

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 5, 2026

G. Robert Adams, P.E.  
Langan Engineering, LLC  
2999 Olympus Blvd  
Dallas, TX 75019

**Re: McDonald's/ 2000 Gibson Blvd SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 01-30-25 (M15-D021G)  
Certification dated 02-05-26  
TRANS-2026-00033

Dear Mr. Adams,

Based upon the information provided in your submittal received 02-04-26, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Albuquerque

Sincerely,

NM 87103

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

### LEGEND

LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)

ROAD SIGN (POLE)

McDONALD'S DIGITAL MENU BOARD

McDONALD'S ORDER HERE CANOPY

McDONALD'S DIGITAL PRE-BROWSE BOARD

McDONALD'S DOUBLE GATEWAY

McDONALD'S DIRECTIONAL SIGN

DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)

POWER POLE

DOMESTIC WATER METER

IRRIGATION WATER METER

BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)

FIRE HYDRANT (EXISTING)

GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)

"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW

"THANK YOU" AT END OF PATH - COLOR : YELLOW

"CIRCLE / ARROW" - COLOR : YELLOW

ARROW PATH DIRECTION - COLOR : WHITE

### SITE INFORMATION

LAND AREA: 43,741 SF (1.00 AC)

CURRENT ZONING: NR-C

EXISTING USE: PARKING LOT

PROPOSED USE: RESTAURANT W/ DRIVE-THRU

BUILDING AREA (APPROXIMATE): 3,964 SF

BUILDING CONSTRUCTION TYPE: VB

BUILDING LOT COVERAGE: 3,964 SF / 43,741 SF = 9.06%

PARKING REQUIRED: 5.6 SPACE PER 1,000 SF (3,631SF / 1,000SF) x 5.6 = 20.58

PARKING PROVIDED: 26

HANDICAP PARKING REQUIRED: 2

HANDICAP PARKING PROVIDED: 2

BICYCLE PARKING REQUIRED: 3

BICYCLE PARKING PROVIDED: 3

MOTORCYCLE PARKING REQUIRED: 1

MOTORCYCLE PARKING PROVIDED: 2

EV PARKING REQUIRED: 3

EV PARKING PROVIDED: 4

EV CAPABLE PARKING REQUIRED: 2

EV CAPABLE PARKING PROVIDED: 3

EXISTING IMPERVIOUS AREA: 8.9% (3,892 SF)

PROPOSED IMPERVIOUS AREA: 56.2% (24,581 SF)

PROPOSED LANDSCAPE PERCENTAGE: 34.9% (15,268 SF)

### NOTES

- CLEAR SITE TRIANGLE NOTE: LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER IN ACCORDANCE WITH COA DWG. NO. 2415A AND 2430.

### PAVING SPECIFICATION

VERIFY W/ McDONALD'S: ASPHALT:  CONCRETE:

CONTRACTOR TO BID: ASPHALT:  CONCRETE:

#### ASPHALT PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY
ASPHALT CONCRETE	5.5"
BASE COURSE	12"

#### CONCRETE PAVEMENT RECOMMENDATIONS

PAVEMENT MATERIALS	HEAVY DUTY	TRASH APRON
PORTLAND CEMENT CONCRETE PAVEMENT	6"	6"
BASE COURSE	4"	4"

#### PAVEMENT NOTES:

- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED OCTOBER 11, 2024, (GEOTECH PROJECT NUMBER 66245121).
- SUBGRADE SHOULD BE SCARIFIED, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR (ASTM D1557) MAXIMUM DRY DENSITY FOR A MINIMUM DEPTH OF 10 INCHES. SEE EARTHWORK SECTION OF GEOTECH REPORT.
- PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND McDONALD'S SPECIFICATIONS.
- WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
- REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
- ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W AND FIBER MESH, UNLESS OTHERWISE NOTED.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO PROVIDE JOINTING PLAN SUBMISSION FOR CIVIL REVIEW AND APPROVAL.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

### PAVING LEGEND

REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3,500 PSI 28-DAY STRENGTH

HEAVY DUTY REINFORCED CONCRETE PAVEMENT @ CURB AND GUTTER, AND DRIVE-THRU.

HEAVY DUTY ASPHALT OR REINFORCED CONCRETE.

REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 6" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH

LANDSCAPE AREA

SAWCUT LINE

\*REFER TO SHEET C5.0 PAVING PLAN AND GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC. (REPORT NO. 66245121) FOR ALL PAVING SPECIFICATIONS.

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Ramirez 2/5/2025

Signed Date

### VICINITY MAP (ZONE ATLAS M-15-Z)

N.T.S.

NOTE: NO WORK SHALL BE PERFORMED IN THE PUBLIC R.O.W. WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

TRAFFIC CERTIFICATION

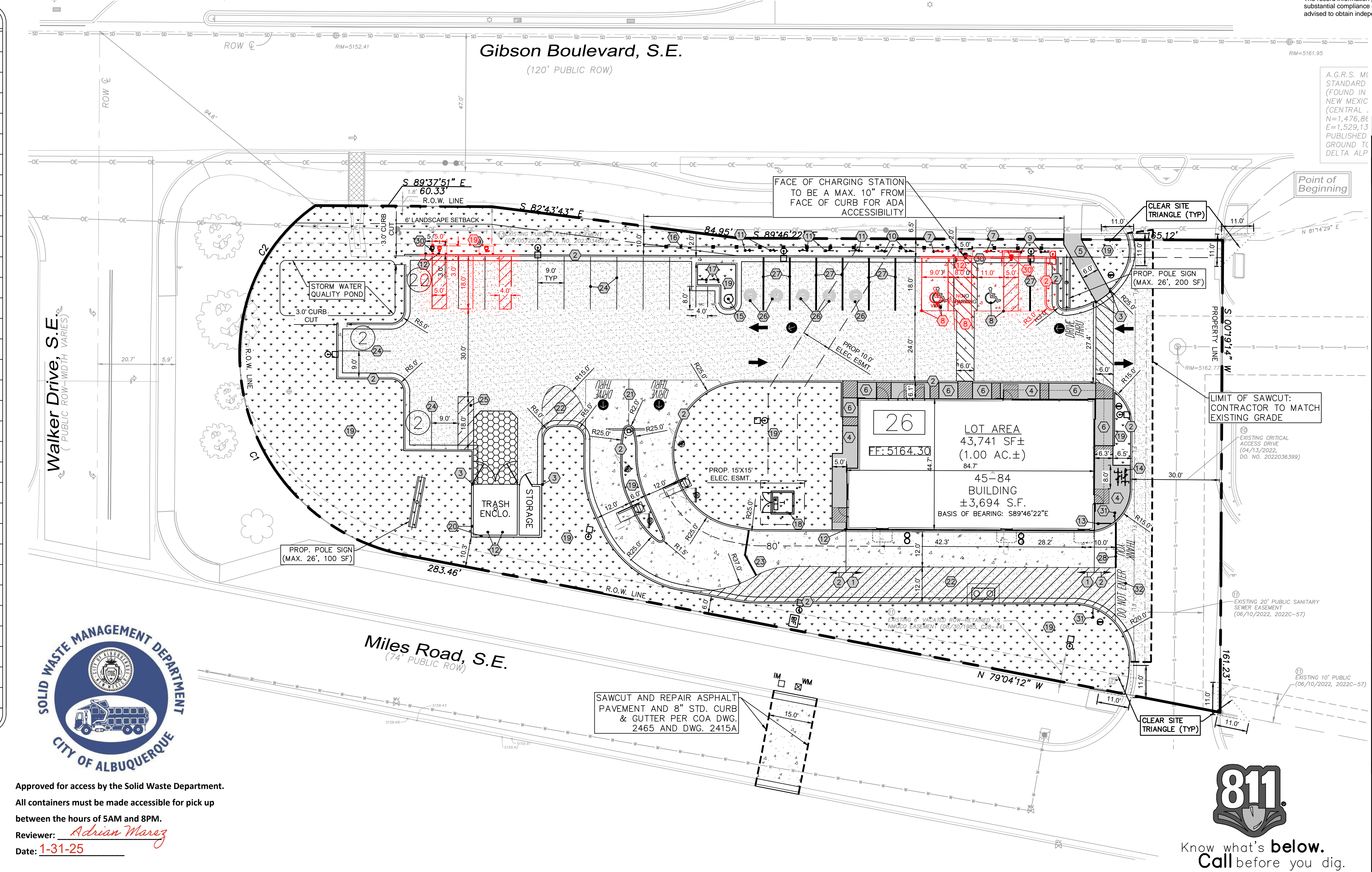
I, G. Robert Adams, NMPE 15142, of Langan Engineering, hereby attest that this project is in substantial conformance with and in accordance with the design intent of the approved Traffic Circulation Layout dated January 30, 2025. I further attest that a qualified person under my direct supervision has personally visited the project site on February 3, 2025, and have determined by visual inspection that the improvements installed are representative of actual site conditions with minor modifications and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a certificate of occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

