

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2023

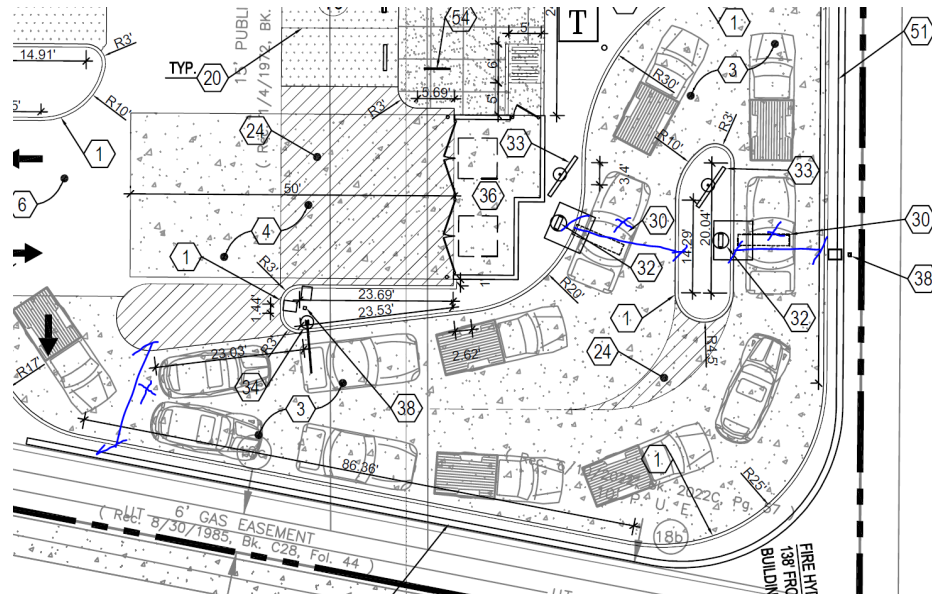
Ray G. Flake, PE  
Civil Engineering Services  
7705 Spicer Farm Lane  
Fairview, Tennessee 37062

**Re: Panda Express**  
**2040 Gibson Blvd. SE**  
**Traffic Circulation Layout**  
Engineer's Stamp 09-12-23 (M15-D021F)

Dear Mr. Flake,

Based upon the information provided in your submittal received 09-28-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Gibson Blvd. and Miles Rd.
4. Please provide a copy of Shared access agreement.
5. Show on the site plan the drive-thru lanes width.



6. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.

PO Box 1293

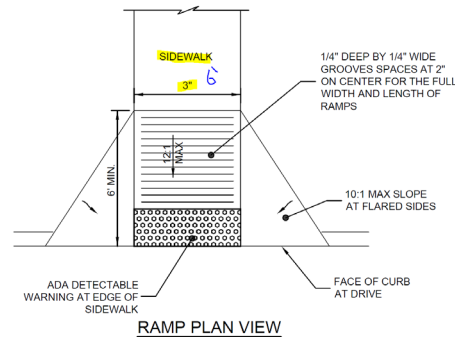
Albuquerque

NM 87103

www.cabq.gov



7. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
8. Please revise sheet C03.2, ADA ramp details. Minimum sidewalk width is 6 ft.



9. Please remove the Retaining Wall details from sheet C03.2.
10. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
12. Please provide "One Way" signage and pavement markings, at the beginning of the drive-thru lane. Please show detail and location of posted signs and striping.
13. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
14. Provide a copy of Fire Marshal approval.
15. Please specify the City Standard Drawing Number when applicable.
16. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
17. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).
18. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
  4. The \$75 re-submittal fee.
- for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

PO Box 1293

\ma via: email  
C: CO Clerk, File

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Panda Express- new build **Building Permit #:** pending **Hydrology File #:** \_\_\_\_\_  
**DRB#:** SD-2022-00081 **EPC#:** PR-2021-005482 / SI-2022-01473 **Work Order#:** \_\_\_\_\_  
**Legal Description:** LT C PLAT OF LOTS A THRU F LOVELACE HEIGHTS ADDITION (BEING A REPLAT OF TRACTS A-1A, B-1 AND C-1, LOVELACE HEIGHTS ADDITION) CONT 1.1797 AC  
**City Address:** 2040 Gibson Boulevard SE Albuquerque, NM 87106

**Applicant:** Civil Engineering Services, PC **Contact:** Lee Pennington, P.E.  
**Address:** P.O. Box 1302 Fairview, Tennessee 37062  
**Phone#:** (615) 624-3294 **Fax#:** \_\_\_\_\_ **E-mail:** lee@civilengineeringservices.net

**Other Contact:** Consensus Planning **Contact:** Jonathan Turner  
**Address:** 302 Eighth Street NW  
**Phone#:** 505-764-9801 x109 **Fax#:** \_\_\_\_\_ **E-mail:** turner@consensusplanning.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 9/26/23 **By:** Jonathan Turner

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_







SITE DATA TABLE

JURISDICTION:  
ALBUQUERQUE  
ZONING:  
NR-C

REQUIRED BUILDING SETBACKS:  
FRONT (S)=5'  
REAR (N)=0'  
SIDE (W)=0'  
SIDE (E)=0'

BUILDING HEIGHT:  
23.25

CONSTRUCTION TYPE:  
VB

SITE ACREAGE:  
PANDA EXPRESS = 33,022 SF / 0.76 ACRES

FLOOR AREA RATIO:  
PANDA EXPRESS = 2,621 SF BLDG /  
SITE AREA 33,022 = 7.94%

IMPERVIOUS SURFACE RATIO  
SITE TOTAL SQ FEET = 33,022 SF  
PAVEMENT/SIDEWALKS = 24,035 SF  
TOTAL BUILDING = 2,621 SF  
TOTAL PERVIOUS = 6,386 SF  
TOTAL IMPERVIOUS = 26,656 SF / 33,022 =  
80.72%

PARKING  
8 SPACE PER 1000 SF OF FLOOR AREA  
PARKING REQUIRED = 21  
TOTAL PARKING PROVIDED PANDA EXPRESS  
= 33

REQUIRED PARKING SETBACKS:  
FRONT (N)=5'  
REAR (S)=0'  
SIDE (W)=0'  
SIDE (E)=0'

FLOOD HAZARD:  
F.I.R.M. MAP NO.

