

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 14, 2025

Heather Macomber
Langan Engineering
2999 Olympus Blvd. Suite 165
Dallas, TX 75019

**RE: McDonald's Gibson LC#030-0274
2000 Gibson Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date: 01/30/25
Hydrology File: M15D021G**

Dear Ms. Macomber:

Based upon the information provided in your submittal received 01/14/2025, the Grading & Drainage Plan is **approved** for Grading Permit, Building Permit, and Paving Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: McDonald's Gibson LC#030-0274 Hydrology File # M15D021G

Legal Description: Lot A, Lovelace Heights Addition

City Address, UPC, OR Parcel: 2000 Gibson Blvd. SE, UPC 101505541550211601

Applicant/Agent: Langan Engineering

Contact: Heather Macomber

Address: 2999 Olympus Blvd., Suite 165, Dallas, TX 75019

Phone: 817-328-3243

Email: hmacomber@langan.com

Applicant/Owner: McDonald's

Contact: Alex Breeden

Address: 110 N. Carpenter St., Chicago, IL 60607

Phone: 630-207-0289

Email: alex.breeden@us.mcd.com

TYPE OF DEVELOPMENT: Plat (# of lots) 1

Single Family Home

All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION

HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 01-30-2025

National Flood Hazard Layer FIRMette



Legend

SEE FIR REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard: Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile.
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Flood Risk due to Levee. See Notes.
- Area with Flood Risk due to Levee

OTHER AREAS

- Area of Minimal Flood Hazard
- Effective LOMs
- Area of Undetermined Flood Hazard

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was updated on 8/13/2024 at 12:32 PM, and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

LEGAL DESCRIPTION

LOT A
LOVELACE HEIGHTS ADDITION
CITY OF ALBUQUERQUE,
FILED IN THE OFFICE OF THE COUNTY CLERK,
BERNALILLO COUNTY, NEW MEXICO,
ON JUNE 10, 2022 IN PLAT BOOK 2022C,
PAGE 57.

LEGEND

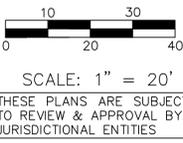
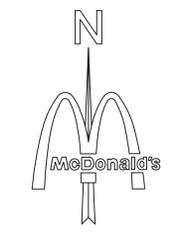
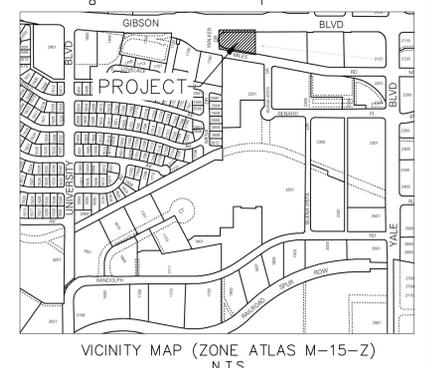
- TC = TOP OF CURB
- TP = TOP OF PAVEMENT
- FG = FINISHED GRADE
- FF = FINISHED FLOOR
- ± = MATCH EXISTING GRADE
- GRADE BREAK
- XXX EXISTING CONTOUR
- PROPOSED CONTOUR
- LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 2/14/2025
BY: [Signature]
HydroTeam # M15D021G

THE APPROVAL OF THESE PLANS AND PERMITS SHALL NOT BE CONSIDERED TO PREVENT VIOLATION OF ANY CITY, STATE, FEDERAL OR FEDERAL LAW, AND SHALL NOT PREVENT CONSTRUCTION OR REPAIR OF IMPROVEMENTS IN PLANS, SPECIFICATIONS, OR CONDITIONS. SUCH APPROVALS AND AUTHORIZATIONS SHALL NOT BE CHALLENGED WITHOUT WRITTEN AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



BENCHMARK

- A.G.R.S. MONUMENT "19 L16" STANDARD C.O.A ALUMINUM DISC (FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1478.691641 US SURVEY FEET
E=1531.755929 US SURVEY FEET
PUBLISHED EL= 5297.506 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999664048
DELTA ALPHA ANGLE=N-12°31'00"
- A.G.R.S. MONUMENT "24 L16" STANDARD C.O.A METALLIC DISC (FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1476.86902 US SURVEY FEET
E=1529.13322 US SURVEY FEET
PUBLISHED EL= 5191.306 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=NOT PUBLISHED
DELTA ALPHA ANGLE=NOT PUBLISHED

STANDARD ACCESSIBILITY REQUIREMENTS

(A) PARKING:
ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.
EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM OR 96" WIDE MINIMUM WHEN ADJACENT TO A VAN-ACCESSIBLE SPACE THAT IS LESS THAN 132" WIDE.

