

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 14, 2025

Heather Macomber  
Langan Engineering  
2999 Olympus Blvd. Suite 165  
Dallas, TX 75019

**RE: McDonald's Gibson LC#030-0274**  
**2000 Gibson Blvd. SE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 01/30/25**  
**Hydrology File: M15D021G**

Dear Ms. Macomber:

Based upon the information provided in your submittal received 01/14/2025, the Grading & Drainage Plan is **approved** for Grading Permit, Building Permit, and Paving Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ **25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** Plat (# of lots) \_\_\_\_\_ Single Family Home  
All other Developments

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

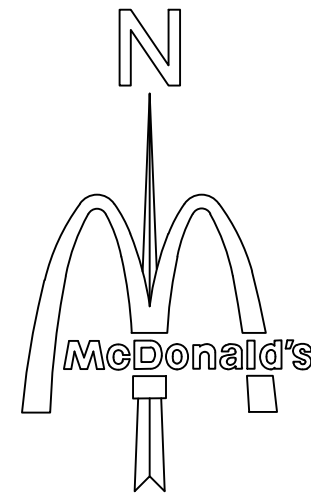
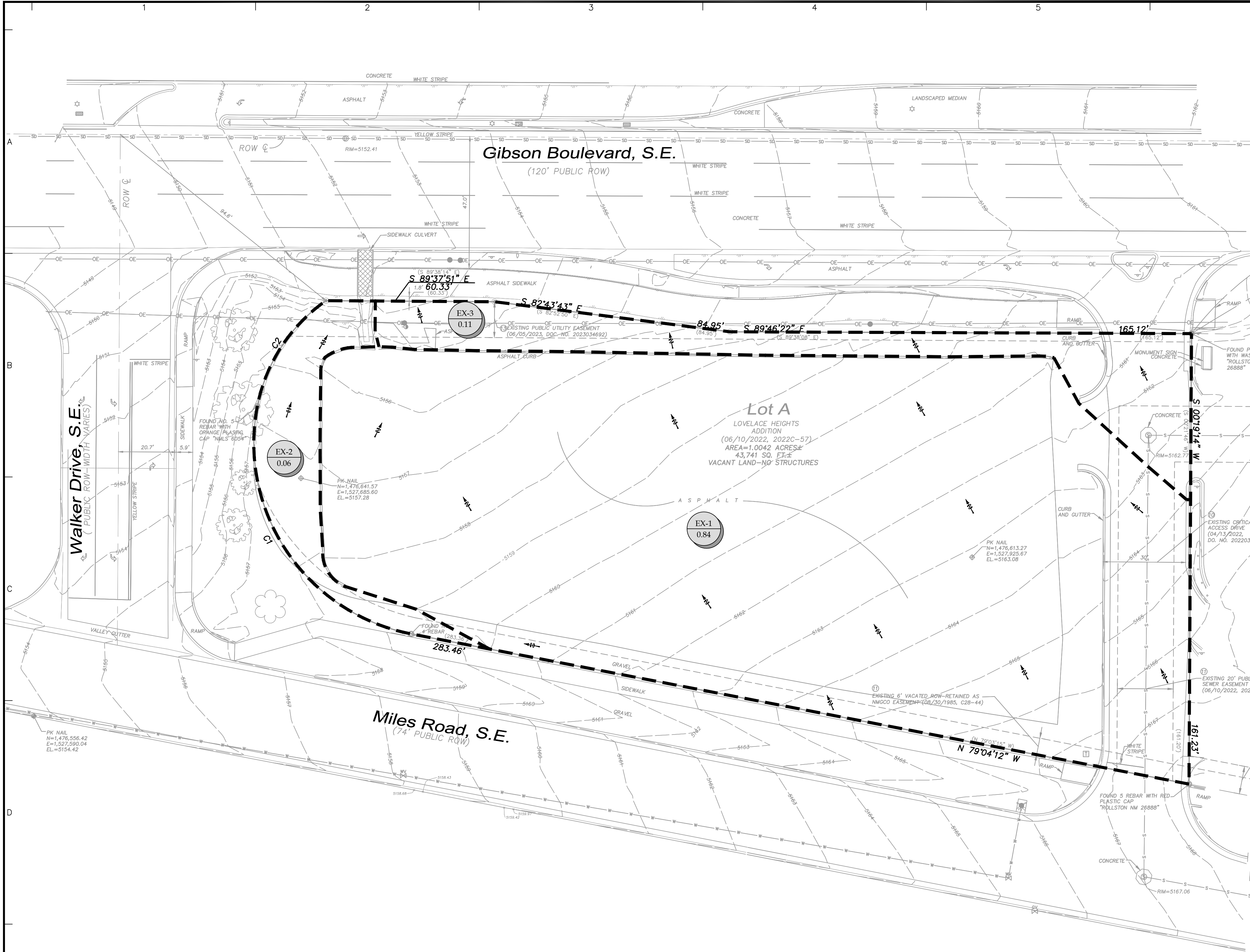
Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy - Temp Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_