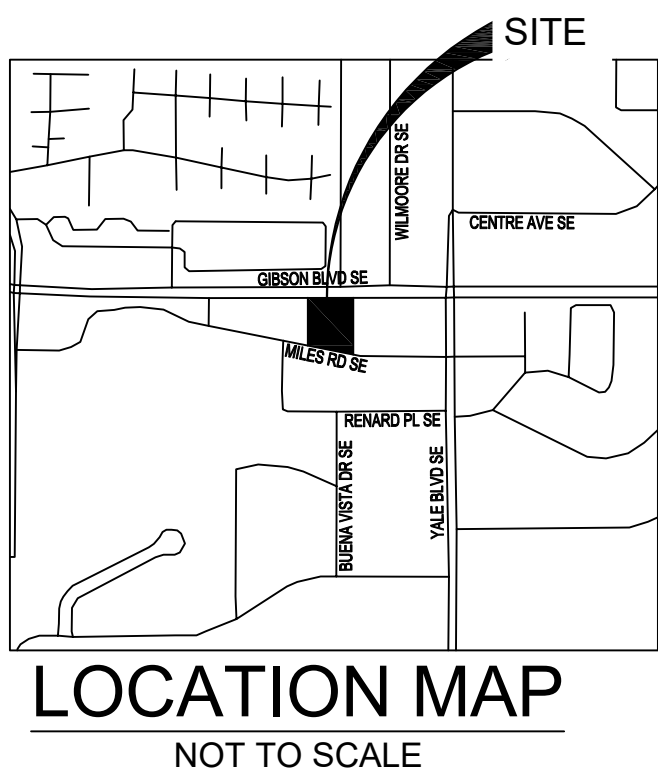
CONSTRUCTION NOTE:  
DESIGN OF THE PANDA EXPRESS SITE, AS SHOWN IN THESE  
PLANS, ARE BASED UPON THE PROPOSED CONSTRUCTION PLANS  
FOR THE SUBJECT PROPERTY AND SURROUNDING SITE WORK.  
CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, UTILITIES, AND  
SITE FEATURES PRIOR TO ANY WORK DONE. NOTIFY  
OWNER/ENGINEER OF ANY CONFLICTS WITH DESIGN PRIOR TO  
ANY WORK DONE.

IF EXISTING SIDEWALKS ARE DAMAGED, THESE  
MUST BE REPAIRED AT THE DEVELOPER'S  
EXPENSE.

ALL DISTURBED AREAS SHALL BE STABILIZED  
PER THE LANDSCAPE PLAN.

PROPOSED SITE LEGEND

- ⑧ PARKING STALL COUNT - SEE PLANS
- LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION(C03.1)
- HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET SECTION(C03.1)
- CONCRETE SIDEWALK - SEE DETAIL SHEET (C03.1)
- CONCRETE PAVING AT DUMPSTER ENCLOSURE AND DRIVE THRU PER GEOTECHNICAL REPORT
- ♿ HANDICAP PARKING
- ➔ DIRECTIONAL ARROWS
- ➔ PROPOSED CURB AND GUTTER AT CONCRETE - MONOLITHIC AT CONCRETE PAVEMENT - SEE DETAIL SHEET(C03.1)
- LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET(C03.1)



GENERAL NOTES

SEE NOTES ON SHEET C01.1

SITE KEY NOTES:

- PAVEMENT AND CURBING
- ① PROVIDE CURB AND GUTTER AT ASPHALT - MONOLITHIC CURB AT CONCRETE PAVEMENT - SEE DETAIL SHEET (C03.1)
- ② PROVIDE CONCRETE SIDEWALKS PER DETAIL SHEET (C03.2) - PROVIDE CONCRETE SIDEWALK WITH INTEGRAL CURB AT BUILDING AND PARKING PER DETAIL SHEET (C03.1)
- ③ HEAVY DUTY CONCRETE PAVING AT DRIVE THRU ISLE - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT (GRAY COLOR, LIGHT BROOM FINISH)
- ④ NEW HEAVY DUTY CONCRETE APRON AT DUMPSTER ENCLOSURE - SEE ARCHITECTURAL DETAIL SHEET - SEE DETAIL SHEET (C03.2)
- ⑤ LIGHT DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
- ⑥ HEAVY DUTY CONCRETE PAVING - SEE DETAIL SHEET (C03.1) & GEOTECHNICAL REPORT
- ⑦ SEALED CONC. SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. AND ALL SIDE WALKS.
- ⑧ EXPANSION JOINT - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.2)
- ⑨ CONTROL JOINTS - SEE GEOTECHNICAL REPORT FOR SPACING - SEE DETAIL SHEET (C03.2)
- ⑩ CURB CUT - SEE DETAIL SHEET (C03.1)
- PAVEMENT STRIPING / ADA FEATURES / TRAFFIC SIGNAGE
- ⑪ ADA ACCESSIBLE RAMP AT HANDICAP PARKING STALLS - SEE GRADING PLAN FOR ELEVATIONS - SEE HANDICAP PARKING ON DETAIL SHEET (C03.1)
- ⑫ ADA DETECTABLE WARNING AT EDGE OF PAVEMENT - SEE HANDICAP PARKING DETAIL ON DETAIL SHEET (C03.1)
- ⑬ HANDICAP AND VAN ACCESSIBLE PARKING LAYOUT, SIGNAGE, AND STRIPING - SEE DETAIL SHEET (C03.1)
- ⑭ ALL SITE DIRECTIONAL SIGNAGE, PAVEMENT STRIPING AND MARKINGS SHALL BE COORDINATED WITH PRG'S PROJECT MANAGER.
- ⑮ DO NOT ENTER SIGN PER MUTCD / LOCAL SPECS
- ⑯ 4" WIDE PARKING STRIPE PAINTED WHITE PER PDP & DC SPECS.
- ⑰ TRAFFIC ARROW PAINTED YELLOW - SEE DETAIL SHEET (C03.1)
- ⑱ STOP BAR PAINTED WHITE PER CITY SPECS.
- ⑲ STOP SIGN PER MUTCD SPECS
- ⑳ 4" WIDE PARKING STRIPE, SPACED AT 2' O.C. AT 45° PAINTED YELLOW PER MUTCD SPECS.
- ㉑ BOLLARD PLAN - SEE DETAIL (C03.1)