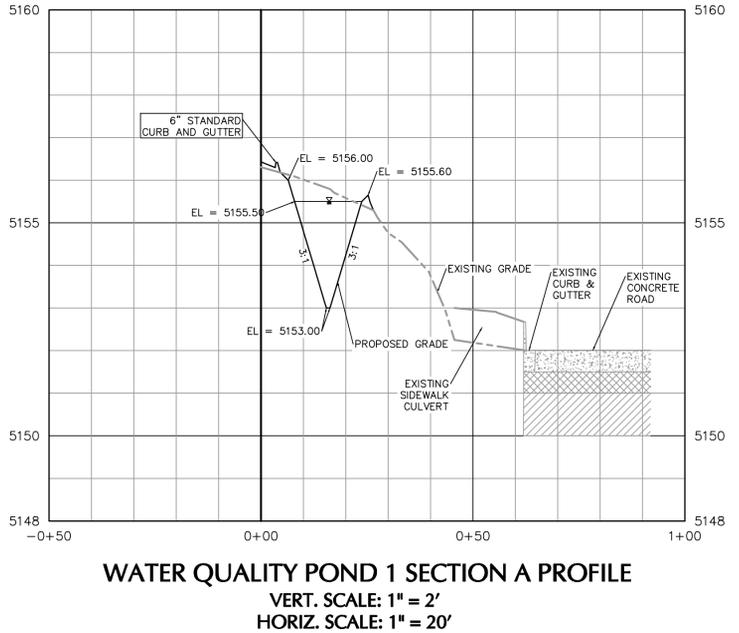
(B) RAMPS:
RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).
LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).
RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° VERTICAL RISE.
RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

(C) SIDEWALKS AND ACCESSIBLE ROUTES:
SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).
LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR RESPONSIBILITIES

GENERAL CONTRACTOR SHALL BACKFILL BEHIND BACK OF CURB UP TO TWO (2) INCHES BELOW TOP OF CURB ELEVATION. FILL SHALL BE CLEAN FILL MATERIAL FREE OF ORGANIC MATERIALS AND CONSTRUCTION DEBRIS. GENERAL CONTRACTOR SHALL GRADE AREAS TO DRAIN PER THE APPROVED GRADING PLAN AT A GRADE TWO (2) INCHES BELOW FINAL GRADE. LANDSCAPE CONTRACTOR WILL PROVIDE THE ADDITIONAL TWO (2) INCHES OF MATERIAL PER THE LANDSCAPE PLAN.

NOTE:
NO WORK SHALL BE PERFORMED IN THE PUBLIC R.O.W. WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
REFER TO SHEET C8.1 FOR STORM CALCULATIONS.



