

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 13, 2023

Ray G. Flake, P.E.  
Civil Engineering Services  
7705 Spicer Farm Lane  
Fairview, TN 37062

**RE: Panda Express – Gibson  
2040 Gibson Blvd SE  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 09/12/23  
Hydrology File: M15D021F**

Dear Mr. Flake:

PO Box 1293

Based upon the information provided in your submittal received 10/05/2023, the Conceptual Grading and Drainage Plan **is not** approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

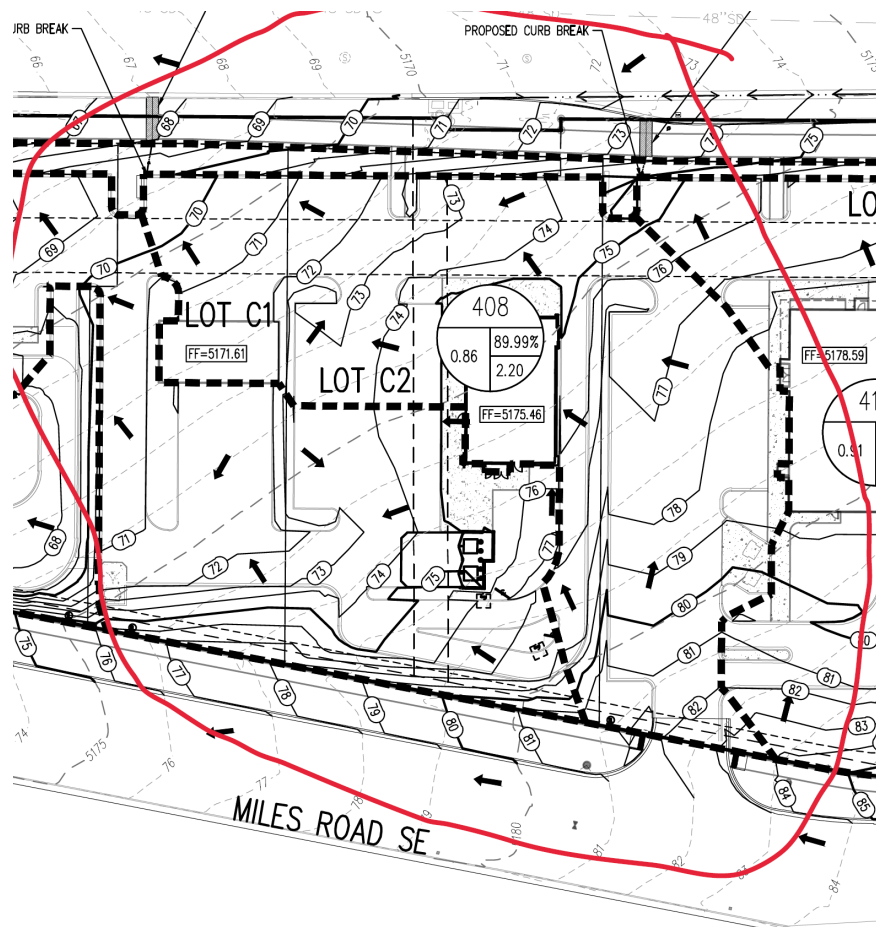
1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
  - a. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
  - b. Please provide a legal Description of the property.
2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event. This site is part of the Lovelace Heights Drainage Master Plan (attached). Please reference this under the Proposed Conditions. This site has two drainage areas which sheet drains through the adjacent property to a sidewalk culvert.

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3. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area (Square feet) draining to the BMP by 0.42 inches for new development sites divided by 12 to get the required volume in cubic feet. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation. Landscaping of surface BMPs is also required to be noted on the Grading and Drainage Plan.
4. Please change the Title of the sheet to "Conceptual Grading and Drainage Plan".
5. Please add the note, "Not for Construction".
6. For trash enclosures serving food service developments, trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan."

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If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

