

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 14, 2025

Heather Macomber
Langan Engineering
2999 Olympus Blvd. Suite 165
Dallas, TX 75019

RE: McDonald's Gibson LC#030-0274
2000 Gibson Blvd. SE
Grading and Drainage Plan
Engineer's Stamp Date: 01/30/25
Hydrology File: M15D021G

Dear Ms. Macomber:

Based upon the information provided in your submittal received 01/14/2025, the Grading & Drainage Plan is **approved** for Grading Permit, Building Permit, and Paving Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ **25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: McDonald's Gibson LC#030-0274 Hydrology File # M15D021G

Legal Description: Lot A, Lovelace Heights Addition

City Address, UPC, OR Parcel: 2000 Gibson Blvd. SE, UPC 101505541550211601

Applicant/Agent: Langan Engineering

Contact: Heather Macomber

Address: 2999 Olympus Blvd., Suite 165, Dallas, TX 75019

Phone: 817-328-3243

Email: hmacomber@langan.com

Applicant/Owner: McDonald's

Contact: Alex Breeden

Address: 110 N. Carpenter St., Chicago, IL 60607

Phone: 630-207-0289

Email: alex.breeden@us.mcd.com

TYPE OF DEVELOPMENT: ☒ Plat (# of lots) 1 ☐ Single Family Home
☒ All other Developments

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

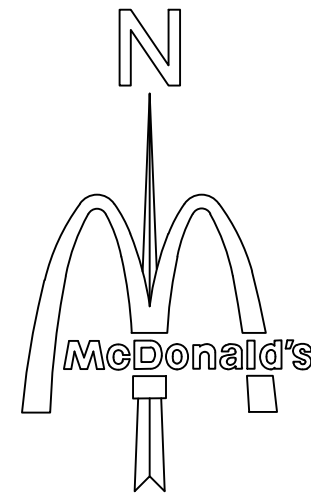
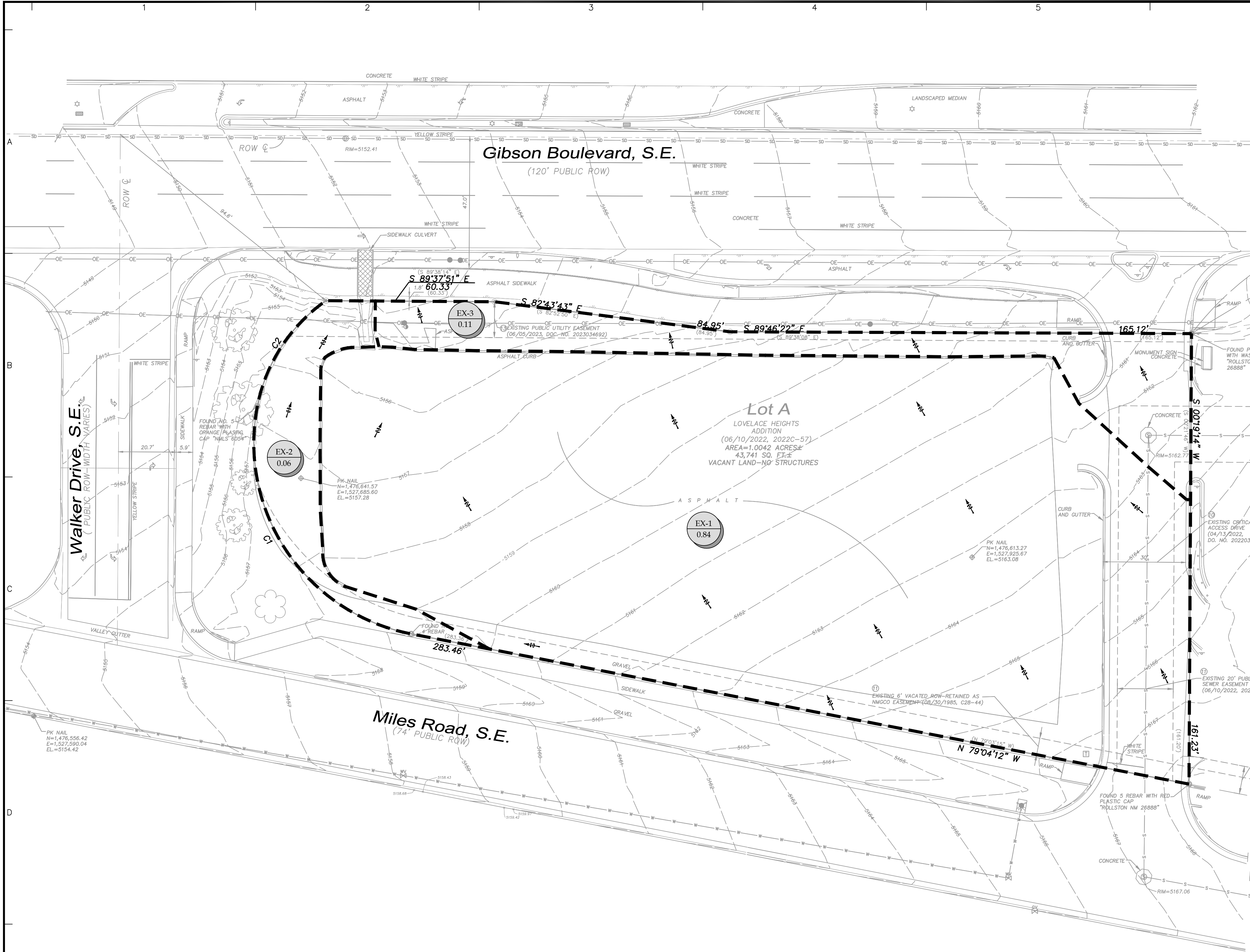
TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☒ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☒ Building Permit
- ☒ Grading Permit
- ☒ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 01-30-2025