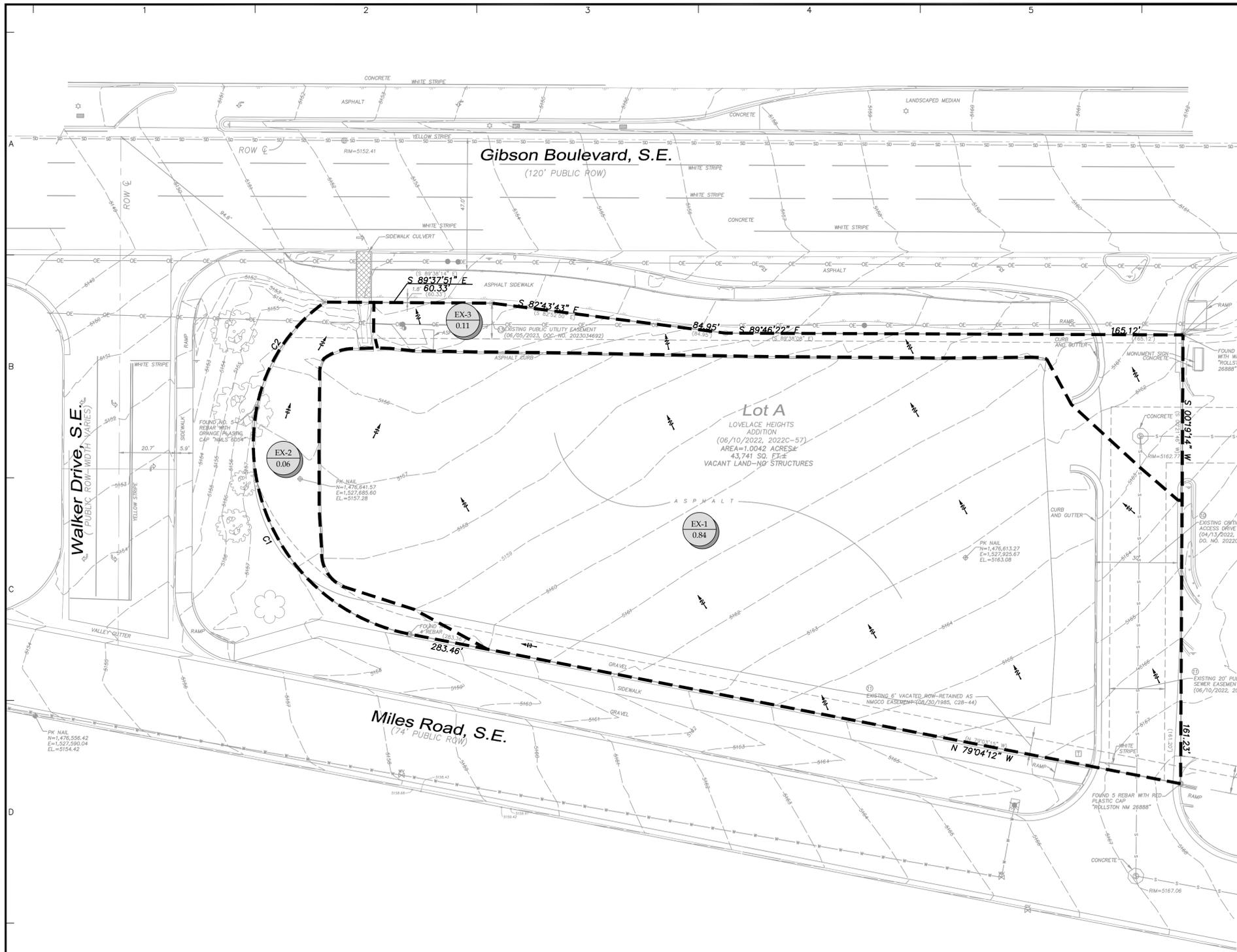
Date	Description	No.
Revisions		
<p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>		
<p>1/30/25</p> <p><i>G. K. [Signature]</i></p>		
<p>LANGAN</p> <p>Langan Engineering and Environmental Services, LLC.</p> <p>2999 Olympus Blvd, Suite 165 Dallas, TX 75019</p> <p>T: 817.328.3200 www.langan.com</p>		
<p>Project</p> <p>McDONALD'S NEW RESTAURANT L/C #030-0274 / NSN 43752 2000 GIBSON BLVD. SE ALBUQUERQUE</p> <p>BERNALILLO COUNTY NEW MEXICO Drawing Title</p>		
<p>Project No. 520088901</p> <p>Date JANUARY 2025</p> <p>Drawn By MNK</p> <p>Checked By HJM</p>		<p>Drawing No. C7.0</p> <p>Sheet 13 of 27</p>

811

Know what's below.
Call before you dig.