0 10 20 30 40  
SCALE: 1" = 20'

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 2/14/2025  
BY: M150021G

THE APPROVAL OF THESE PLANS AND/OR SPECIFICATIONS SHALL NOT BE  
CONSIDERED TO PRESENT A GUARANTEE OF ANY CITY  
ENGINEER OR PLANNING DEPARTMENT AND SHALL NOT BE  
CONSIDERED TO PRESENT A GUARANTEE OF ANY CITY  
ENGINEER OR PLANNING DEPARTMENT. REPRODUCTION OF THESE PLANS  
OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE  
AUTHORIZATION OF THE CITY OF ALBUQUERQUE IS PROHIBITED.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE  
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

Date	Description	No.
Revisions		

**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

**LANGAN**  
Langan Engineering and  
Environmental Services, LLC.  
2999 Olympus Blvd, Suite 165  
Dallas, TX 75019  
T: 817.328.3200 www.langan.com

Project

**McDONALD NEW RESTAURANT**  
**L/C #030-0274 / NSN 43752**  
**2000 GIBSON BLVD. SE**  
**ALBUQUERQUE**

**BERNALILLO COUNTY** **NEW MEXICO**

Drawing Title

**PRE-DEVELOPED DRAINAGE PLAN**

Project No.	Drawing No.
<b>520088901</b>	<b>C8.0</b>
Date	
Drawn By	
Checked By	

**JANUARY 2025**  
**MNK**  
**HJM**

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS										
Basin ID	Area		Land Treatment Condition				Weighted E	Volume	Peak Discharge	Remarks
	(sf)	(Ac)	A (Ac.)	B (Ac.)	C (Ac.)	D (Ac.)				
EX-1	36558.5	0.84	0.000	0.000	0.10	0.74	2.18	0.15	3.52	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
EX-2	2486.8	0.06	0.000	0.000	0.06	0.00	1.03	0.00	0.17	Sheet flow NE to Sidewalk Culvert to Gibson Blvd ROW
EX-3	4695.7	0.11	0.000	0.000	0.11	0.00	1.03	0.01	0.33	Sheet flow NW to Sidewalk Culvert to Gibson Blvd ROW
Total	43741.0	1.0	0.0	0.0	0.3	0.7	4.2	0.2	4.02	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.

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**BENCHMARK**

- A.G.R.S. MONUMENT "19\_L16"  
STANDARD C.O.A ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,478,691.641 US SURVEY FEET  
E=1,531,755.929 US SURVEY FEET  
PUBLISHED EL= 5297.506 US SURVEY FT (NAVD 1988)  
GROUND TO GRID FACTOR=0.999664048  
DELTA ALPHA ANGLE=N-12°31'00"
- A.G.R.S. MONUMENT "24\_L16"  
STANDARD C.O.A METALLIC DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,476,869.02 US SURVEY FEET  
E=1,529,133.22 US SURVEY FEET  
PUBLISHED EL= 5191.306 US SURVEY FT (NAVD 1988)  
GROUND TO GRID FACTOR=NOT PUBLISHED  
DELTA ALPHA ANGLE=NOT PUBLISHED