0 10 20 30 40
SCALE: 1" = 20'

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 2/14/2025
BY: M150021G
HydroTrans #
THE APPROVAL OF THESE PLANS AND/OR SPECIFICATIONS SHALL NOT BE
CONSIDERED TO BE A GUARANTEE OF ANY CITY
DEPARTMENT OR AGENCY. THE CITY OF ALBUQUERQUE
SPECIFICALLY DISCLAIMS ANY LIABILITY FOR ANY
SHALL NOT BE CHARGED WITH NEGLIGENCE OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

Date	Description	No.
Revisions		

McDonald's USA, LLC
These drawings and specifications are the confidential and
proprietary property of McDonald's USA, LLC and shall not
be copied or reproduced without written authorization.
The contract documents were prepared for use on this
specific site in conjunction with its issue date and are
not suitable for use on a different site or at a later
time. Use of these drawings for reference or example on
another project requires the services of properly licensed
architects and engineers. Reproduction of the contract
documents for reuse on another project is not authorized.

1/30/25
15142
G. R. Rios
G. R. Rios

LANGAN
Langan Engineering and
Environmental Services, LLC.
2999 Olympus Blvd, Suite 165
Dallas, TX 75019
T: 817.328.3200 www.langan.com

Project
McDONALD NEW RESTAURANT
L/C #030-0274 / NSN 43752
2000 GIBSON BLVD. SE
ALBUQUERQUE
BERNALILLO COUNTY NEW MEXICO
Drawing Title

PRE-DEVELOPED DRAINAGE PLAN

Project No. 520088901	Drawing No. C8.0
Date JANUARY 2025	
Drawn By MNK	
Checked By HJM	

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS										
Basin ID	Area		Land Treatment Condition				Weighted E	Volume	Peak Discharge	Remarks
	(sf)	(Ac)	A (Ac.)	B (Ac.)	C (Ac.)	D (Ac.)				
EX-1	36558.5	0.84	0.000	0.000	0.10	0.74	2.18	0.15	3.52	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
EX-2	2486.8	0.06	0.000	0.000	0.06	0.00	1.03	0.00	0.17	Sheet flow NE to Sidewalk Culvert to Gibson Blvd ROW
EX-3	4695.7	0.11	0.000	0.000	0.11	0.00	1.03	0.01	0.33	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
Total	43741.0	1.0	0.0	0.0	0.3	0.7	4.2	0.2	4.02	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.