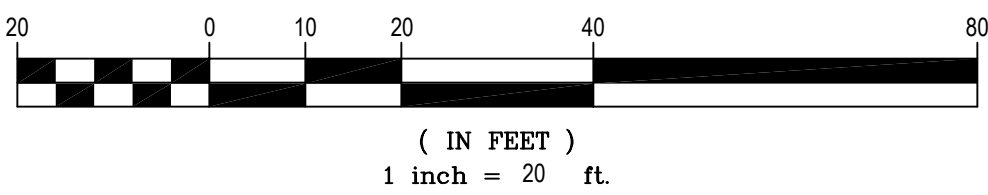
PANDA EXPRESS SITE FEATURES

- ⑳ DRIVE THRU LANE SENSOR LOOP SEE DETAIL - SEE ARCH DETAIL SHEET
- ㉑ NEW PAINTED SWITCHGEAR LOCATION - SEE ELECTRICAL PLANS
- ㉒ ORDER CONFIRMATION BOARD - SEE ARCH DETAIL SHEET
- ㉓ DRIVE THROUGH MENU BOARD-INSTALLED BY GC. VERIFY WITH PANDA P.M. - SEE ARCH DETAIL SHEET
- ㉔ CLEARANCE BAR INSTALLED BY SIGN VENDOR - RE: ELECTRICAL DRAWING FOR REQUIREMENTS, G.C. TO COORDINATE LOCATION WITH PRG P.M.
- ㉕ WHEEL STOP - GNR TECHNOLOGIES, "PARK-IT" 6" PARKING CURB #16201R (BLACK AND YELLOW) OR OWNER APPROVED EQUAL
- ㉖ TRASH ENCLOSURE. CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (TYP. 6 YARD BIN) - SEE ARCH DETAIL SHEET
- ㉗ PROVIDE POLE MOUNTED SIGN (SEE SIGN DESIGN BY OTHERS)
- ㉘ LIGHT POLE - SEE PHOTO METRIC PLAN - SEE LIGHT POLE BASE ON DETAIL SHEET (C03.2)
- ㉙ ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF UNDER CONCRETE FLATWORK TO FACE OF CURB - SEE M.E.P. PLANS
- ㉚ EDGE OF CONCRETE SIDEWALK AT PLANTER BED - SEE LANDSCAPE PLAN (L01.0)
- ㉛ "THANK YOU / DO NOT ENTER" SIGN

ADDITIONAL SITE FEATURES

- ㉜ MATCH MASTER PLAN GRADE
- ㉝ RETAINING WALL - SEE DETAIL SHEET (C03.2) - SEE STRUCTURAL DETAILS
- ㉞ SIDEWALK PER CITY SPECS
- ㉟ ADA SIDEWALK RAMP - SEE DETAIL SHEET (C03.2)
- ㊱ BICYCLE HOOP U-LOCK-IT - SEE DETAIL SHEET (C03.2)
- ㊲ COVERED SIDEWALK FLUME - SEE DETAIL SHEET (C03.2)

GRAPHIC SCALE



BM #1  
TYPE:  
NORTHING:  
EASTING:  
ELEVATION:

BM #2  
TYPE:  
NORTHING:  
EASTING:  
ELEVATION:

FLOOD STATEMENT:  
THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0361 G; EFFECTIVE DATE SEPTEMBER 26, 2008.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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REVISIONS:


ISSUE DATE:

1ST SUBMITTAL 06-07-23

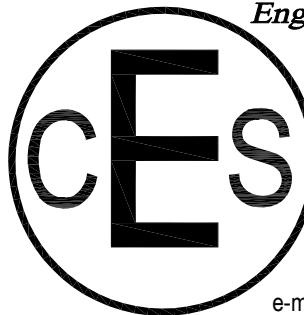
DRAWN BY: JRJ

PANDA PROJECT #: S8-25-D26003  
PANDA STORE #: D26003  
ARCH PROJECT #: XXX



09/12/2023

Civil Engineering Services  
Engineering, Land Planning,  
and Environmental



7705 Spicer Farm Lane  
Fairview, Tennessee  
37062  
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM & WELCOME  
GIBSON AND YALE BLVD  
ALBUQUERQUE, NM 87106