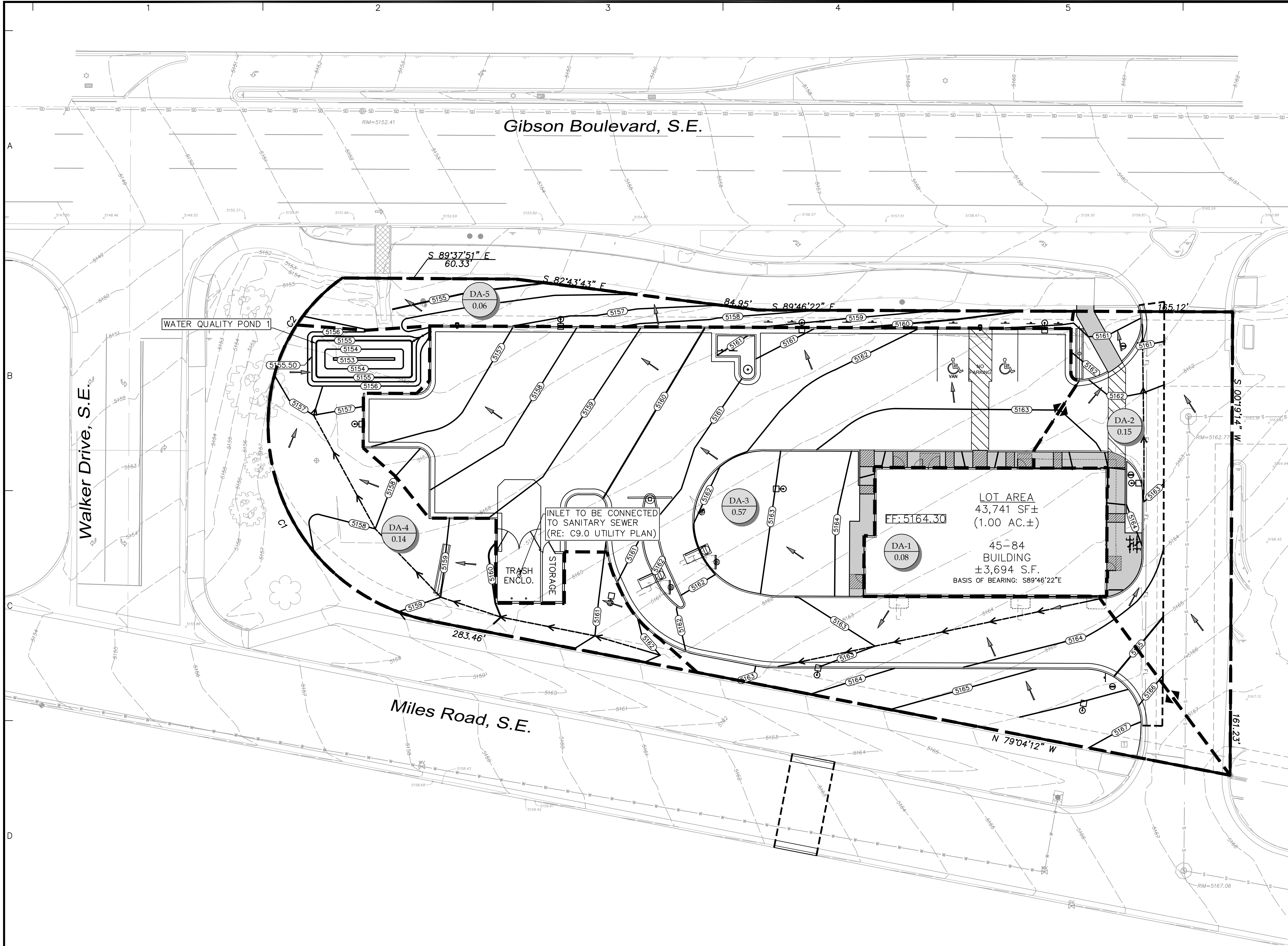
**LEGEND**

- DRAINAGE AREA LINE
- XXX--- EXISTING CONTOUR
- X  
XXX DRAINAGE AREA NUMBER  
DRAINAGE AREA (ACRES)
- > EXISTING FLOW ARROW