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BENCHMARK

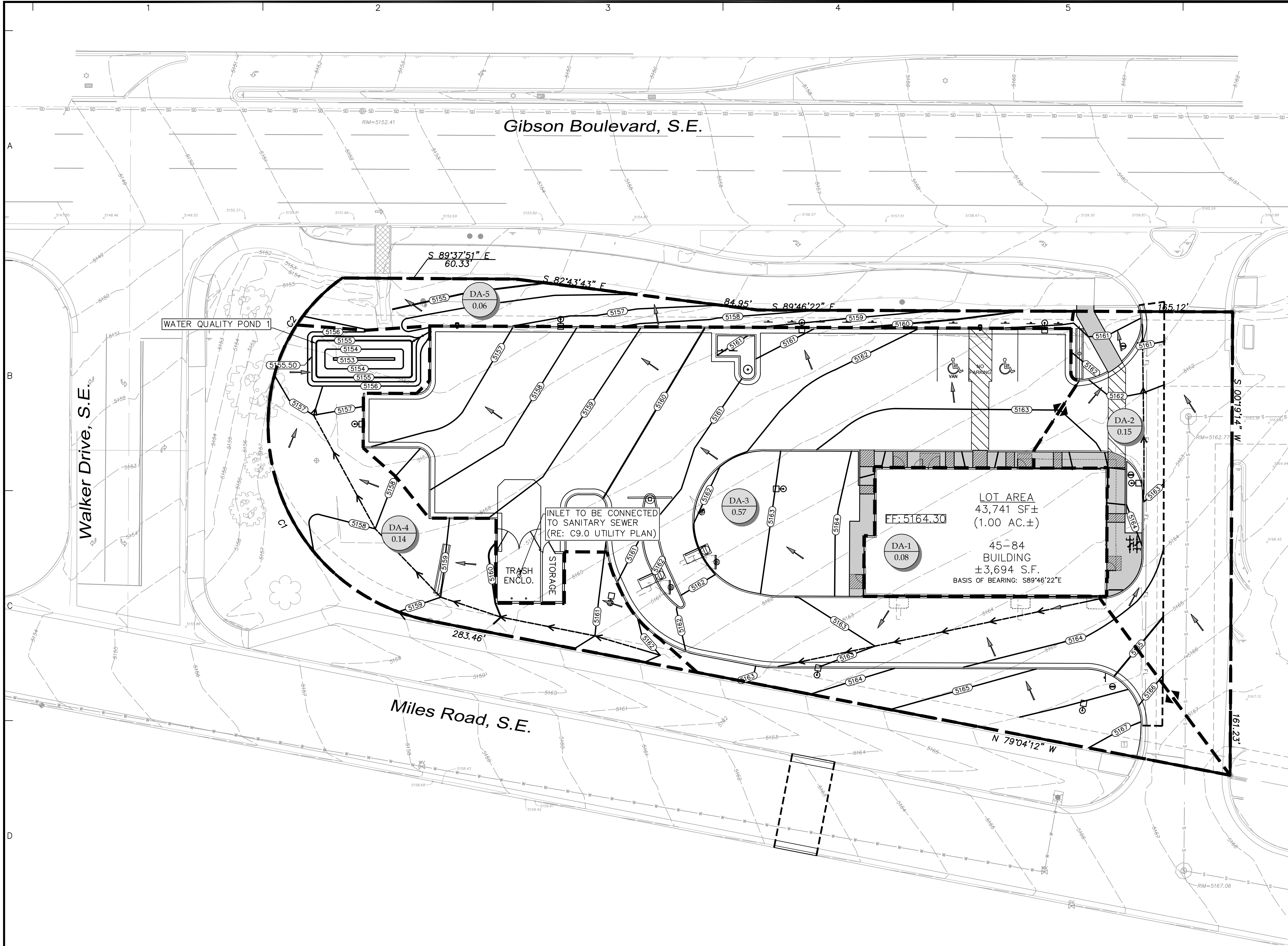
- A.G.R.S. MONUMENT "19_L16"
STANDARD C.O.A ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,478,691.641 US SURVEY FEET
E=1,531,755.929 US SURVEY FEET
PUBLISHED EL= 5297.506 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999664048
DELTA ALPHA ANGLE=N-12°31'00"
- A.G.R.S. MONUMENT "24_L16"
STANDARD C.O.A METALLIC DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,476,869.02 US SURVEY FEET
E=1,529,133.22 US SURVEY FEET
PUBLISHED EL= 5191.306 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=NOT PUBLISHED
DELTA ALPHA ANGLE=NOT PUBLISHED

LEGEND

- DRAINAGE AREA LINE
- XXX--- EXISTING CONTOUR
- X
XXX DRAINAGE AREA NUMBER
DRAINAGE AREA (ACRES)
- > EXISTING FLOW ARROW



Know what's below.
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DRAINAGE REPORT

Site Location – The site is located on an approximately 1.0 acre lot at the Southeast corner of Gibson Blvd., S.E. and Walker Drive. The site is bordered to the East by a common access drive and to the South by Miles Rd. Proposed construction will include the demolition of the existing parking lot and construction of a new McDonald's restaurant with associated paving, grading, landscaping, utility, and stormwater management infrastructure.

Methodology – The proposed storm water management system was evaluated in accordance with Chapter 6 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 2. The 100-year, 6-hour frequency rainfall event was used to calculate peak discharge rates and runoff volumes under existing and proposed conditions.

Existing Conditions – Storm water runoff generally drains from the southeast corner of the site to the northwest corner of the site under existing conditions. It flows to an existing flume and through an existing sidewalk culvert that deposits into Gibson Blvd. S.E. Existing conditions runoff calculations are shown on Sheet C8.0 Pre-Developed Drainage Plan.