SITE PLAN

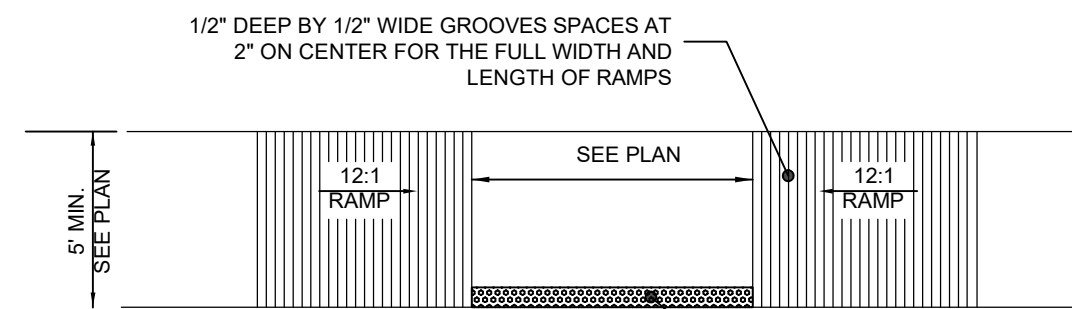
C03.0

TRUE WARM & WELCOME 2600 RX



ISSUE FOR CONSTRUCTION XX-XX-XXXX

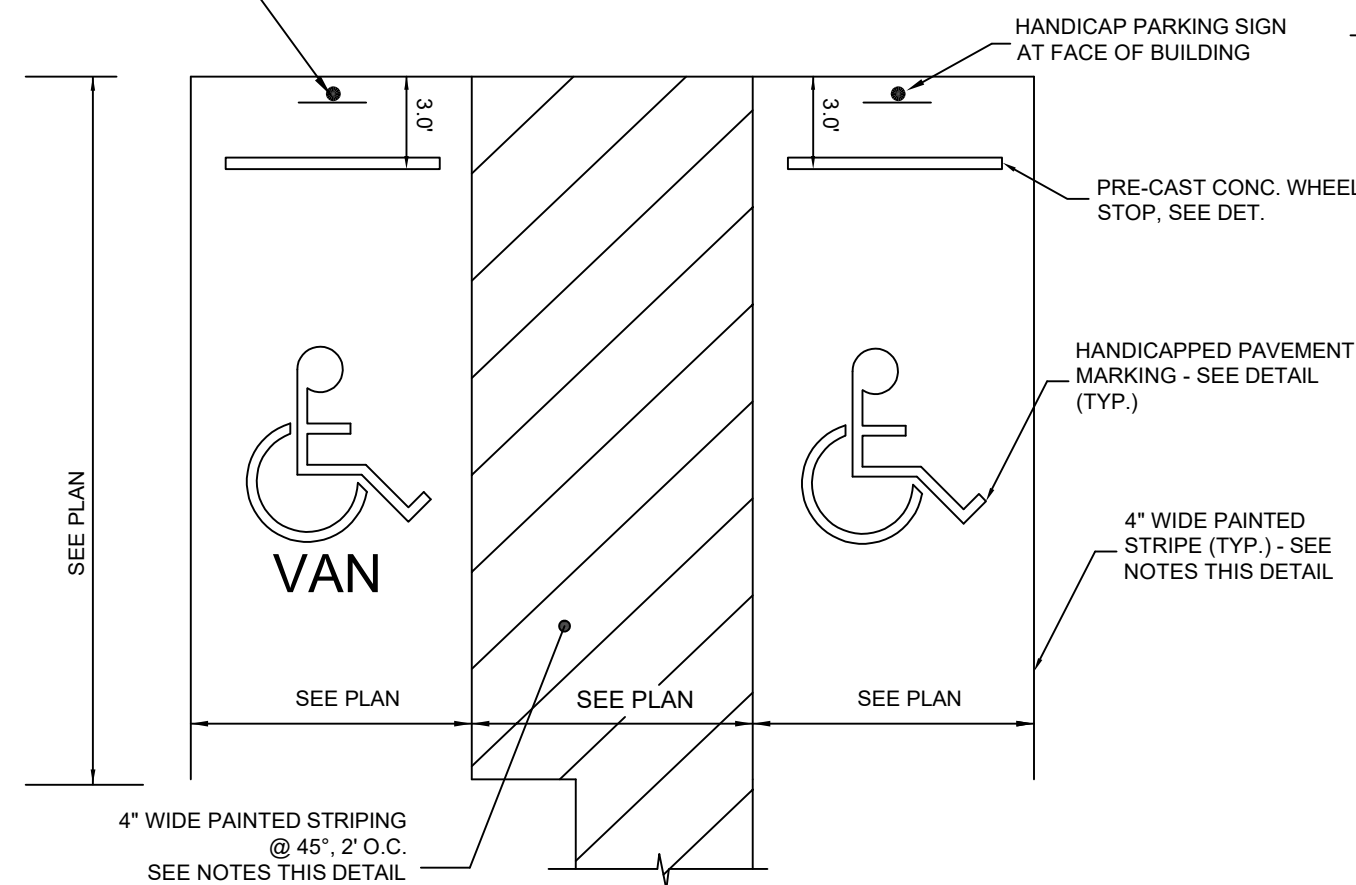




HANDICAP PARKING DETAILS

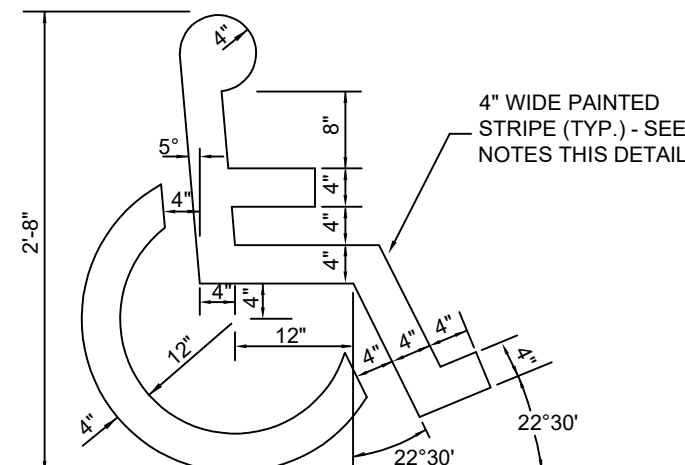
N.T.S.

VAN ACCESSIBLE/  
HANDICAP PARKING SIGN AT  
FACE OF BUILDING



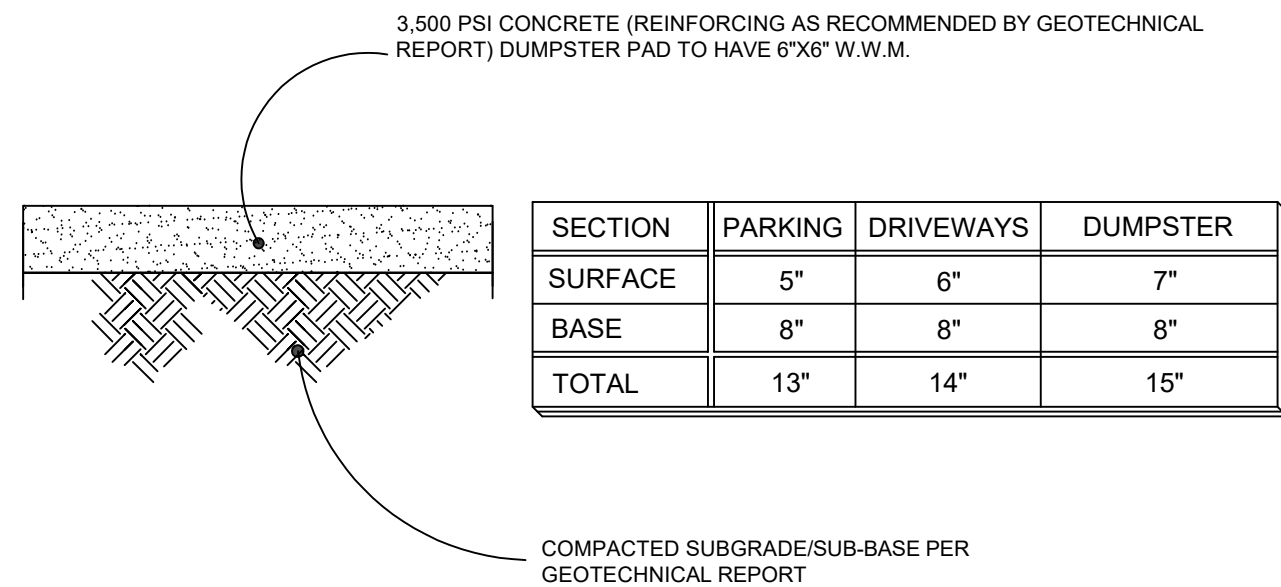
HANDICAP PARKING DETAILS

N.T.S.



HANDICAP SYMBOL

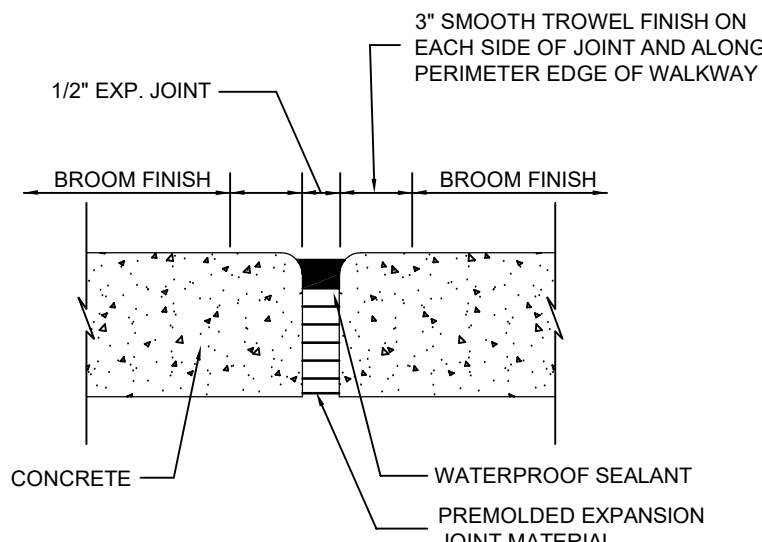
N.T.S.



NOTE:  
1. SEE CONTROL AND EXPANSION JOINT DETAILS THIS SHEET  
2. SEE GEOTECHNICAL REPORT FOR TREATED SUBBASE OPTIONS  
3. SEE GEOTECHNICAL REPORT FOR STEEL REINFORCEMENT

CONCRETE PAVING DETAIL

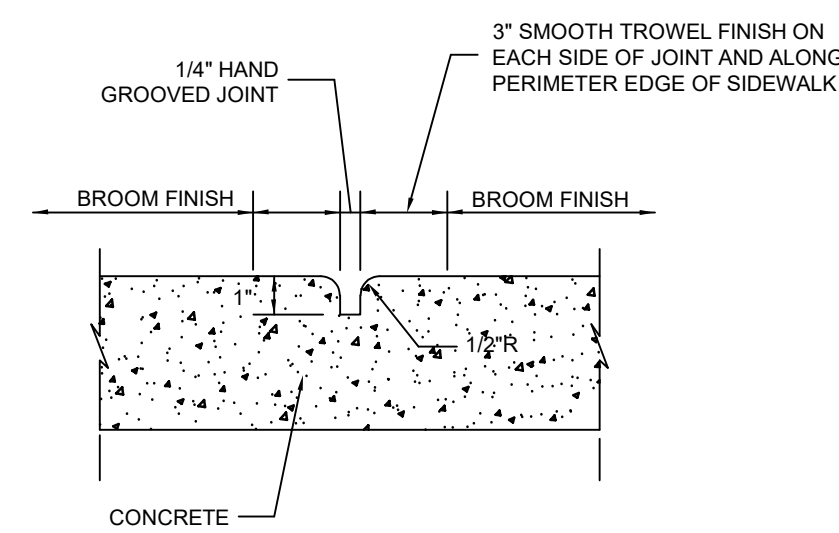
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SPACING NOTE  
SPACE EXPANSION JOINTS PER GEOTECHNICAL REPORT

EXPANSION JOINT

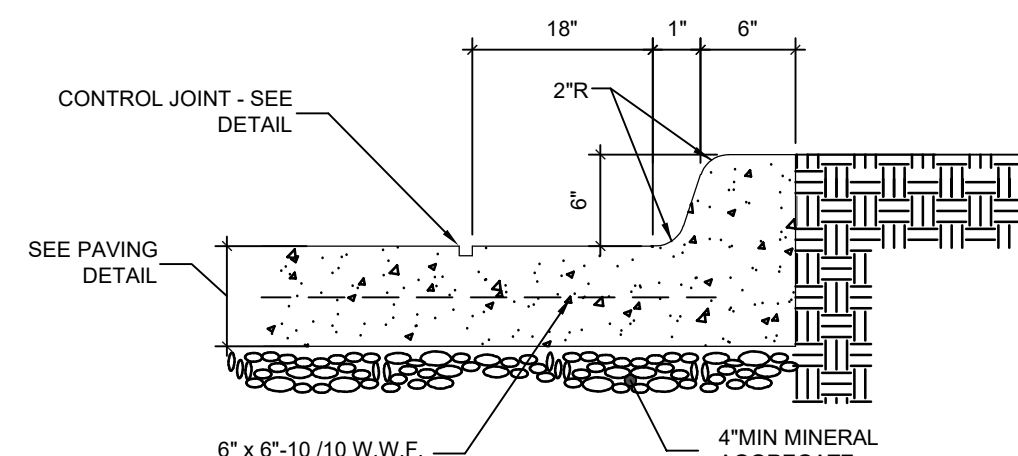
N.T.S.



SPACING NOTE  
SPACE CONTROL JOINTS PER GEOTECHNICAL REPORT

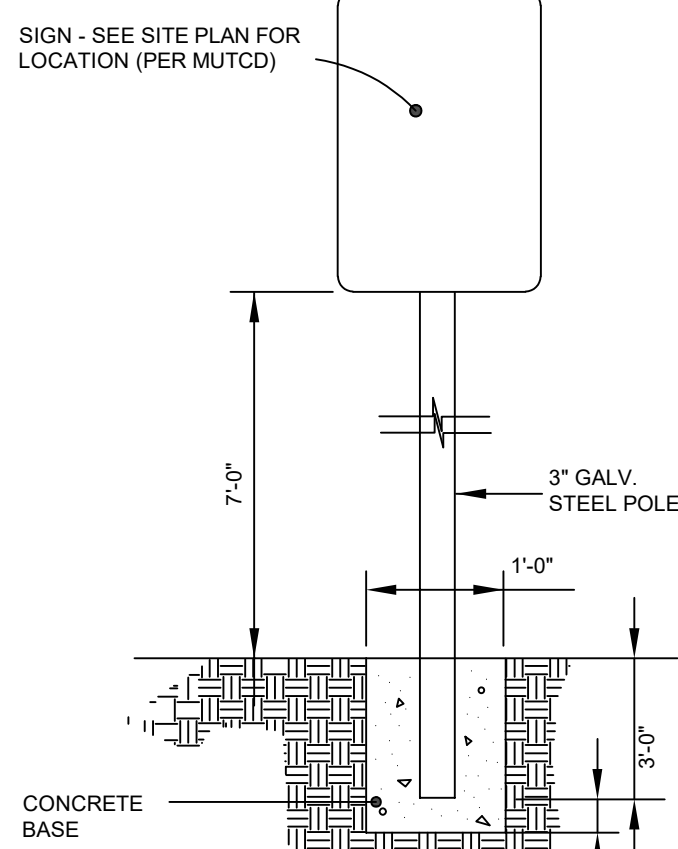
CONTROL JOINT

N.T.S.



CONCRETE MONOLITHIC CURB

N.T.S.



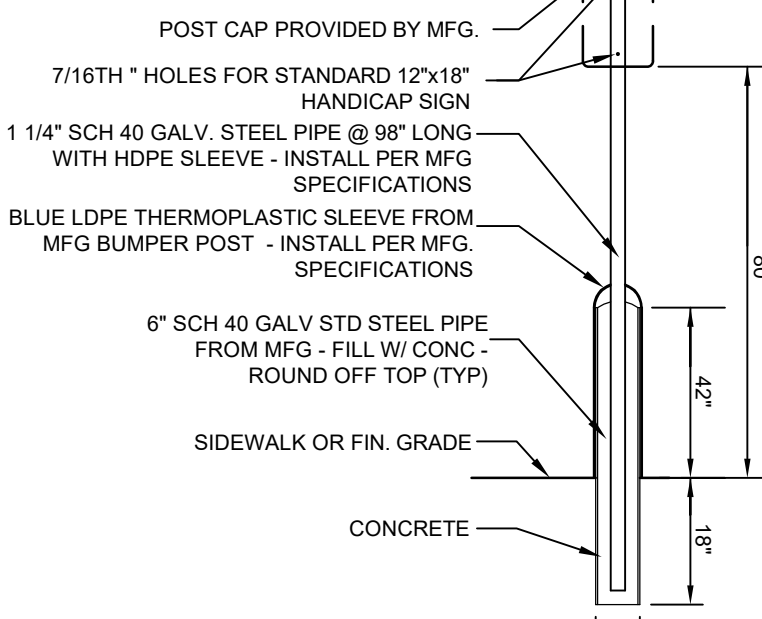
SIGN DETAIL

N.T.S.

NOTES:

1. METAL SURFACES SHALL BE FREE OF HEAVY RUST. BOLLARDS SHALL HAVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
2. SIGNAGE SHALL COMPLY WITH AMERICAN'S WITH DISABILITIES ACT (A.D.A.) SIGNAGE GUIDELINES
3. ALL PAINTED ADA PARKING SURFACES SHALL BE CLEAN AND DRY. TOP COAT PROVIDE TWO (2) COATS SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT "H.C." BLUE

NOTE: CONTRACTOR SHALL INSTALL IDEAL SHIELD HANDICAP BOLLARD SYSTEM - # SSH-BL-36-98-C-18, OR EQUAL, INSTALL PER MFG. SPECIFICATIONS



POST

N.T.S.

HANDICAP SIGNAGE  
PROVIDED AND INSTALLED  
BY G.C.

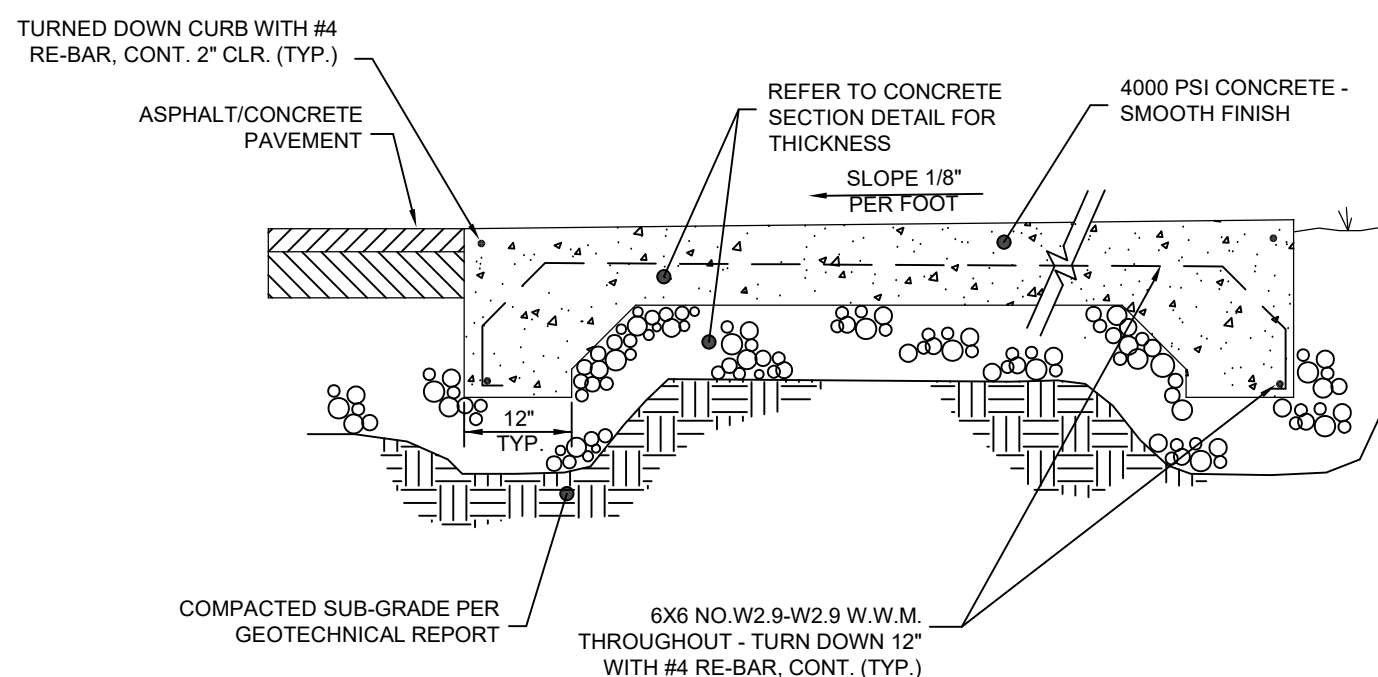


PARTIAL ELEVATION

N.T.S.