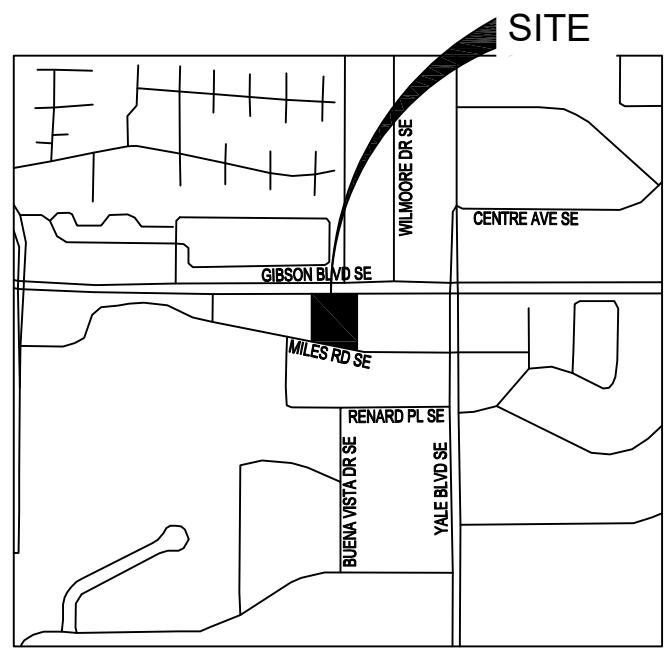
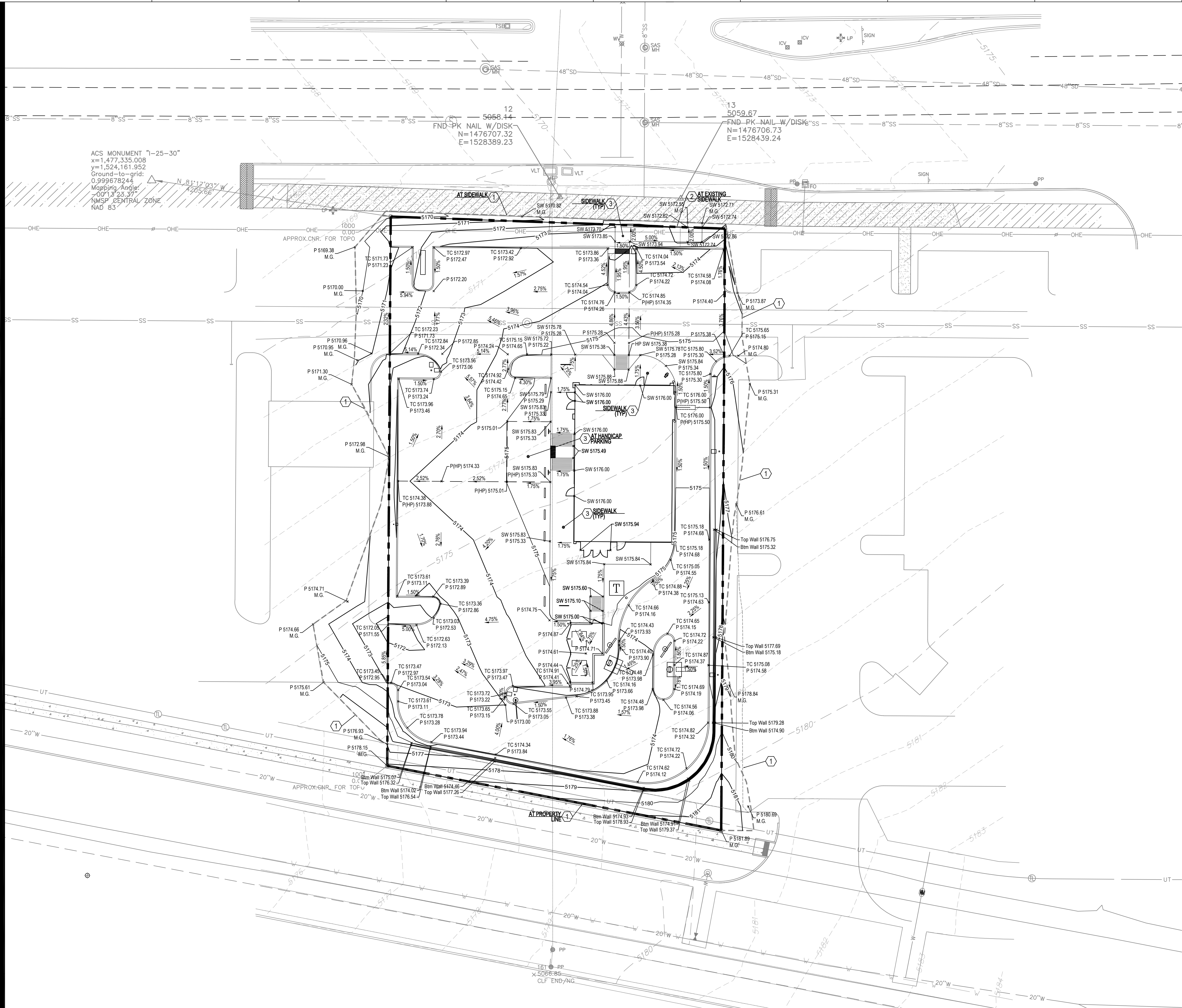
ENGINEER/ARCHITECT CERTIFICATION  
PAD CERTIFICATION  
CONCEPTUAL G&D PLAN  
GRADING & DRAINAGE PLAN  
DRAINAGE REPORT  
DRAINAGE MASTER PLAN  
CLOMR/LOMR  
TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE  
TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL  
TRAFFIC IMPACT STUDY (TIS)  
STREET LIGHT LAYOUT  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL  
CERTIFICATE OF OCCUPANCY  
CONCEPTUAL TCL DFT APPROVAL  
PRELIMINARY PLAT APPROVAL  
FINAL PLAT APPROVAL  
SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL  
SIA/RELEASE OF FINANCIAL GUARANTEE  
FOUNDATION PERMIT APPROVAL  
GRADING PERMIT APPROVAL  
SO-19 APPROVAL  
PAVING PERMIT APPROVAL  
GRADING PAD CERTIFICATION  
WORK ORDER APPROVAL  
CLOMR/LOMR  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_





