100-year (Q peak) (cfs)
Type B	0	0.000	0.08	0.95	2.36	0.00	0.00
Type D	33,021	0.758	1.66	2.71	4.34	1.26	3.29
Total	33,021	0.758				1.26	3.29

Proposed Conditions							
Peak Discharge Rate				Peak Discharge			
Area (sq.ft.)	Area (acres)	2-year (Q peak) (cfs/acre)	10-year (Q peak) (cfs/acre)	100-year (Q peak) (cfs/acre)	2-year (Q peak) (cfs)	10-year (Q peak) (cfs)	100-year (Q peak) (cfs)
Type B	6,293	0.144	0.08	0.95	2.36	0.01	0.34
Type D	26,728	0.614	1.66	2.71	4.34	1.02	2.66
Total	33,021	0.758				1.03	3.00

6-HOUR STORMS, EQUATION 6.2: $V_{360} = \text{WEIGHTED } E \cdot A_{\text{TOTAL}}$
 24-HOUR STORMS, EQUATION 6.3: $V_{1440} = V_{360} + A_{\text{TOTAL}} \cdot (P_{1440} - P_{360}) / 12$

Stormwater Quality		
SWQV	acre-ft	cubic feet
	0.013	579.1

NOTE: REDEVELOPMENT SITE: DESIGN STORM = 0.48 INCHES
 SWQV = IMPERVIOUS AREA * 0.26 INCHES ... FOR REDEVELOPMENT SITE



LOCATION MAP

NOT TO SCALE

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
---	LIMITS OF DISTURBANCE
2.00%	PROPOSED SLOPE DIRECTION

GRADING NOTE BLOCKS

- LIMITS OF LAND DISTURBANCE
- MATCH EXISTING GRADE
- PROVIDE 2.00% MAXIMUM CROSS SLOPE
- DUMPSTER INLET TO BE CONNECTED TO THE SANITARY SEWER, SEE UTILITY PLAN C04.0
- APPROACH TO THE DUMPSTER CANNOT EXCEED 2.00% FOR 3'
- FINISHED GRADE BELOW F.F.E.

GRADING NOTES

SEE SHEET C01.1 FOR GRADING NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 38,086 SF / 0.87 AC

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

CONSTRUCTION NOTE:
 DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.

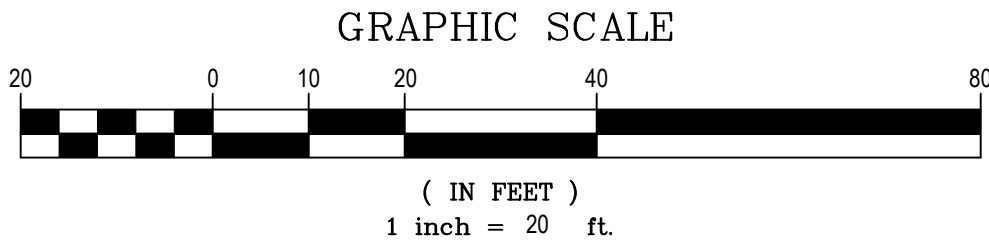
LEGAL DESCRIPTION:
 LOT LETTERED 'C-2' OF THE PLAT OF LOTS C-1 AND C-2, LOVELAKE HEIGHTS ADDITION, (BEING A REPLAT OF TRACT C, LOVELAKE HEIGHTS ADDITION), WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 18, 2023 IN PLAT BOOK 2023C, PAGE 37.

EXISTING DRAINAGE:
 THIS SITE IS CURRENTLY DEVELOPED AND USED AS AIRPORT PARKING, CONSISTING OF SEVERAL BUILDINGS, CARPORTS, AND ASPHALT DRIVES. ALMOST THE ENTIRETY OF THE LOT IS IMPERVIOUS AREA. THE SITE IS BOUNDED BY GIBSON BLVD TO THE NORTH, YALE BLVD TO THE EAST, MILES RD TO THE SOUTH, AND WALKER DR TO THE WEST. THE SITE IS APPROXIMATELY 7.18 ACRES AND DRAINS FROM SOUTHEAST TO NORTHWEST. FREE RELEASING INTO GIBSON BLVD THROUGH SEVERAL SIDEWALK CULVERTS. THE SITE IS NOT LOCATED IN A FLOODPLAIN AS SHOWN ON THE FIRM MAP (SEE THIS SHEET). THE PROJECT DOES NOT RECEIVE OFF-SITE FLOWS.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 07/10/24
BY: *Ross C. Brissett*
HydroTrans # M15D021F

THE APPROVAL OF THESE PLANS DOES NOT BE
CONSIDERED A GUARANTEE OR WARRANTY OF ANY TYPE.
THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR
CONSTRUCTION OR MAINTENANCE OF THE PROJECT.
THE CITY OF ALBUQUERQUE SHALL NOT BE LIABLE FOR
ANY DAMAGES, INCLUDING BUT NOT LIMITED TO, LOSS OF
REVENUE, LOSS OF PROFITS, OR OTHER ECONOMIC LOSS,
WHICH MAY BE INCURRED BY ANY PARTY AS A RESULT OF
THE CITY OF ALBUQUERQUE'S NEGLIGENCE OR OTHER
ACTS OR OMISSIONS.
THIS APPROVAL IS VALID FOR TWO (2) YEARS FROM THE
DATE OF APPROVAL.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



BM 24 -L16
 ALBUQUERQUE CONTROL STATION
 LOCATION: 1-3/4" METALLIC DISK EPOXYED TO
 TOP OF CONCRETE CURB AT NINE INTERSECTION
 OF GIBSON BLVD SE & YALE BLVD SE.
 ELEVATION: 5191.306 (NAVD 88)

FLOOD STATEMENT:
 THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A FLOOD STUDY. PROPERTY LIES WITHIN ZONE 'X' (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0361 G, EFFECTIVE DATE SEPTEMBER 28, 2008.



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave.
 Rosemead, California
 91770

Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		

ISSUE DATE:

1ST SUBMITTAL	01-25-24
2ND PERMIT/BID	03-25-24

DRAWN BY:

JRJ

PANDA PROJECT #: S8-25-D26003

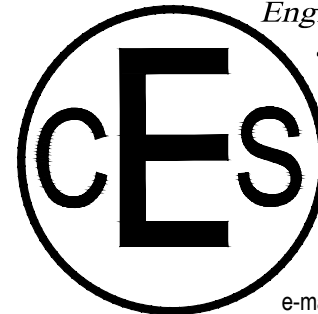
PANDA STORE #: D26003



06/10/2024

Civil Engineering Services

Engineering, Land Planning,
 and Environmental



7705 Spicer Farm Lane
 Fairview, Tennessee
 37062
 Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

2040 GIBSON BLVD SE
 ALBUQUERQUE, NM 87106

GRADING AND DRAINAGE PLAN

C05.0