HANDICAP SIGN DETAIL

N.T.S.

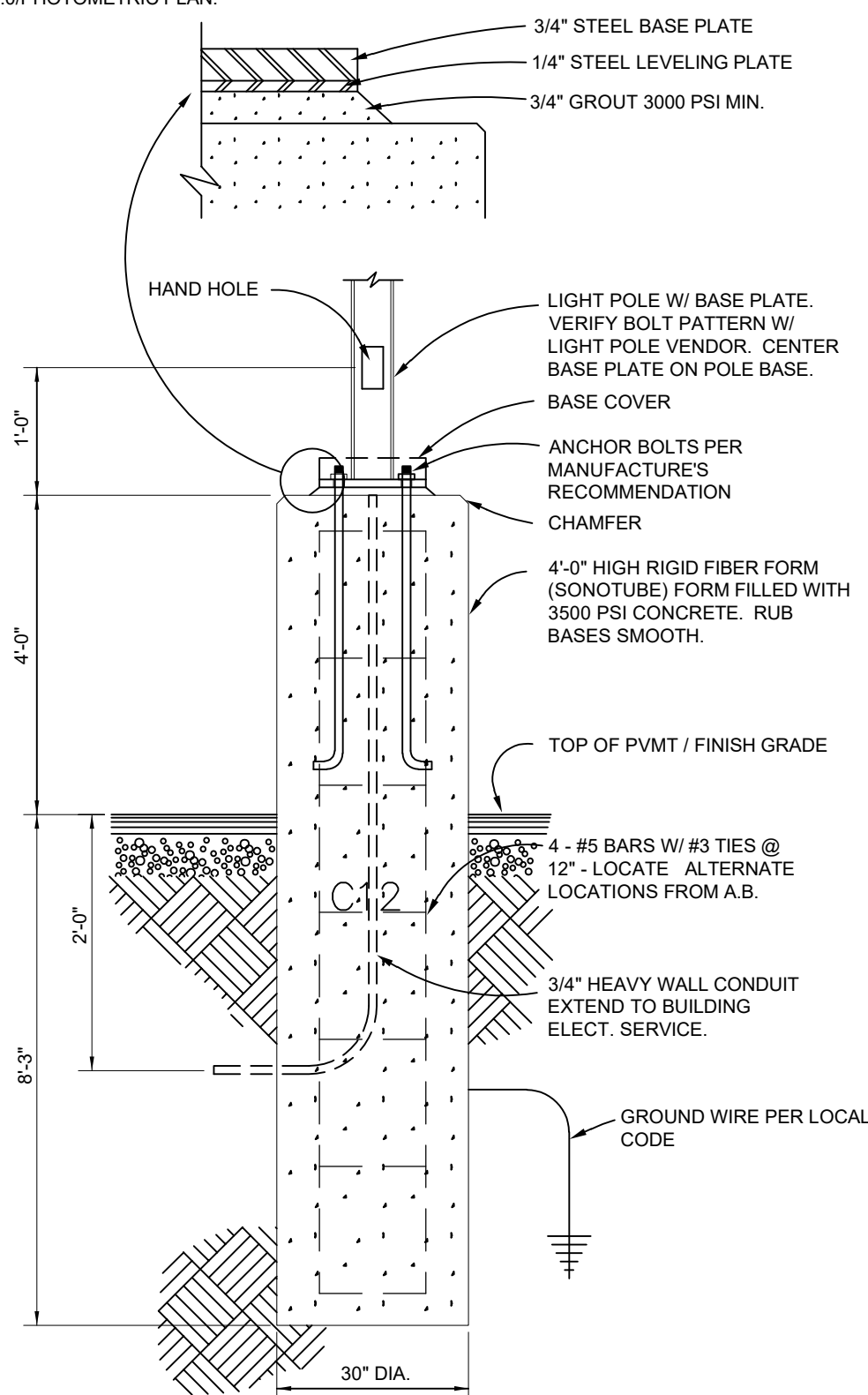


DUMPSTER PAD DETAIL

N.T.S.

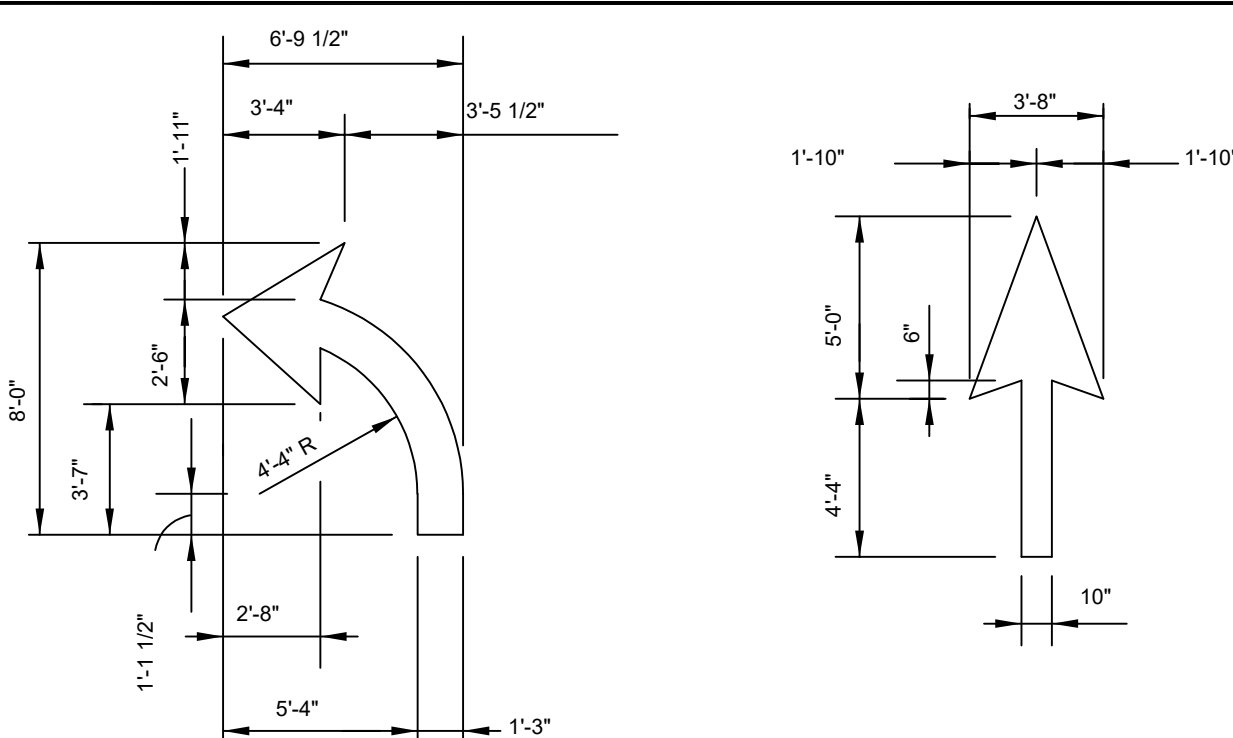
NOTES:

1. POLE BASE IS DESIGNED FOR A SOIL BEARING PRESSURE 100 PSF/FT BASED ON SOIL TYPE. CONTACT CIVIL ENGINEER IF LOWER ONSITE BEARING PRESSURE IS ENCOUNTERED.
2. DESIGN WIND SPEED IS 110 MPH. CONTACT CIVIL ENGINEER IF LOCAL CODE OR ORDINANCE REQUIRES FOR HIGHER WIND SPEED.
3. REBAR SPLICES ARE NOT PERMITTED.
4. FACTORY SUPPLIED TEMPLATE MUST BE USED WHEN SETTING ANCHOR BOLTS.
5. FOR LOCATION, SEE ES1.0/PHOTOMETRIC PLAN.



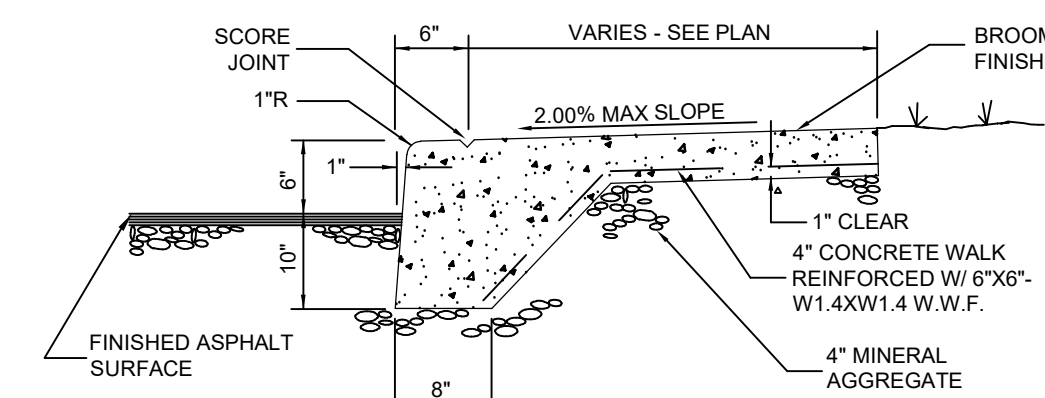
LIGHT POLE BASE DETAIL

N.T.S.



TURN ARROW DETAILS

N.T.S.

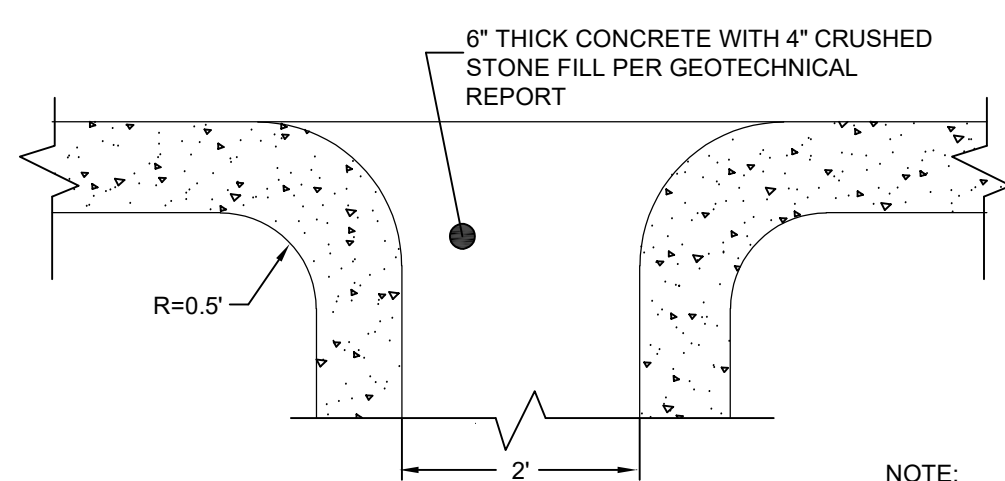


SPACING NOTES

1. EXPANSION JOINTS SPACED AT 20' O.C. - SEE DETAIL
2. CONTROL JOINTS SPACED AT 5' O.C. - SEE DETAIL
3. WHERE SIDEWALK ABUTS FACE OF BUILDING, PROVIDE EXPANSION JOINT.

CONCRETE SIDEWALK WITH HAUNCHED CURB

N.T.S.



NOTE:  
1. COMPACTED SUBGRADE  
SHOULD BE AS SPECIFIED IN  
SOILS REPORT.

CURB CUT DETAIL

N.T.S.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1ST SUBMITTAL 06-07-23

DRAWN BY: JRJ

PANDA PROJECT #: S8-25-D26003

PANDA STORE #: D26003

ARCH PROJECT #: XXX



09/12/2023

Civil Engineering Services

Engineering, Land Planning,  
and Environmental

7705 Spicer Farm Lane  
Fairview, Tennessee  
37062  
Phone: (615) 533-0401

e-mail: ray@civilengineeringservices.net

PANDA EXPRESS

TRUE WARM & WELCOME  
GIBSON AND YALE BLVD  
ALBUQUERQUE, NM 87106

HARDSCAPE  
DETAILS I

C03.1

TRUE WARM & WELCOME 2600 RX

ISSUE FOR CONSTRUCTION XX-XX-XXXX



ISSUE FOR CONSTRUCTION AA-AA-AAAA