LOCATION MAP  
NOT TO SCALE

PROPOSED GRADING LEGEND

TC	PROPOSED TOP OF CURB ELEVATION
P	PROPOSED BOTTOM OF CURB/PAVEMENT ELEVATION
G	PROPOSED GUTTER LINE ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
HP	PROPOSED HIGH POINT ELEVATION
MG	MATCH EXISTING GRADE ELEVATION
---	LIMITS OF DISTURBANCE
2.00%	PROPOSED SLOPE DIRECTION

GRADING NOTE BLOCKS

- ① LIMITS OF LAND DISTURBANCE
- ② MATCH EXISTING GRADE
- ③ PROVIDE 2.00% MAXIMUM CROSS SLOPE

GRADING NOTES

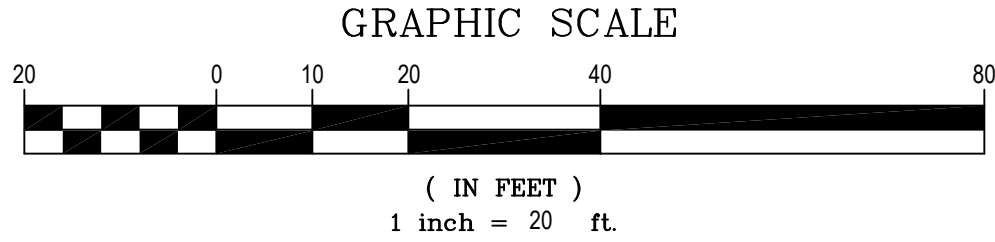
SEE SHEET C01.1 FOR GRADING NOTES

GRADING INFORMATION

LIMITS OF DISTURBANCE = 38,086 SF / 0.87 AC

ALL DISTURBED AREA SHALL BE STABILIZED WITH SOD, COMMON TO THE REGION - SEE LANDSCAPE PLAN

CONSTRUCTION NOTE:  
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO ANY WORK DONE.



BM #1 TYPE: NORTHING: EASTING: ELEVATION:	BM #2 TYPE: NORTHING: EASTING: ELEVATION:
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FLOOD STATEMENT:  
THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO PANEL 350002 0361 G; EFFECTIVE DATE SEPTEMBER 26, 2008.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:


ISSUE DATE:

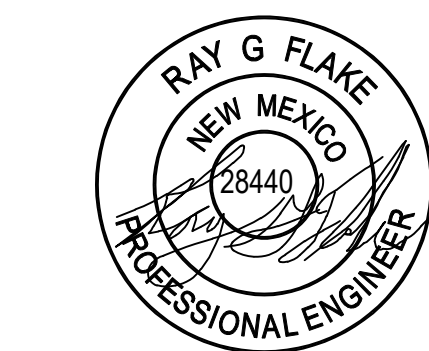
1ST SUBMITTAL 06-07-23

DRAWN BY: JRJ

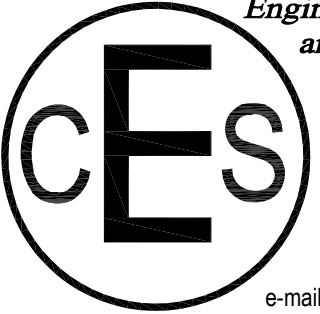
PANDA PROJECT #: S8-25-D26003

PANDA STORE #: D26003

ARCH PROJECT #: XXX



Civil Engineering Services  
Engineering, Land Planning,  
and Environmental



7705 Spicer Farm Lane  
Fairview, Tennessee  
37062  
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM & WELCOME  
2040 GIBSON BLVD SE  
ALBUQUERQUE, NM 87106

GRADING PLAN

C05.0

TRUE WARM & WELCOME 2600 RX

ISSUE FOR CONSTRUCTION XX-XX-XXX