Know what's below.  
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**DRAINAGE REPORT**

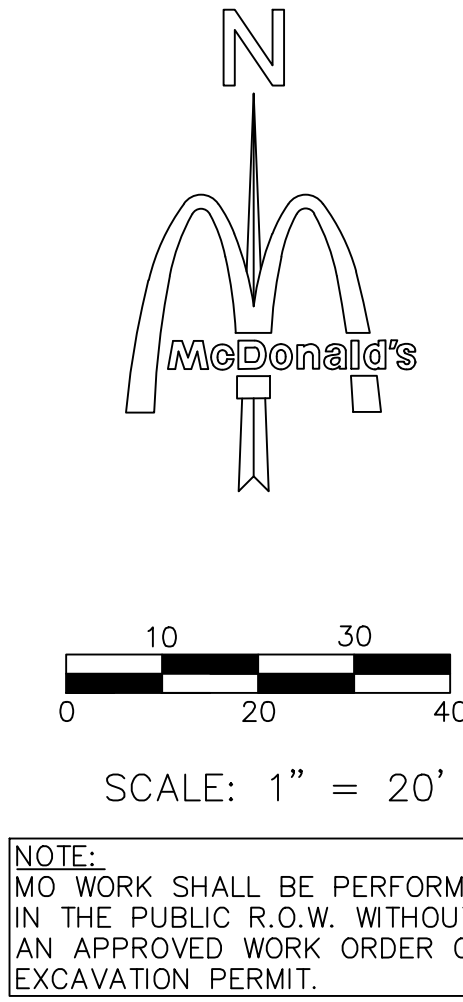
**Site Location** – The site is located on an approximately 1.0 acre lot at the Southeast corner of Gibson Blvd., S.E. and Walker Drive. The site is bordered to the East by a common access drive and to the South by Miles Rd. Proposed construction will include the demolition of the existing parking lot and construction of a new McDonald's restaurant with associated paving, grading, landscaping, utility, and stormwater management infrastructure.

**Methodology** – The proposed storm water management system was evaluated in accordance with Chapter 6 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 2. The 100-year, 6-hour frequency rainfall event was used to calculate peak discharge rates and runoff volumes under existing and proposed conditions.

**Existing Conditions** – Storm water runoff generally drains from the southeast corner of the site to the northwest corner of the site under existing conditions. It flows to an existing flume and through an existing sidewalk culvert that deposits into Gibson Blvd. S.E. Existing conditions runoff calculations are shown on Sheet C8.0 Pre-Developed Drainage Plan.

**Proposed Conditions** – Under proposed conditions, nearly all site flow will be directed to two curb cuts near the northwest corner and to a first flush storm water quality basin. Drainage areas DA-1, DA-3, and DA-4 will sheet flow through the parking lot to be captured by the Storm Water Quality Basin and ultimately through the existing flume and sidewalk culvert into Gibson Blvd. S.E. The first flush storm water quality basin has a total capacity of 657 cubic feet which exceeds the first flush requirement of 541 cubic feet. A small portion of the site on the east side (Drainage area DA-2) drains directly to to Gibson Blvd. S.E. which is unavoidable, but also matches existing conditions and is in general conformance with the overall development's approved master grading and drainage design. Drainage area DA-5 is a landscape area that will sheet flow to Gibson Blvd. S.E. which also is in conformance with the overall development's approved master grading and drainage design.

**Conclusions** – The overall amount of impervious area at this site will be slightly reduced under the proposed conditions. It also follows the existing drainage patterns and is in general conformance with the overall development's approved master grading and drainage design.



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 2/14/2025  
BY: [Signature]  
HydroTeam # M150021G

THE APPROVAL OF THESE PLANS DOES NOT BE  
GUARANTEED TO PRESENT CALCULATIONS OF ANY CITY  
ENGINEER OR DESIGNER. THE CITY OF ALBUQUERQUE IS NOT  
RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE CITY  
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APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE  
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**LEGEND**

- DRAINAGE AREA LINE
- XXX --- EXISTING CONTOUR
- XXX --- PROPOSED CONTOUR
- X XXX DRAINAGE AREA NUMBER  
DRAINAGE AREA (ACRES)
- PROPOSED FLOW ARROW

POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS										
Basin ID	Area		Land Treatment Condition				Excess Precipitation	Volume	Peak Discharge	Remarks
	(sf)	(ac)	A	B	C	D	(in)	(ac/ft)	(cfs)	
DA-1	3694.00	0.08	0.00	0.00	0.00	0.08	2.33	0.02	0.37	Roof Drain Flow to pond
DA-2	6545.90	0.15	0.00	0.00	0.01	0.14	2.21	0.03	0.63	Sheet flow to North to Gibson Blvd ROW
DA-3	24648.60	0.57	0.00	0.00	0.08	0.49	2.15	0.10	2.36	Sheet flow to pond
DA-4	6036.60	0.14	0.00	0.00	0.14	0.00	1.03	0.01	0.42	Sheet flow to pond
DA-5	2815.90	0.06	0.00	0.00	0.06	0.00	1.03	0.01	0.20	Sheet Flow to Gibson Blvd ROW
Total	43741.00	1.00	0.00	0.00	0.30	0.71	8.75	0.16	4.0	
Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 2.										

FIRST FLUSH VOLUME SUMMARY	
Total Impervious Area = 24,581 SF (0.57 acres)	
Required Retention Volume (0.26 in/acre) = 540.7 Cubic Feet	
Retention Volume Provided = 656.9 Cubic Feet	

FIRST FLUSH VOLUME CALCULATIONS					
Basin ID	Impervious Area (Ac)	SWQV Req. (cf) <sup>(1)</sup>	SWQV Provided (cf) <sup>(2)</sup>	Pond #	Deficiency / Bypass (cf)
DA-1, DA-3	0.57	540.7	656.9	1.0	0.0
DA-2	0.14	0.0	N/A	N/A	0.0
DA-4	0.00	0.0	0.0	N/A	0.0
DA-5	0.00	0.0	0.0	N/A	0.0
Total	0.71	540.7	656.9	N/A	0.0

Footnotes:  
(1) - Required volume is 0.26" from the impervious surface (re-development)

POND 1 STAGE-STORAGE VOLUME					
Elevation	Area (sq. ft.)	Avg. Area (sq. ft.)	Inc. Depth (ft.)	Inc. Volume (cu. ft.)	Total Volume (cu. ft.)
5153	17.76	101.57	1.00	101.57	0.00
5154	185.37		1.00	305.61	101.57
5155	425.84	499.46	0.50	249.73	407.17
5155.5	573.07				656.90

**811**  
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Date	Description	No.
Revisions		
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<b>LANGAN</b> Langan Engineering and Environmental Services, LLC. 2999 Olympus Blvd, Suite 165 Dallas, TX 75019 T: 817.328.3200      www.langan.com		
Project <b>McDONALD'S NEW RESTAURANT</b> <b>L/C #030-0274 / NSN 43752</b> <b>2000 GIBSON BLVD. SE</b> <b>ALBUQUERQUE</b> BERNALILLO COUNTY      NEW MEXICO Drawing Title		
<b>POST-DEVELOPED DRAINAGE PLAN</b>		
Project No. <b>520088901</b>	Drawing No. <b>C8.1</b>	
Date <b>JANUARY 2025</b>	<b>27</b>	
Drawn By <b>MNK</b>		
Checked By <b>HJM</b>		