Proposed Conditions – Under proposed conditions, nearly all site flow will be directed to two curb cuts near the northwest corner and to a first flush storm water quality basin. Drainage areas DA-1, DA-3, and DA-4 will sheet flow through the parking lot to be captured by the Storm Water Quality Basin and ultimately through the existing flume and sidewalk culvert into Gibson Blvd. S.E. The first flush storm water quality basin has a total capacity of 657 cubic feet which exceeds the first flush requirement of 541 cubic feet. A small portion of the site on the east side (Drainage area DA-2) drains directly to to Gibson Blvd. S.E. which is unavoidable, but also matches existing conditions and is in general conformance with the overall development's approved master grading and drainage design. Drainage area DA-5 is a landscape area that will sheet flow to Gibson Blvd. S.E. which also is in conformance with the overall development's approved master grading and drainage design.

Conclusions – The overall amount of impervious area at this site will be slightly reduced under the proposed conditions. It also follows the existing drainage patterns and is in general conformance with the overall development's approved master grading and drainage design.

LEGEND

- DRAINAGE AREA LINE
- XXX --- EXISTING CONTOUR
- XXX --- PROPOSED CONTOUR
- X XXX DRAINAGE AREA NUMBER DRAINAGE AREA (ACRES)
- PROPOSED FLOW ARROW

POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS										
Basin ID	Area		Land Treatment Condition				Excess Precipitation	Volume	Peak Discharge	Remarks
	(sf)	(ac)	A	B	C	D	(in)	(ac/ft)	(cfs)	
DA-1	3694.00	0.08	0.00	0.00	0.00	0.08	2.33	0.02	0.37	Roof Drain Flow to pond
DA-2	6545.90	0.15	0.00	0.00	0.01	0.14	2.21	0.03	0.63	Sheet flow to North to Gibson Blvd ROW
DA-3	24648.60	0.57	0.00	0.00	0.08	0.49	2.15	0.10	2.36	Sheet flow to pond
DA-4	6036.60	0.14	0.00	0.00	0.14	0.00	1.03	0.01	0.42	Sheet flow to pond
DA-5	2815.90	0.06	0.00	0.00	0.06	0.00	1.03	0.01	0.20	Sheet Flow to Gibson Blvd ROW
Total	43741.00	1.00	0.00	0.00	0.30	0.71	8.75	0.16	4.0	
Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.										

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.

FIRST FLUSH VOLUME SUMMARY	
Total Impervious Area = 24,581 SF (0.57 acres)	
Required Retention Volume (0.28 in/acre) = 540.7 Cubic Feet	
Retention Volume Provided = 656.9 Cubic Feet	

POND 1 STAGE-STORAGE VOLUME					
Elevation	Area (sq. ft.)	Avg. Area (sq. ft.)	Inc. Depth (ft.)	Inc. Volume (cu. ft.)	Total Volume (cu. ft.)
5153	17.76	101.57	1.00	101.57	0.00
5154	185.37				101.57
5155	425.84	499.46	0.50	249.73	407.17
5155.5	573.07				656.90

FIRST FLUSH VOLUME CALCULATIONS					
Basin ID	Impervious Area (Ac)	SWQV Req. (cf) ⁽¹⁾	SWQV Provided (cf) ⁽²⁾	Pond #	Deficiency / Bypass (cf)
0.57	540.7	540.7	656.9	1.0	0.0
0.14	0.0	0.0	0.0	N/A	0.0
0.00	0.0	0.0	0.0	N/A	0.0
0.00	0.0	0.0	0.0	N/A	0.0
0.71	540.7	540.7	656.9	N/A	0.0
m the impervious surface (re-development)					

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 2/14/2025
BY: M15D021G
HydroTeam P

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCES OR STATE LAWS AND SHALL NOT BE
THE CITY OF ALBUQUERQUE SHALL NOT BE
RESPONSIBLE FOR DESIGN OR CONSTRUCTION OF ANY
STRUCTURE OR CONSTRUCTION OF ANY APPROVED PLAN
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
APPROVATION.



Know what's below.
Call before you dig.

Date	Description	No.
Revisions		
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.		
 LANGAN Langan Engineering and Environmental Services, LLC. 2999 Olympus Blvd, Suite 165 Dallas, TX 75019 T: 817.328.3200 www.langan.com		
Project McDONALD'S NEW RESTAURANT L/C #030-0274 / NSN 43752 2000 GIBSON BLVD. SE ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO Drawing Title		
POST-DEVELOPED DRAINAGE PLAN		
Project No. 520088901	Drawing No. C8.1	
Date JANUARY 2025	Drawn By MNK	
Checked By HJM	Sheet 15 of 27	