Project No. 520088901
Date JANUARY 2025
Drawn By MNK
Checked By HJM

Sheet 13 of 27



SCALE: 1" = 20'

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 2/14/2025
BY: [Signature]
HydroTrans #: M150021G

THE APPROVAL OF THESE PLANS DOES NOT BE
CONSIDERED TO BE A GUARANTEE OF ANY CITY
ENGINEER OR PLANNING DEPARTMENT AND SHALL NOT BE
CONSIDERED TO BE A GUARANTEE OF ANY CITY
ENGINEER OR PLANNING DEPARTMENT. REPRODUCTION OF THESE PLANS
WITHOUT THE WRITTEN PERMISSION OF THE CITY OF ALBUQUERQUE
SHALL NOT BE CONSIDERED TO BE AN ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

Date	Description	No.
Revisions		

M. McDonald's USA, LLC

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1/30/25

15142

[Signature]

LANGAN

Langan Engineering and
Environmental Services, LLC.

2999 Olympus Blvd, Suite 165
Dallas, TX 75019

T: 817.328.3200 www.langan.com

Project

McDONALD NEW RESTAURANT
L/C #030-0274 / NSN 43752
2000 GIBSON BLVD. SE
ALBUQUERQUE

BERNALILLO COUNTY NEW MEXICO

Drawing Title

PRE-DEVELOPED DRAINAGE PLAN

Project No. 520088901	Drawing No. C8.0
Date JANUARY 2025	
Drawn By MNK	
Checked By HJM	

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS

Basin ID	Area		Land Treatment Condition				Weighted E	Volume	Peak Discharge	Remarks
	(sf)	(Ac)	A (Ac.)	B (Ac.)	C (Ac.)	D (Ac.)				
EX-1	36558.5	0.84	0.000	0.000	0.10	0.74	2.18	0.15	3.52	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
EX-2	2486.8	0.06	0.000	0.000	0.06	0.00	1.03	0.00	0.17	Sheet flow NE to Sidewalk Culvert to Gibson Blvd ROW
EX-3	4695.7	0.11	0.000	0.000	0.11	0.00	1.03	0.01	0.33	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
Total	43741.0	1.0	0.0	0.0	0.3	0.7	4.2	0.2	4.02	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.