2.5.26

### KEY NOTE LEGEND

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	SLOPED REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
6	H.C. ACCESS RAMP @ 1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
8	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
9	McDONALD'S DRIVE-THRU PULL FORWARD SIGN (RE: C10.4 STANDARD DETAILS)
10	McDONALD'S DELIVERY / COURIER SIGN (RE: C10.4 STANDARD DETAILS)
11	McDONALD'S MOBILE CURBSIDE SIGN (RE: C10.4 STANDARD DETAILS)
12	BOLLARD (RE: C10.1 STANDARD DETAILS)
13	5' GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
14	BIKE RACK (RE: C10.1 STANDARD DETAILS)
15	FLAG POLE
16	3' SCREENING WALL (RE: ARCHITECTURAL PLANS)
17	MOTORCYCLE SIGN PER CITY REQUIREMENTS (RE: C10.1 STANDARD DETAILS)
18	PAD MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
19	LANDSCAPE AREA (RE: L1.0 LANDSCAPE PLAN AND C1.1 GENERAL NOTES SHEET 'GRADING NOTES #7 AND #18')
20	8' TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS)
21	6" DRIVE-THRU STRIPING - COLOR : YELLOW
22	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
23	6" MERGE POINT - COLOR : YELLOW
24	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
25	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR : WHITE
26	MOBILE CURBSIDE PARKING ICON
27	4" DRIVE-THRU PULL FORWARD, DELIVERY/COURIER, AND MOBILE CURBSIDE STRIPING - COLOR : YELLOW
28	8" OOSP STRIPING - COLOR : YELLOW
29	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STD. (DEPICTED OFFSET 1' FOR CLARITY PURPOSES ONLY. MUST BE STRIPED ON CURB AND MIN. 24" WIDE)
30	EV CHARGING STATION (RE: CHARGEPOINT 80A DUAL PORT PEDESTAL MOUNT, 18' CABLE MIN.)
31	"DO NOT ENTER" SIGN - 30"x30" R5-1
32	"DO NOT ENTER" STRIPING - COLOR: WHITE (24" TALL LETTERING)



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Adrian Marez*

Date: 1-31-25

Project No. 520088901

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Ramirez 2/5/2025

Signed Date

APPROVED

City of Albuquerque Planning Department

BPC-2025-00384

Steven G. Herrera

May 14, 2025

TRAFFIC CERTIFICATION

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2.5.26

Date Description No.

Revisions

**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its use date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

1/30/25

**LANGAN**

Langan Engineering and Environmental Services, LLC.

2999 Olympus Blvd, Suite 165  
Dallas, TX 75019

T: 817.328.3200 www.langan.com

Project

**McDONALD'S NEW RESTAURANT**  
L/C #030-0274 / NSN 43752  
2000 GIBSON BLVD. SE  
ALBUQUERQUE

BERNALILLO COUNTY NEW MEXICO

Drawing Title

**TRAFFIC CIRCULATION LAYOUT**

Project No. 520088901 Drawing No. C4.1

Date JANUARY 2025

Drawn By MNK

Checked By HJM

Sheet 10 of 27

811 Know what's below. Call before you dig.