BENCHMARK

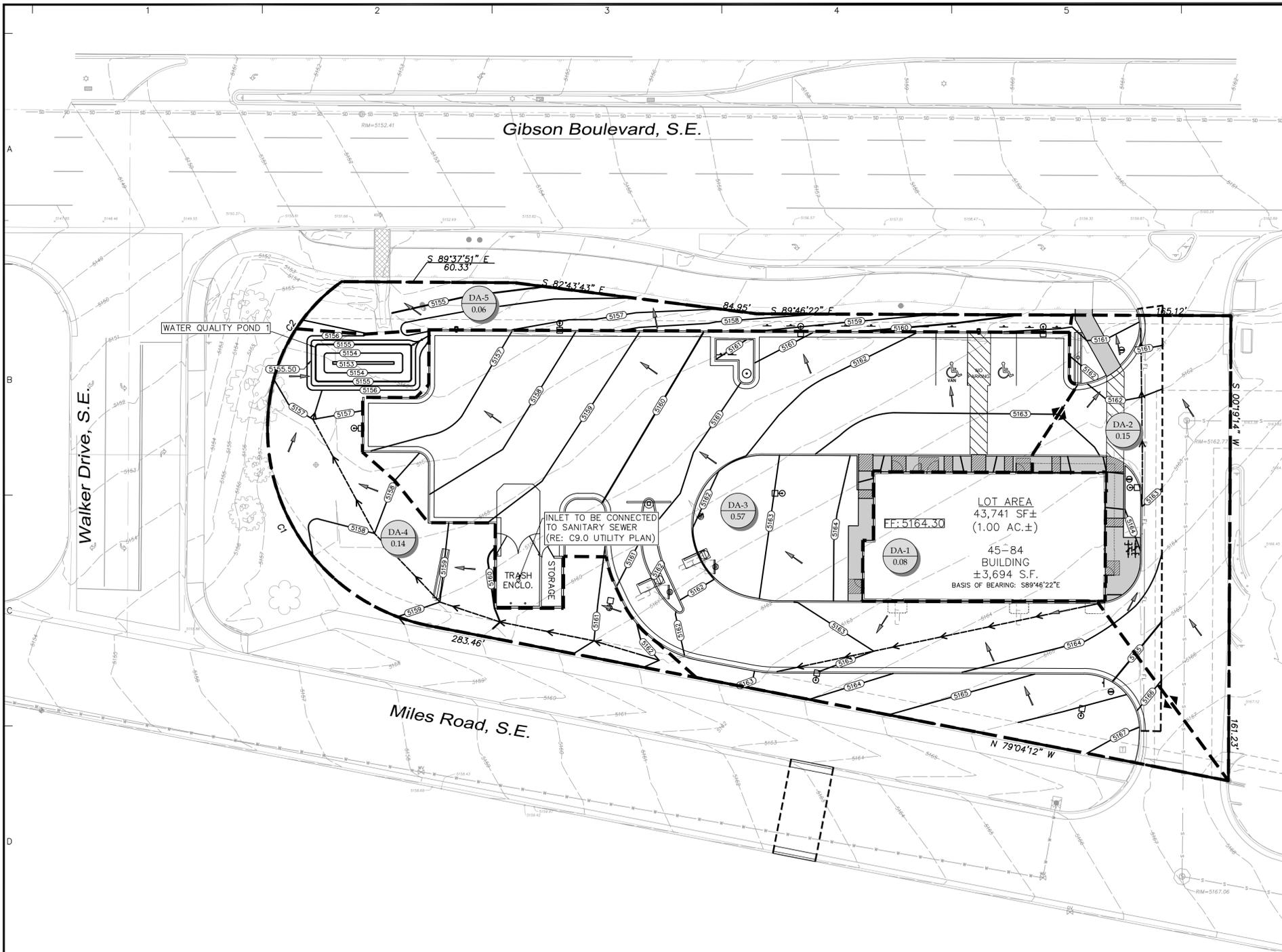
- A.G.R.S. MONUMENT "19_L16"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,478,691.641 US SURVEY FEET
E=1,531,755.929 US SURVEY FEET
PUBLISHED EL= 5297.506 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999664048
DELTA ALPHA ANGLE=N-12°31'00"
- A.G.R.S. MONUMENT "24_L16"
STANDARD C.O.A. METALLIC DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,476,869.02 US SURVEY FEET
E=1,529,133.22 US SURVEY FEET
PUBLISHED EL= 5191.306 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=NOT PUBLISHED
DELTA ALPHA ANGLE=NOT PUBLISHED

LEGEND

- DRAINAGE AREA LINE
- EXISTING CONTOUR
- DRAINAGE AREA NUMBER
DRAINAGE AREA (ACRES)
- EXISTING FLOW ARROW

811

Know what's below.
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DRAINAGE REPORT

Site Location – The site is located on an approximately 1.0 acre lot at the Southeast corner of Gibson Blvd., S.E. and Walker Drive. The site is bordered to the East by a common access drive and to the South by Miles Rd. Proposed construction will include the demolition of the existing parking lot and construction of a new McDonald's restaurant with associated paving, grading, landscaping, utility, and stormwater management infrastructure.

Methodology – The proposed storm water management system was evaluated in accordance with Chapter 6 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 2. The 100-year, 6-hour frequency rainfall event was used to calculate peak discharge rates and runoff volumes under existing and proposed conditions.

Existing Conditions – Storm water runoff generally drains from the southeast corner of the site to the northwest corner of the site under existing conditions. It flows to an existing flume and through an existing sidewalk culvert that deposits into Gibson Blvd. S.E. Existing conditions runoff calculations are shown on Sheet C8.0 Pre-Developed Drainage Plan.

Proposed Conditions – Under proposed conditions, nearly all site flow will be directed to two curb cuts near the northwest corner and to a first flush storm water quality basin. Drainage areas DA-1, DA-3, and DA-4 will sheet flow through the parking lot to be captured by the Storm Water Quality Basin and ultimately through the existing flume and sidewalk culvert into Gibson Blvd. S.E. The first flush storm water quality basin has a total capacity of 657 cubic feet which exceeds the first flush requirement of 541 cubic feet. A small portion of the site on the east side (Drainage area DA-2) drains directly to Gibson Blvd. S.E. which is unavoidable, but also matches existing conditions and is in general conformance with the overall development's approved master grading and drainage design. Drainage area DA-5 is a landscape area that will sheet flow to Gibson Blvd. S.E. which also is in conformance with the overall development's approved master grading and drainage design.

Conclusions – The overall amount of impervious area at this site will be slightly reduced under the proposed conditions. It also follows the existing drainage patterns and is in general conformance with the overall development's approved master grading and drainage design.



SCALE: 1" = 20'

NOTE: NO WORK SHALL BE PERFORMED IN THE PUBLIC R.O.W. WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

Date	Description	No.
Revisions		

McDonald's USA, LLC
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LANGAN
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Project
McDONALD'S NEW RESTAURANT
 L/C #030-0274 / NSN 43752
 2000 GIBSON BLVD. SE
 ALBUQUERQUE
 BERNALILLO COUNTY NEW MEXICO

Drawing Title
POST-DEVELOPED DRAINAGE PLAN

Project No. 520088901	Drawing No. C8.1
Date JANUARY 2025	
Drawn By MNK	
Checked By HJM	
	Sheet 15 of 27

LEGEND

- DRAINAGE AREA LINE
- XXX --- EXISTING CONTOUR
- XXX --- PROPOSED CONTOUR
- (X) DRAINAGE AREA NUMBER
- (XXX) DRAINAGE AREA (ACRES)
- PROPOSED FLOW ARROW

POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS

Basin ID	Area		Land Treatment Condition				Excess Precipitation (in)	Volume (ac/ft)	Peak Discharge (cfs)	Remarks
	(sf)	(ac)	A	B	C	D				
DA-1	3694.00	0.08	0.00	0.00	0.00	0.08	2.33	0.02	0.37	Roof Drain Flow to pond
DA-2	6545.90	0.15	0.00	0.00	0.01	0.14	2.21	0.03	0.63	Sheet flow to North to Gibson Blvd ROW
DA-3	24648.60	0.57	0.00	0.00	0.08	0.49	2.15	0.10	2.36	Sheet flow to pond
DA-4	6036.60	0.14	0.00	0.00	0.14	0.00	1.03	0.01	0.42	Sheet flow to pond
DA-5	2815.90	0.06	0.00	0.00	0.06	0.00	1.03	0.01	0.20	Sheet Flow to Gibson Blvd ROW
Total	43741.00	1.00	0.00	0.00	0.30	0.71	8.75	0.16	4.0	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.

FIRST FLUSH VOLUME SUMMARY

Total Impervious Area = 24,581 SF (0.57 acres)

Required Retention Volume (0.26 in/acre) = 640.7 Cubic Feet

Retention Volume Provided = 656.9 Cubic Feet

POND 1 STAGE-STORAGE VOLUME

Elevation	Area (sq. ft.)	Avg. Area (sq. ft.)	Inc. Depth (ft.)	Inc. Volume (cu. Ft.)	Total Volume (cu. ft.)
5153	17.76	101.57	1.00	101.57	0.00
5154	185.37	305.61	1.00	305.61	101.57
5155	425.84	499.46	0.50	249.73	407.17
5155.5	573.07				656.90

FIRST FLUSH VOLUME CALCULATIONS

Basin ID	Impervious Area (Ac)	SWQV Req. (cf) ⁽¹⁾	SWQV Provided (cf) ⁽²⁾	Pond #	Deficiency / Bypass (cf)
0.57	0.08	540.7	656.9	1.0	0.0
0.14	0.00	0.0	0.0	N/A	0.0
0.00	0.00	0.0	0.0	N/A	0.0
0.00	0.00	0.0	0.0	N/A	0.0
0.71	1.00	540.7	656.9	N/A	0.0

m the impervious surface (re-development)

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 2/14/2025
 BY: M15D021G
 HydrTrans F

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT