

# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 8, 2004

Claudio Antonio Vigil, R.A.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: Sunport Park Building Shell, Lot 3A2B Block 1 Sunport Park, Traffic  
Circulation Layout

Architect's Stamp dated 1-05-04 (M15/D23)

Dear Mr. Vigil,

Based upon the information provided in your submittal received 1-05-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Transportation. At certification, please verify that ADA compliant slopes were used for all ramps.

Prior to Certificate of Occupancy release, Architect Certification of this plan will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

11-15 / 11-23

PROJECT TITLE: Lot 342B Block 1 Sunport Park BUILDING SHELL ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 342B Block 1 Sunport Park  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW  
 CITY, STATE: Albuquerque, NM  
 CONTACT: Arthur Blessen  
 PHONE: 505.842.1113  
 ZIP CODE: 87104

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW  
 CITY, STATE: Albuquerque, NM  
 CONTACT: Arthur Blessen  
 PHONE: 505.842.1113  
 ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

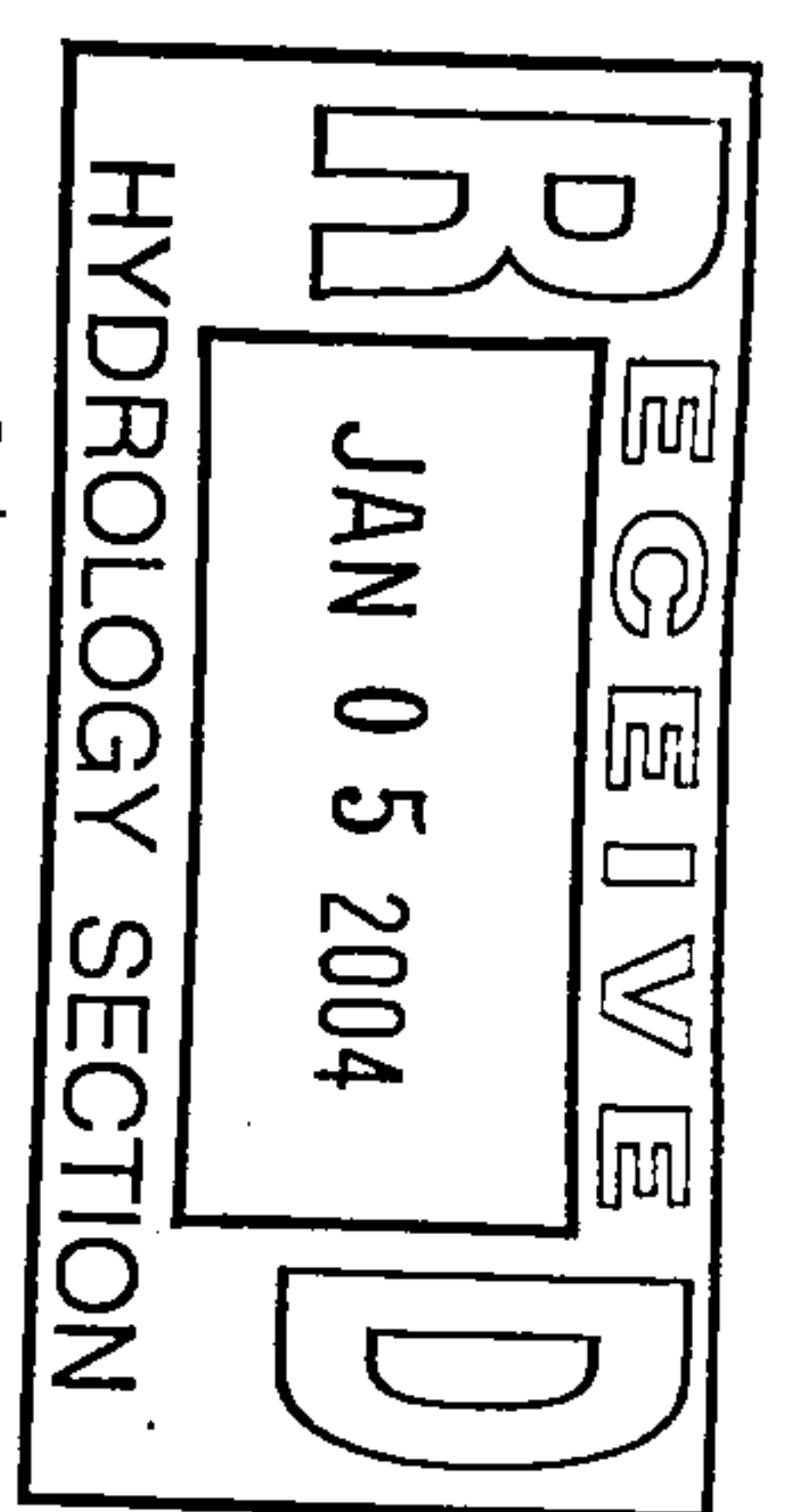
CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- |  |   |
|--|---|
| <input type="checkbox"/> DRAINAGE REPORT   | <input type="checkbox"/> SIA / FINANCIAL GUARANTEE RELEASE      |
| <input type="checkbox"/> DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL, <b>REQUIRES TCL or equal</b> | <input type="checkbox"/> PRELIMINARY PLAT APPROVAL              |
| <input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL   | <input type="checkbox"/> S. DEV. PLAN FOR SUBD. APPROVAL        |
| <input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN                                    | <input type="checkbox"/> S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| <input type="checkbox"/> GRADING PLAN  | <input type="checkbox"/> SECTOR PLAN APPROVAL                   |
| <input type="checkbox"/> EROSION CONTROL PLAN  | <input type="checkbox"/> FINAL PLAT APPROVAL                    |
| <input type="checkbox"/> ENGINEER'S CERTIFICATION (HYDROLOGY)                                  | <input type="checkbox"/> FOUNDATION PERMIT APPROVAL             |
| <input type="checkbox"/> CLOMR/LOMR  | <input type="checkbox"/> BUILDING PERMIT APPROVAL               |
| <input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL) <b>RE SUBMITTAL</b>       | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM.)       |
| <input type="checkbox"/> ENGINEERS CERTIFICATION (TCL)   | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP.)       |
| <input type="checkbox"/> ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)                         | <input type="checkbox"/> GRADING PERMIT APPROVAL                |
| <input type="checkbox"/> OTHER   | <input type="checkbox"/> PAVING PERMIT APPROVAL                 |
|  | <input type="checkbox"/> WORK ORDER APPROVAL                    |
|  | <input type="checkbox"/> OTHER (SPECIFY)                        |

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 12-5-04 BY: J. Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



11/13/2023

PERMANENT DRAINAGE AND WATERLINE EASEMENT

# 565181

Grant of Permanent Easement, between Brown Trout Investments, Ltd.  
("Grantor"), whose address is 2036 Washington St., Hanover, MA 02339  
and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address  
is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over,  
upon and across the real property\*described on Exhibit "A" attached hereto ("Property") for  
the construction, installation, maintenance, repair, modification, replacement and operation  
of a concrete drainage channel and water lines  
together with the right to remove trees, bushes, undergrowth and any other obstacles upon  
the Property if the City determines they interfere with the appropriate use of this Easement.  
\*designated as "Proposed 13' Wide Public Storm Drainage Easement"

Grantor covenants and warrants that Grantor is the owner in fee simple of the  
Property, that Grantor has a good lawful right to convey the Property of any part thereof and  
that Grantor will forever warrant and defend the title to the Property against all claims from  
all persons or entities.

The grant and other provisions of this Easement constitute covenants running with  
the land for the benefit of the City and its successors and assigns until terminated.

WITNESS my hand and seal this 11th day of March, 1998

GRANTOR:

N/A

(Individual)

GRANTOR: Brown Trout Investments, Ltd.

BY   
David R. Marcus

Its: Treasurer  
(Corporation or Partnership)

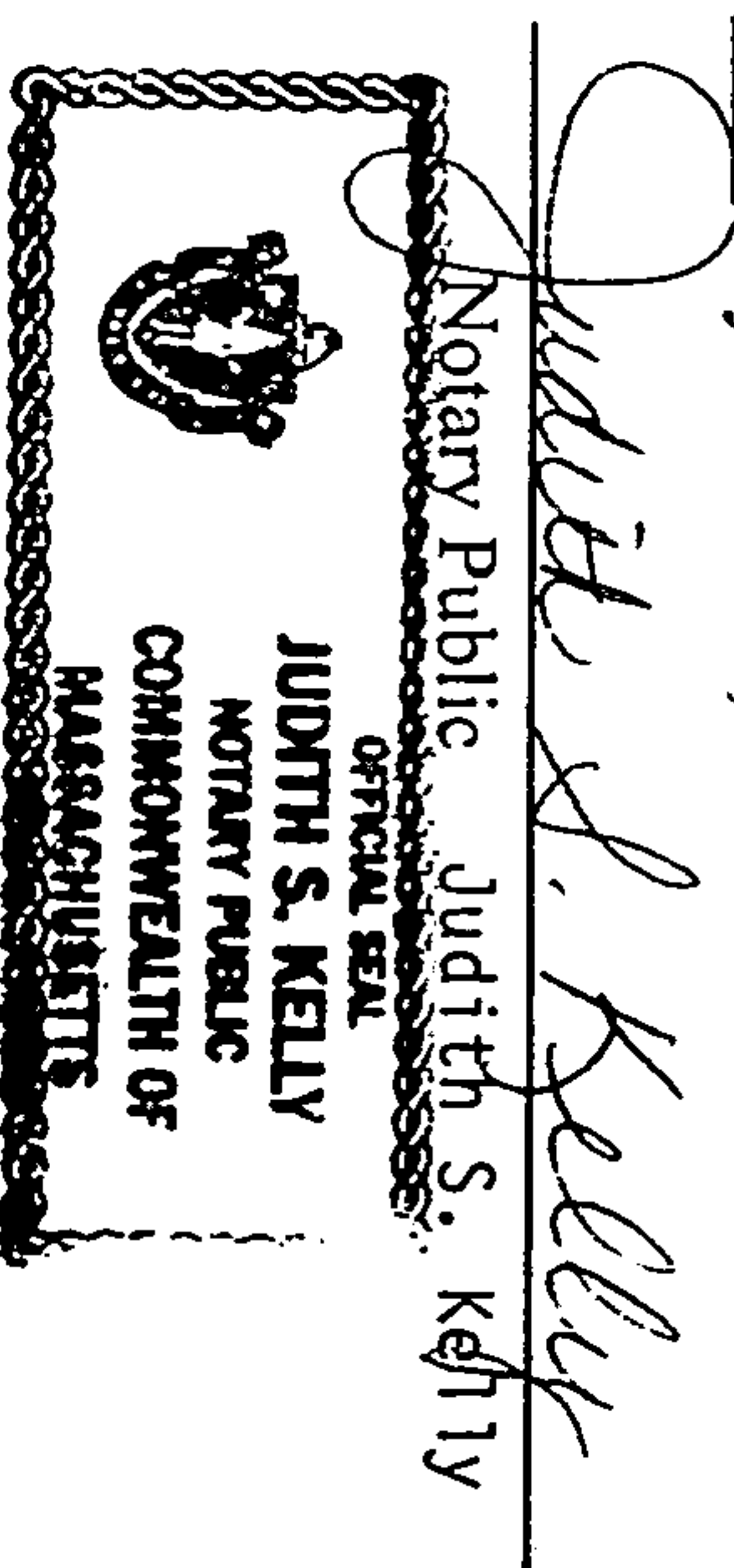
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Page: 1 of 5  
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R 15.00 BK-9888 Pg-5136

Judy D. Woodward Bern. Co. ERSE

COMMONWEALTH OF MASSACHUSETTS )  
COUNTY OF PLYMOUTH )

I, JUDITH S. KELLY, a notary public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that DAVID R. MARCUS, personally known to me as the TREASURER of Brown Trout Investments, Ltd., a Massachusetts corporation, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he, as such TREASURER, signed and delivered the said instrument as his free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal this 11th day of March, 1998.



My Commission Expires: October 7, 1999



## DESCRIPTION

A thirteen-foot wide strip of land situate within the west one-half (W ½) of Section 33, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said tract being the southerly thirteen-feet of Lot 3 of Block 4-B of SUNPORT PARK as the same is shown and designated on the plat recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 6, 1997 in Volume 97C, folio 73. Said strip of land being more particularly described by plat bearings and ground distances as follows:

BEGINNING at a point on the northerly right-of-way line of Sunport Boulevard, said point also being the southeasterly corner of said Lot 3; thence running along the said northerly right-of-way line, S65°15'12"W a distance of 228.38 feet to a point of curvature; thence, 175.40 feet along the arc of a curve to the right having a radius of 1556.34 feet and a chord bearing S68°28'55"W a distance of 175.31 feet to the southwesterly corner of said Lot 3; thence leaving said right-of-way line and running along the westerly boundary line of said Lot 3, N02°02'51"W a distance of 13.55 feet to the northwesterly corner of the tract herein described; thence running along the northerly boundary line of the tract herein described, 170.15 feet along the arc of a curve to the left having a radius of 1543.34 feet and a chord bearing N68°24'42"E a distance of 170.06 feet to a point of tangency; thence, N65°15'12"E a distance of 229.96 feet to a point on the easterly boundary line of said Lot 3; thence running along said easterly boundary line, S17°50'03"E a distance of 13.10 feet to the point and place of beginning.

This tract contains 0.1200 of an acre, more or less.

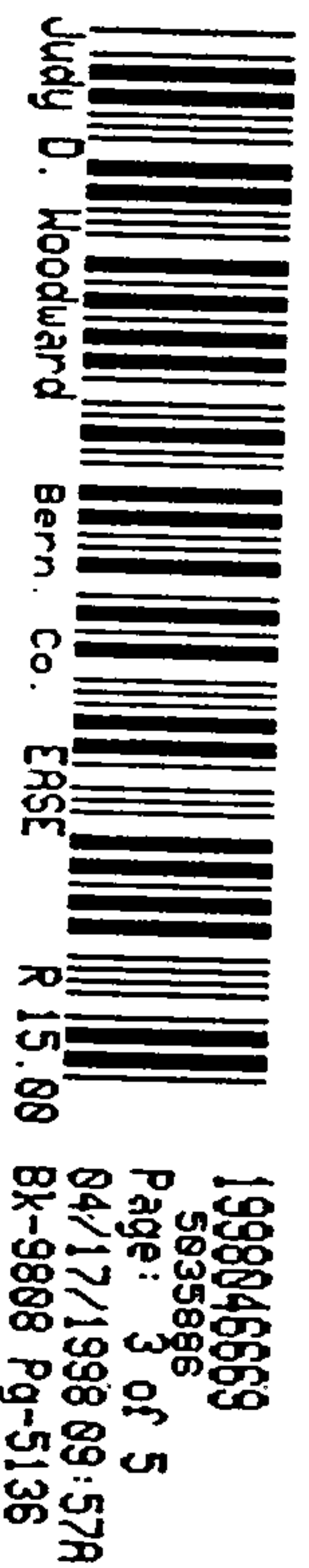
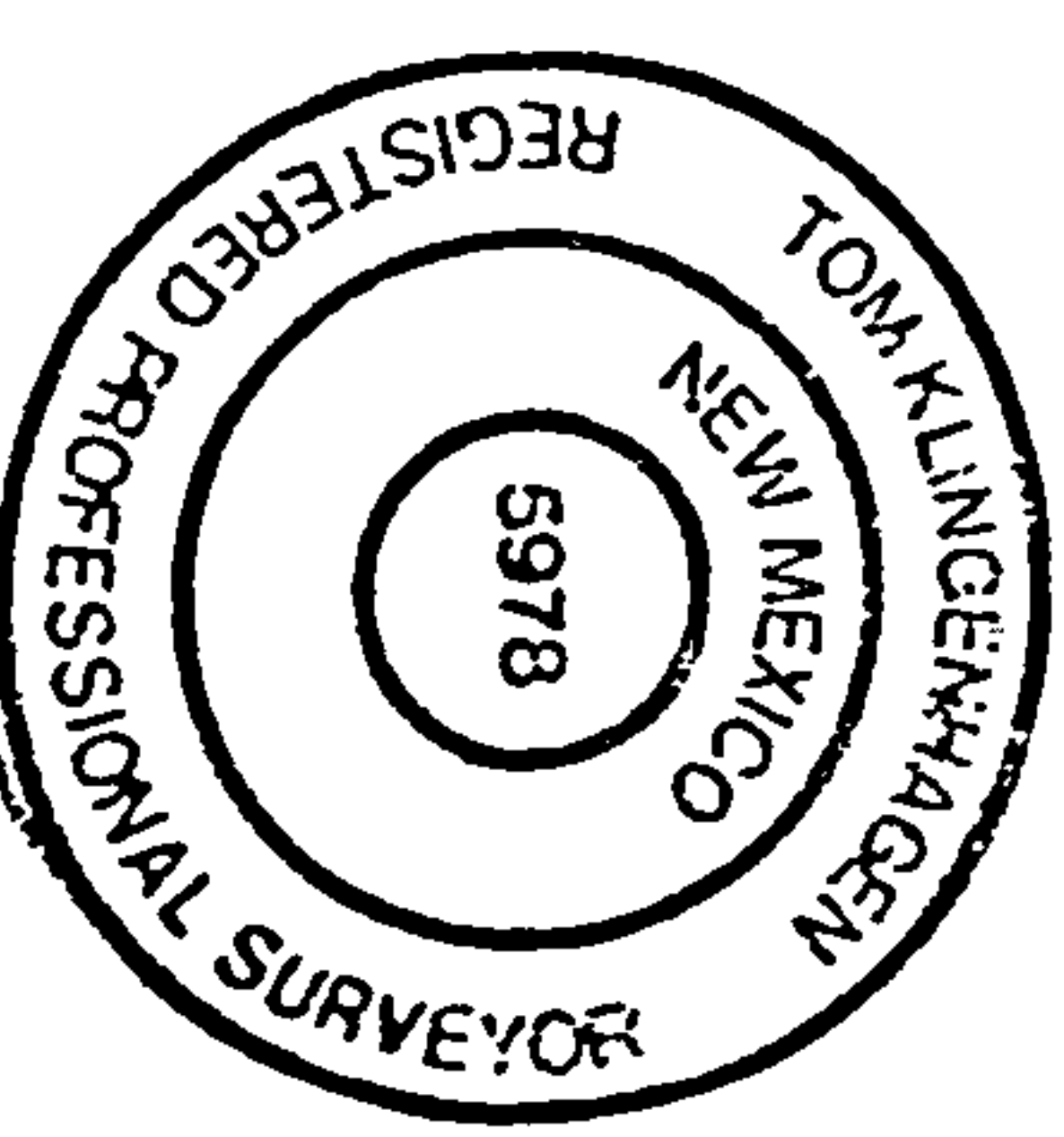
## SURVEYOR'S CERTIFICATION

I certify that I am a registered professional Land Surveyor and that this description was prepared by me and meets the Minimum Standards for Surveying in the State of New Mexico.

BOHANNAN HUSTON  
Courtyard I  
7500 Jefferson St. NE  
Albuquerque, New Mexico 87109  
(505) 823-1000

*Thomas G. Klingenhagen*  
Thomas G. Klingenhagen  
N.M.P.S. No. 5978

Date: 4-10-98





Judy D. Woodward  
Bern. Co. ERSE  
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Page: 4 of 5  
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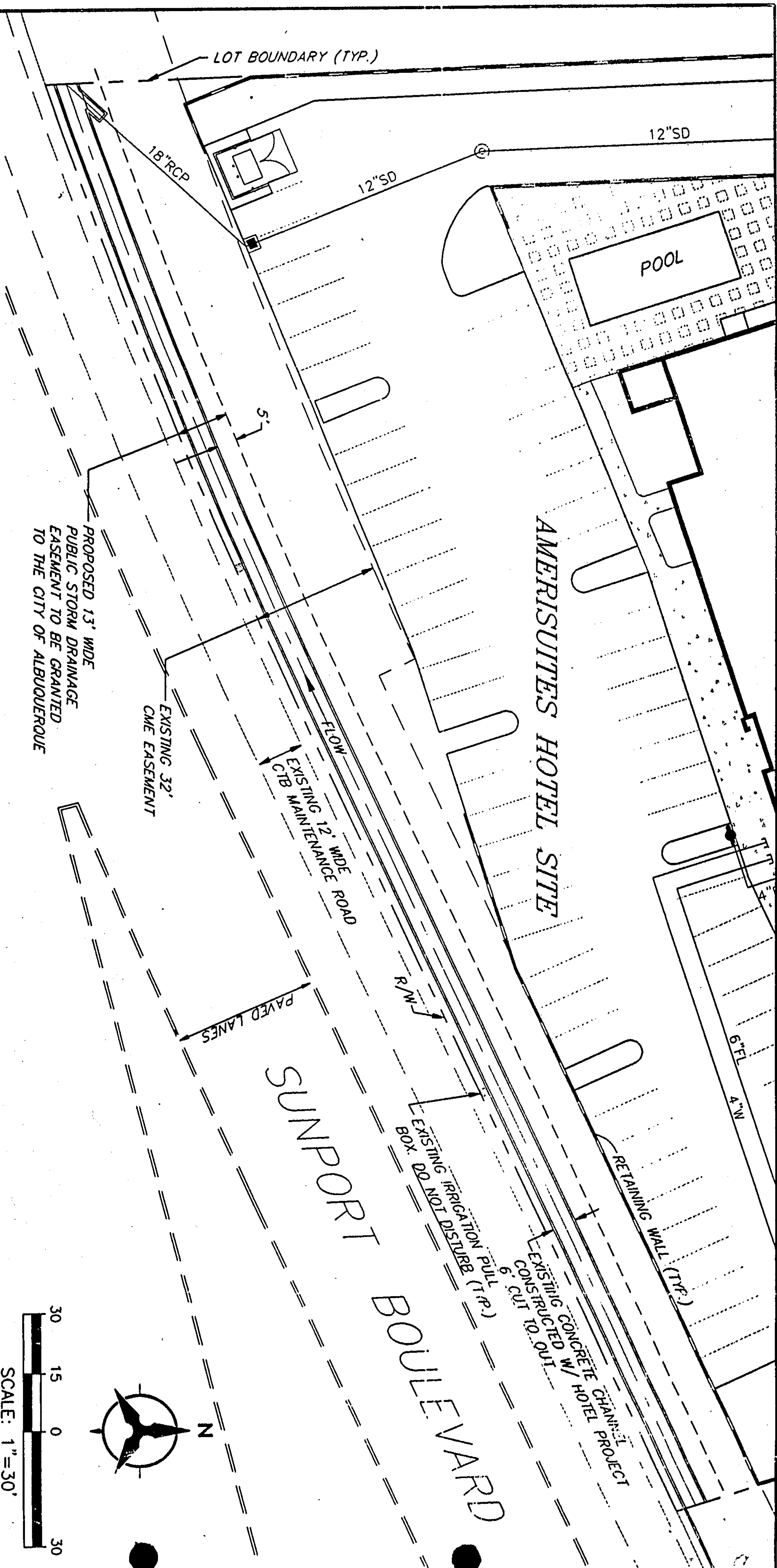
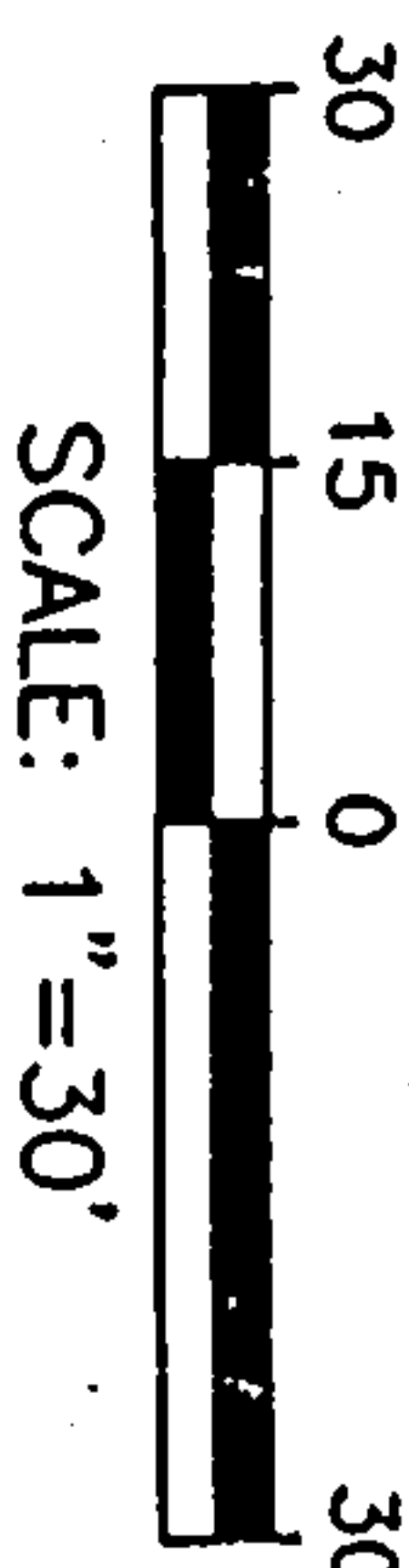
# EXHIBIT A



Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

**Bohannan & Huston**

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



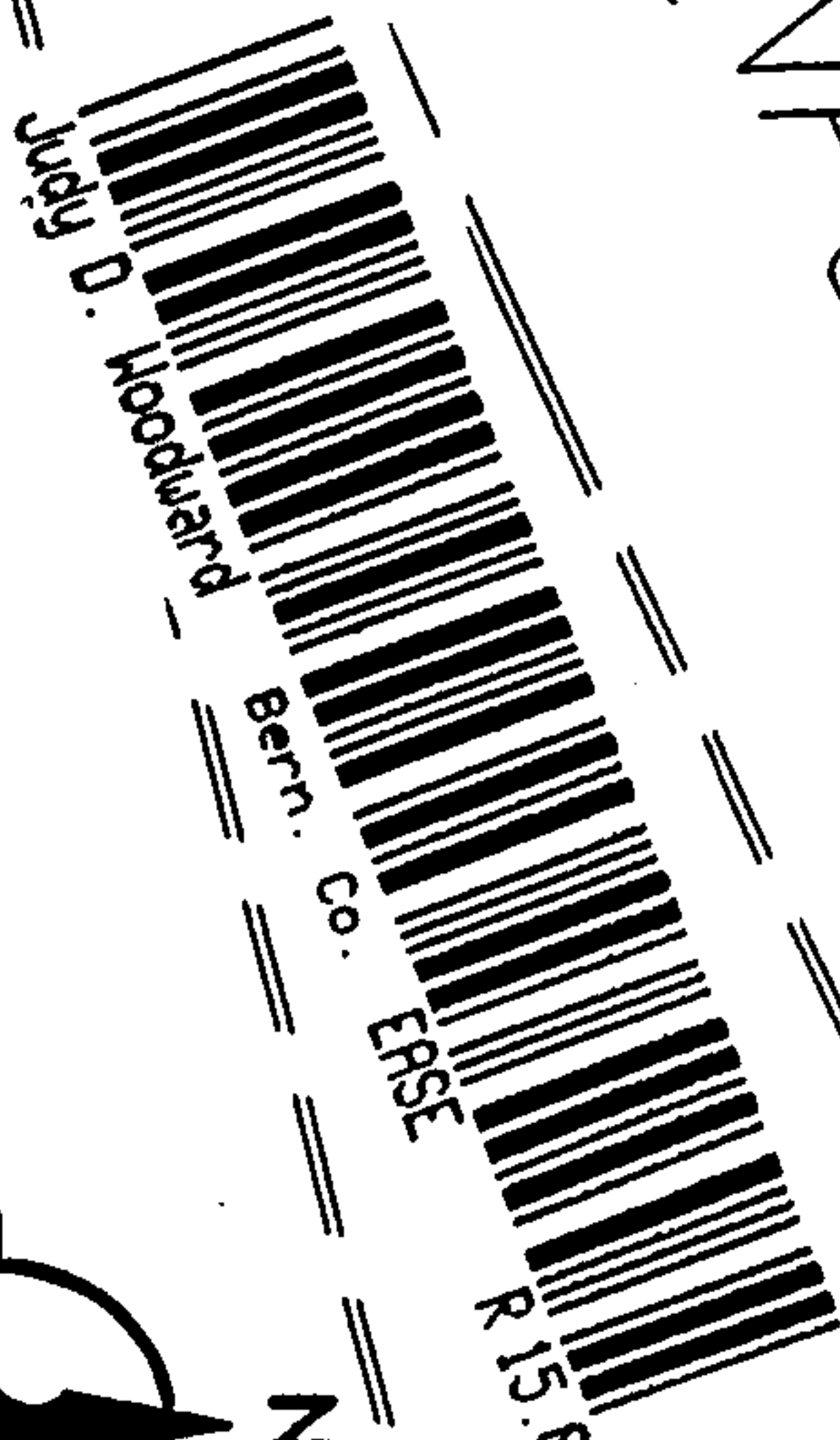
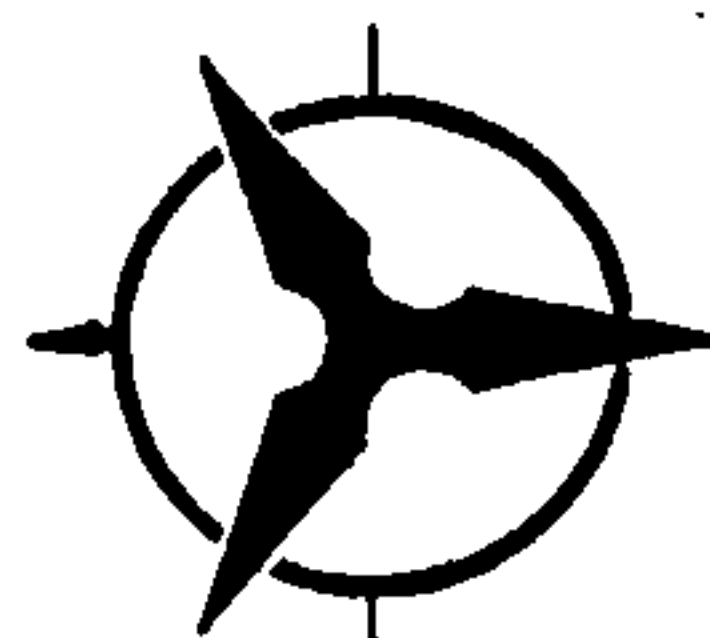
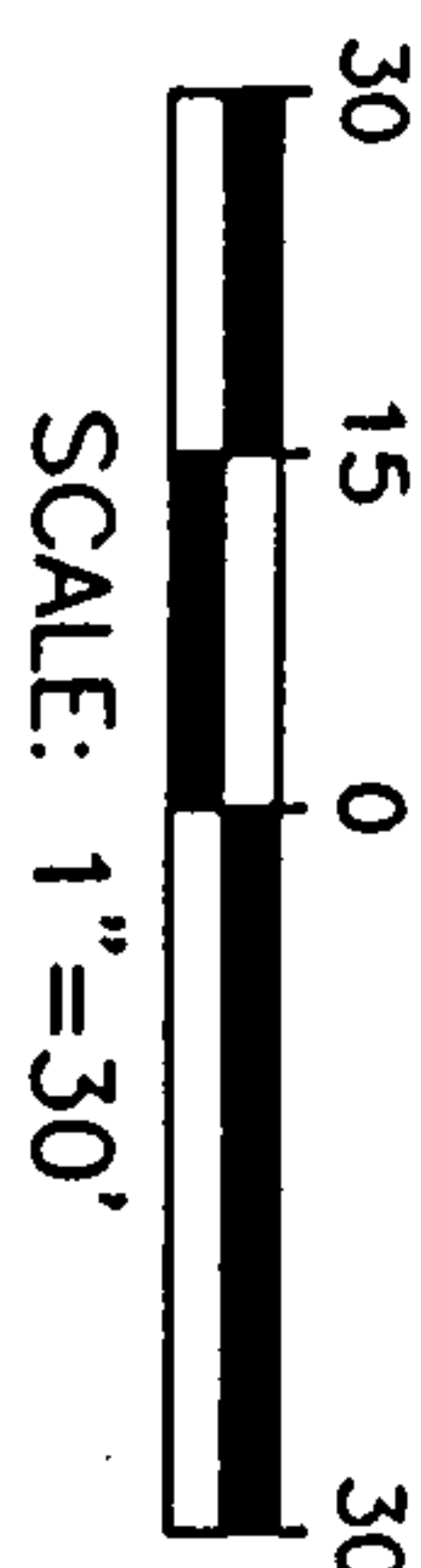




Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

Bohannan & Huston

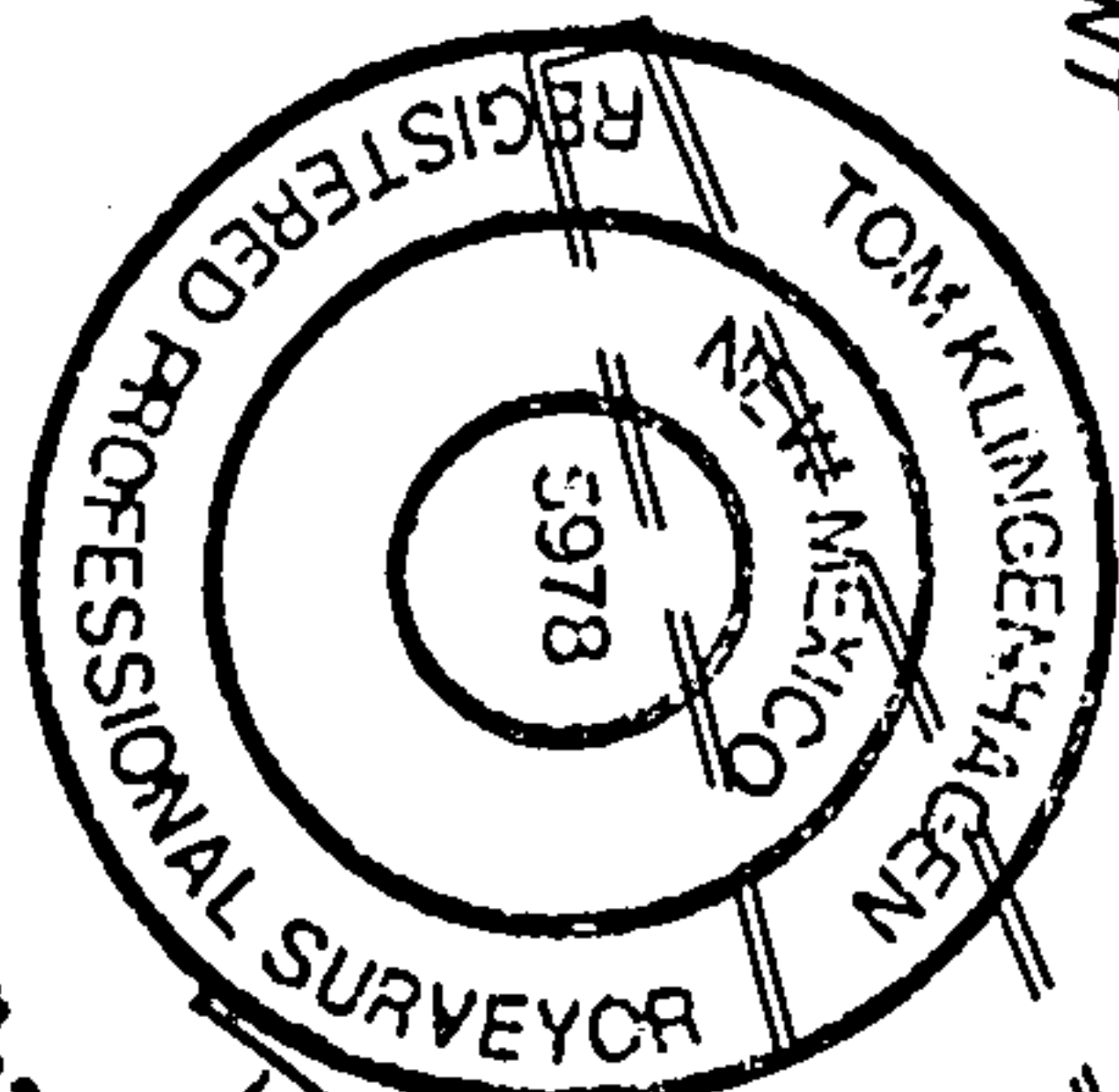
EXHIBIT "A"



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563586 of 5  
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# CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BRNG	DELTA
C1	1556.34'	175.40'	87.79'	175.31'	S68°28'55"W	06°27'26"
C2	1543.34'	170.15'	85.16'	170.06'	S68°24'42"E	06°19'00"



PROPOSED 13' WIDE  
PUBLIC STORM DRAINAGE  
AND WATERLINE EASEMENT  
TO BE GRANTED TO THE  
CITY OF ALBUQUERQUE

EXISTING 32'  
CME EASEMENT

0.1200 ac.

EXISTING 12' WIDE ROAD  
EXISTING 1" IRRIGATION  
WATERLINE

PAVED LANES

SUNPORT BOULEVARD

FILED MARCH 6, 1997

LOT 3  
BLOCK 4-B  
SUNPORT PARK  
(97C-73)

AMERISUITES HOTEL SITE

POOL

RETAINING WALL (TYP.)  
S 1750°03' E 13.10'

EXISTING CONCRETE HOTEL CHANNEL PROJECT  
CONSTRUCTED W/ 6' OUT TO OUT  
POINT OF BEGINNING

EXISTING IRRIGATION BOX (TYP.)  
S 65°15'12" E 229.96'

W 228.38'

12"SD

18"RCP

LOT BOUNDARY (TYP.)

N 02°02'51"W  
13.55'



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Sunport Park Building Shell ZONE MAP/DRG. FILE #: M-15/DO023  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW CONTACT: Arthur Blessen  
 CITY, STATE: Albuquerque, NM PHONE: 505.842.1113  
 ZIP CODE: 87104

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW CONTACT: Arthur Blessen  
 CITY, STATE: Albuquerque, NM PHONE: 505.842.1113  
 ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

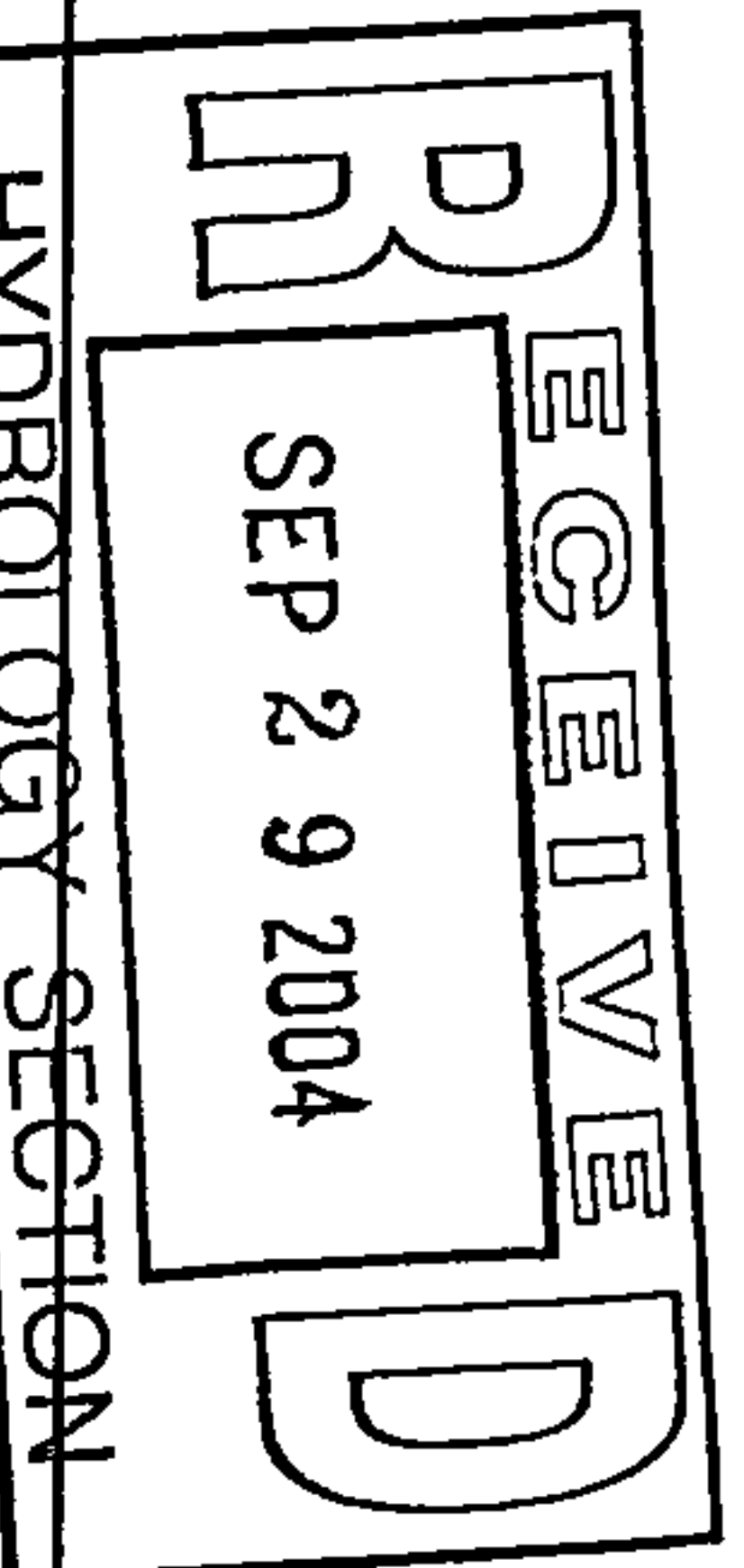
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEERS CERTIFICATION (HYDROLOGY)
- ☐ CLOM/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.) **RESUBMITTAL**
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) **RESUBMITTAL OF AS BUILT Plans.**

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_



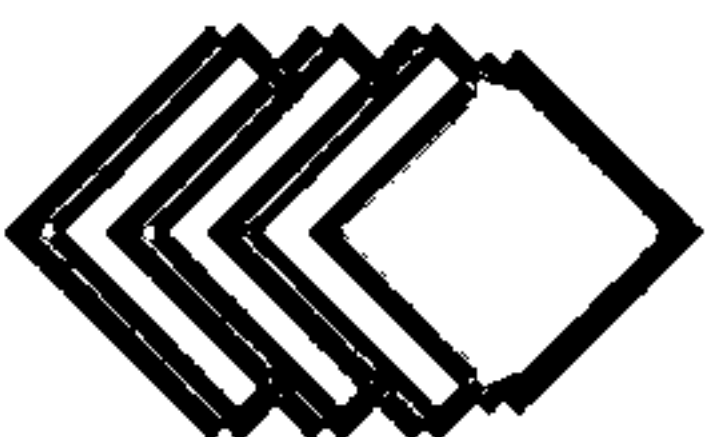
BY: Paul B. Breen

*Perm COC'd issued 9/24/04*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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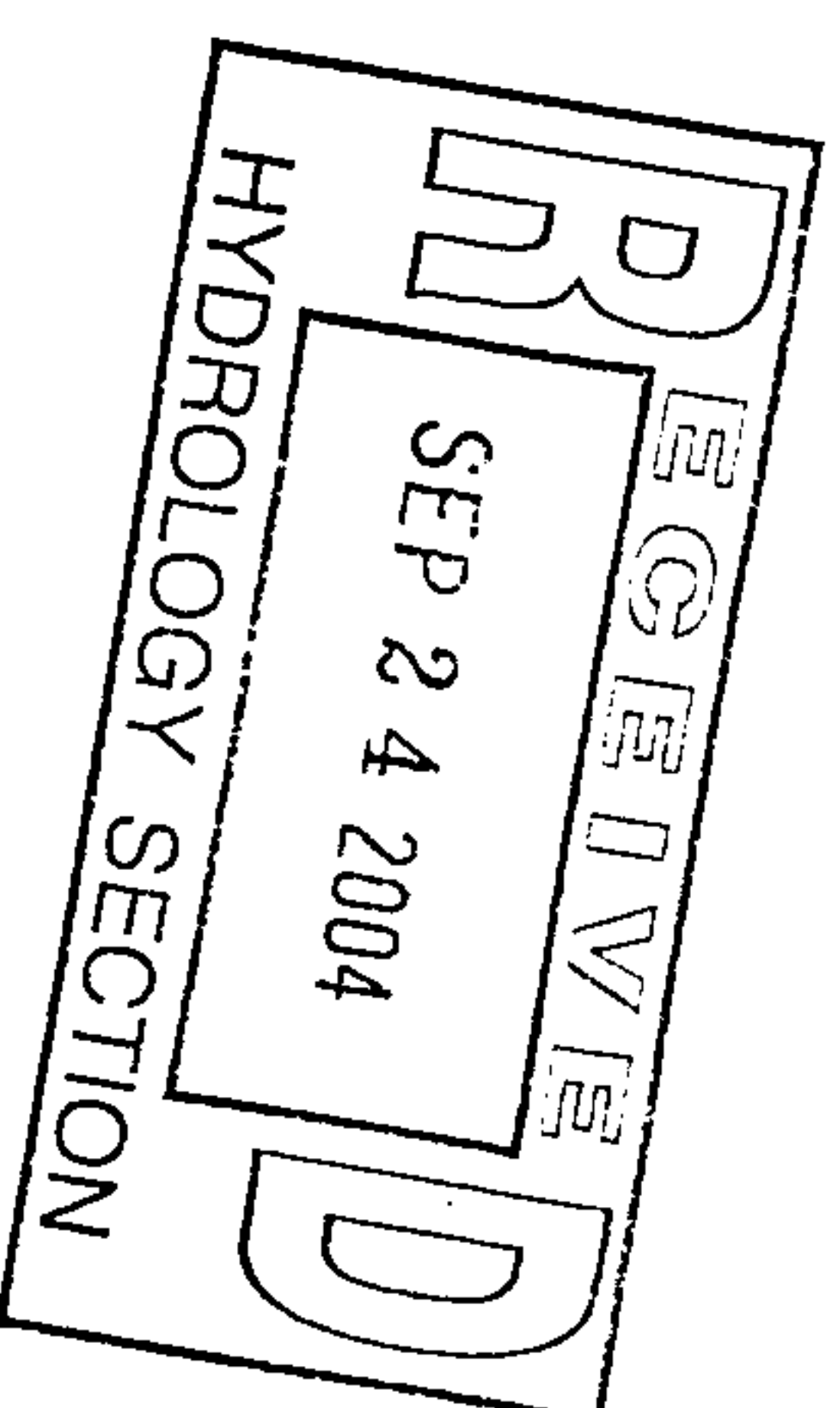
CLAUDIO VIGIL ARCHITECTS

July 21, 2004

Wilferd A Gallegos, PE  
600 2nd. St. N.W.  
Transportation Department  
Building and Inspection  
Albuquerque, New Mexico

RE: Traffic Certification DRB# 04-DRB-00551  
LOT 3A2B block 1 Sunport Park  
1381 Flightway Ave SE

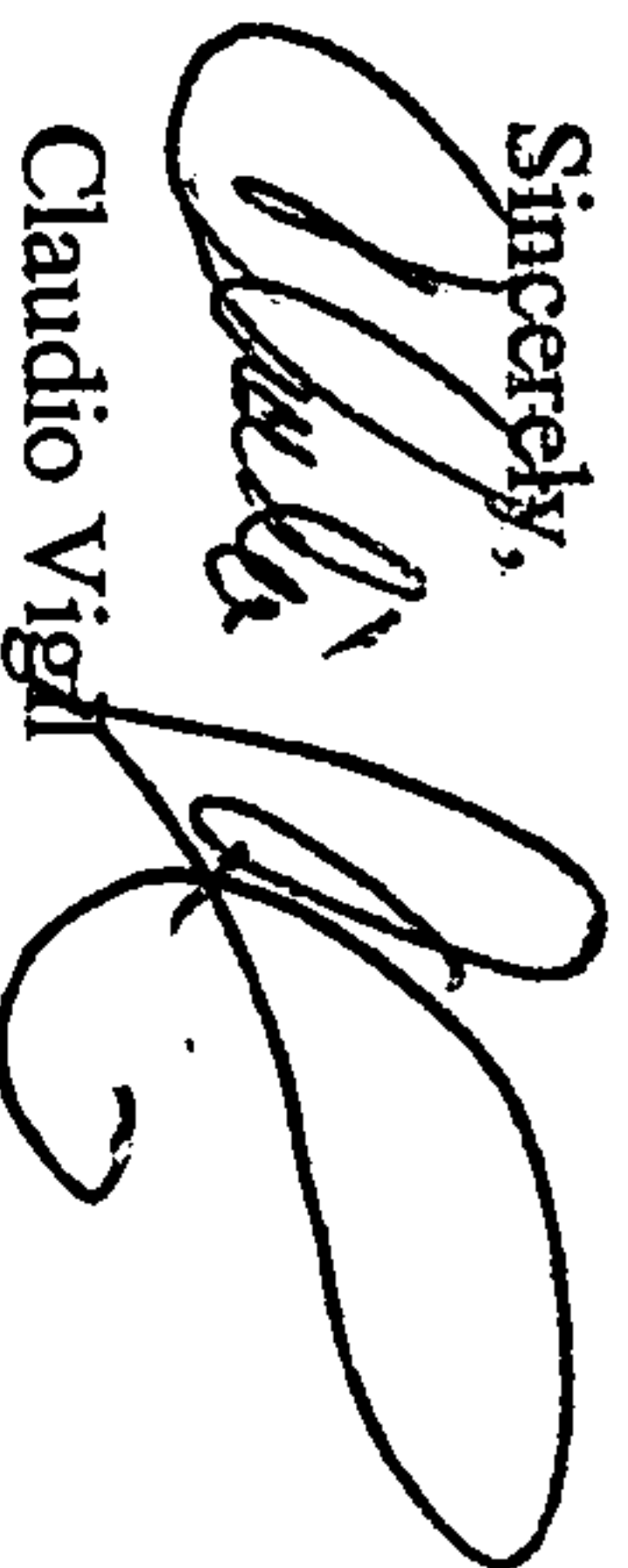
Dear Wilferd A Gallegos,



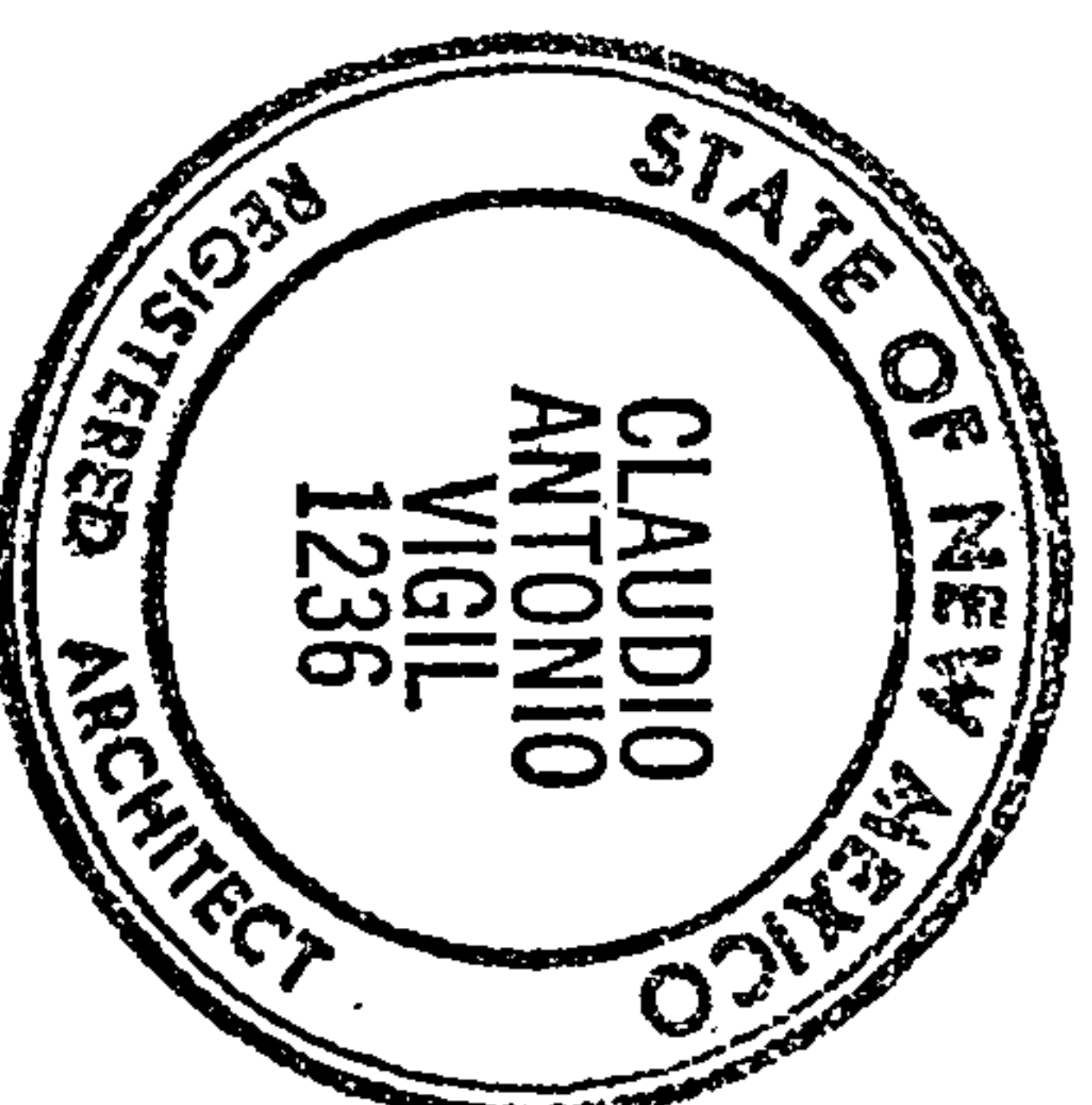
On July 20, 2004 this office made an inspection of the completed improvements to the LOT 3A2B block 1 Sunport Park, 1381 Flightway Ave SE. All work necessary to support the facility has been completed and is in substantial compliance with the approved Site Plan.

The work is complete and ready for occupancy.

Sincerely,



Claudio Vigil  
President



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Lot 3A2B Block 1 'Sunport Park Bldg Shell' ZONE MAP/DRG. FILE #: M-15/D-23  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park  
CITY ADDRESS: 1381 Fifthway Ave SE

ENGINEERING FIRM: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen  
PHONE: 505.842.1113  
ZIP CODE: 87104

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd NW  
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen  
PHONE: 505.842.1113  
ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
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CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

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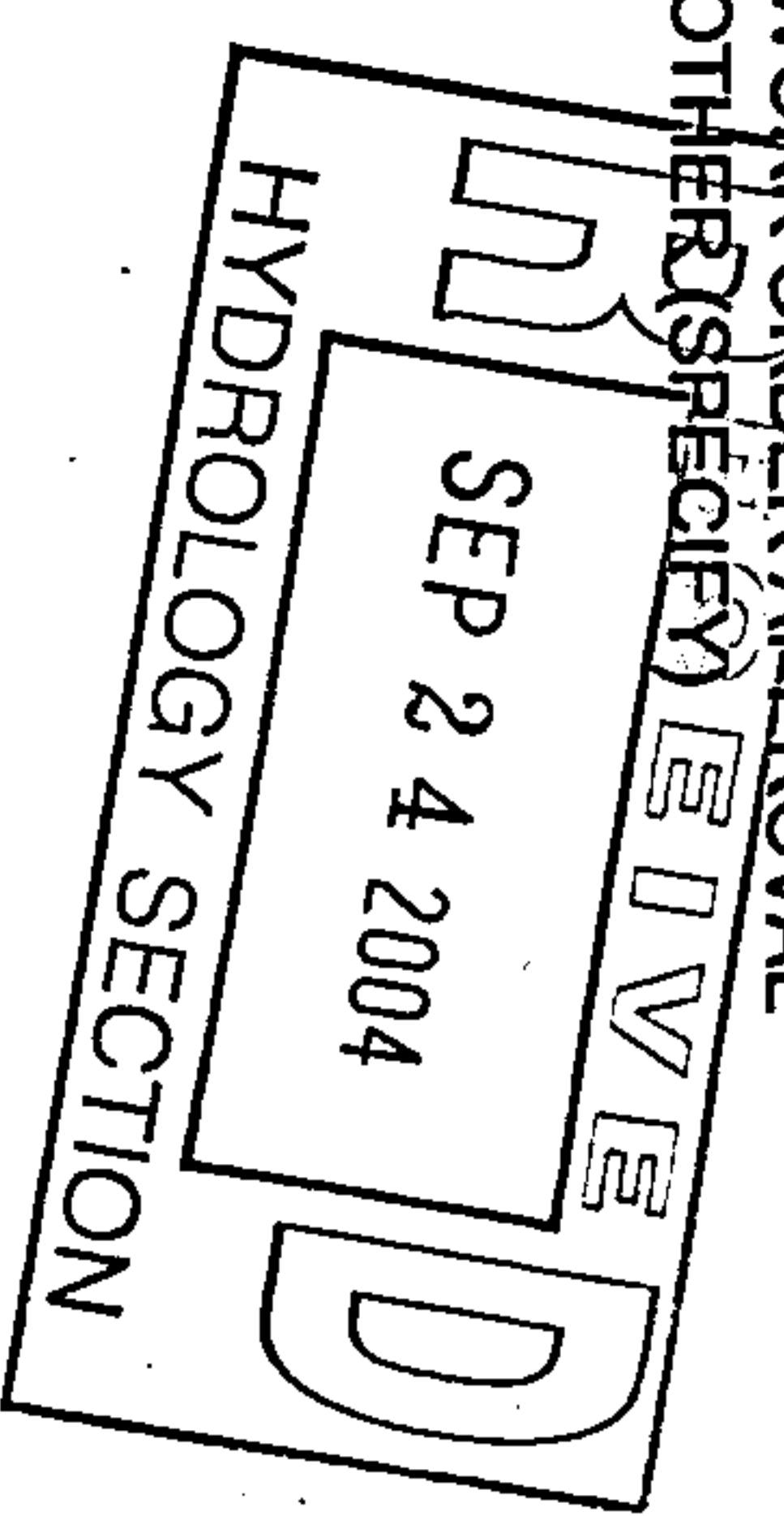
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT  
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☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

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☐ S. DEV. PLAN FOR SUBD. APPROVAL  
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☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER-APPROVAL  
☐ OTHER(SPECIFY) ENGINEER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 9-24-04 BY: Arthur Blessen

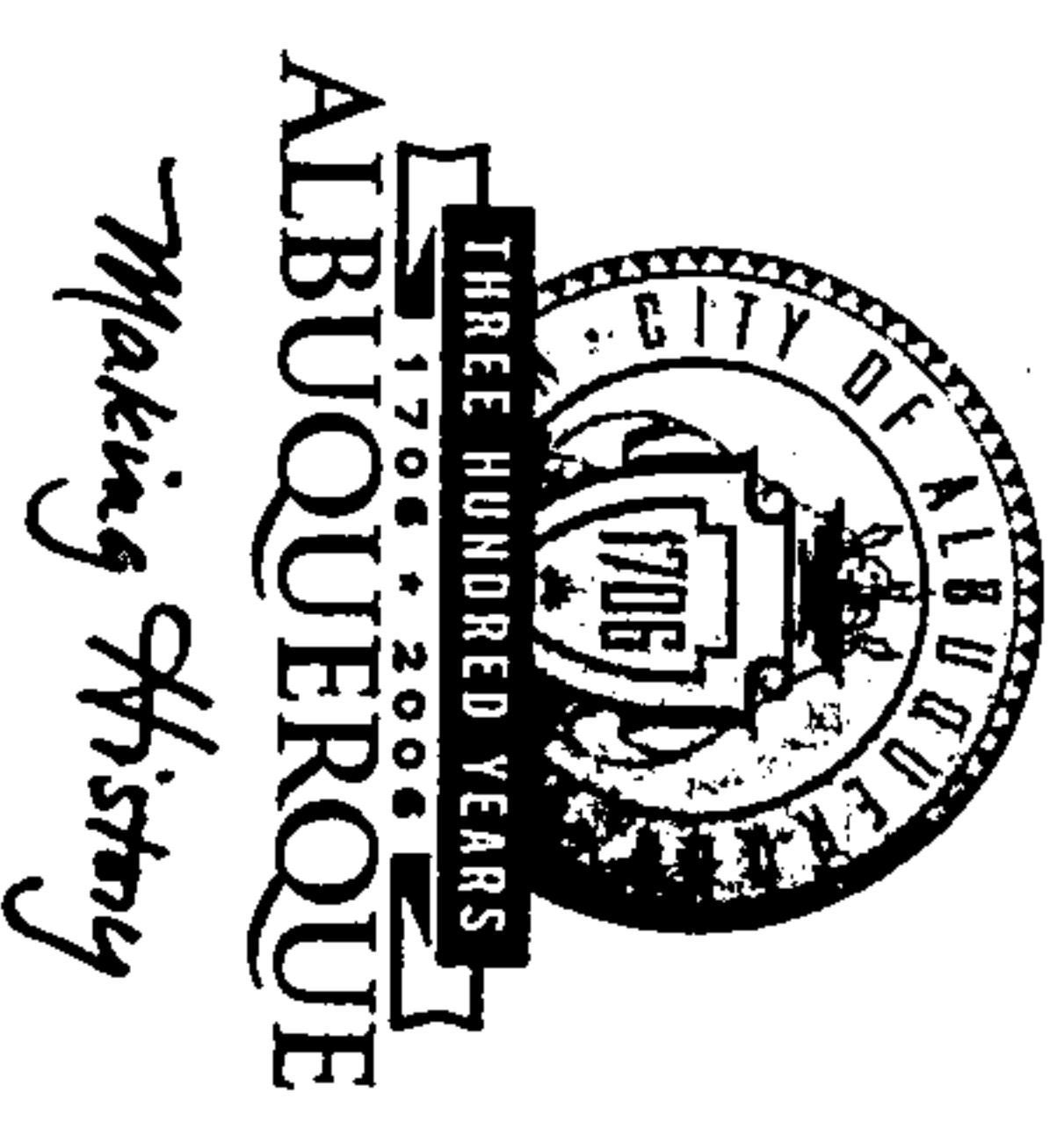
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# CITY OF ALBUQUERQUE

*Planning Department*  
*Transportation Development Services Section*



September 24, 2004

Claudio Antonio Vigil, Registered Architect  
1801 Rio Grande Blvd., NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Sun Port Bldg Shell, [M-15 / D23]  
1381 Flightway Ave SE  
Architect's Stamp Dated 07/21/04

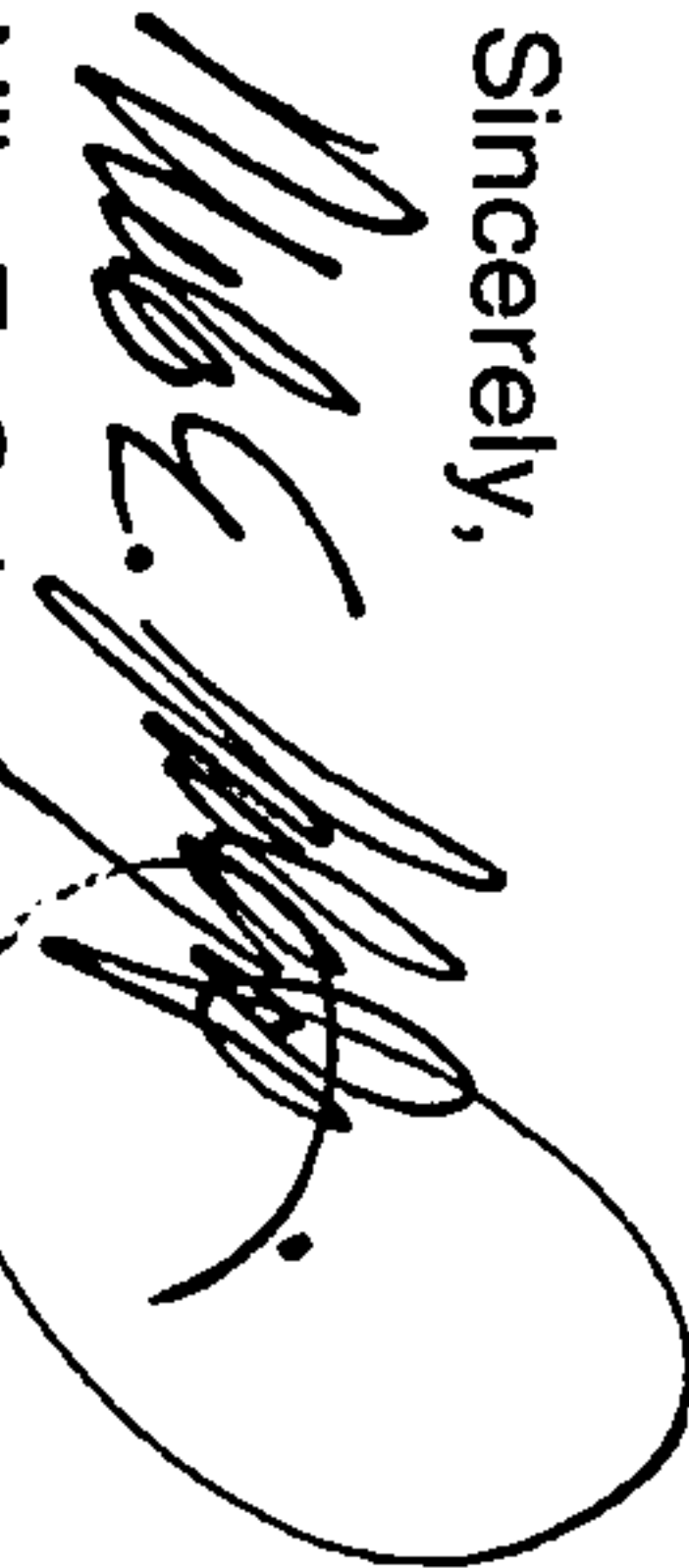
Dear Mr. Rohde:

P.O. Box 1293  
Albuquerque


The TCL / Letter of Certification submitted on September 24, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

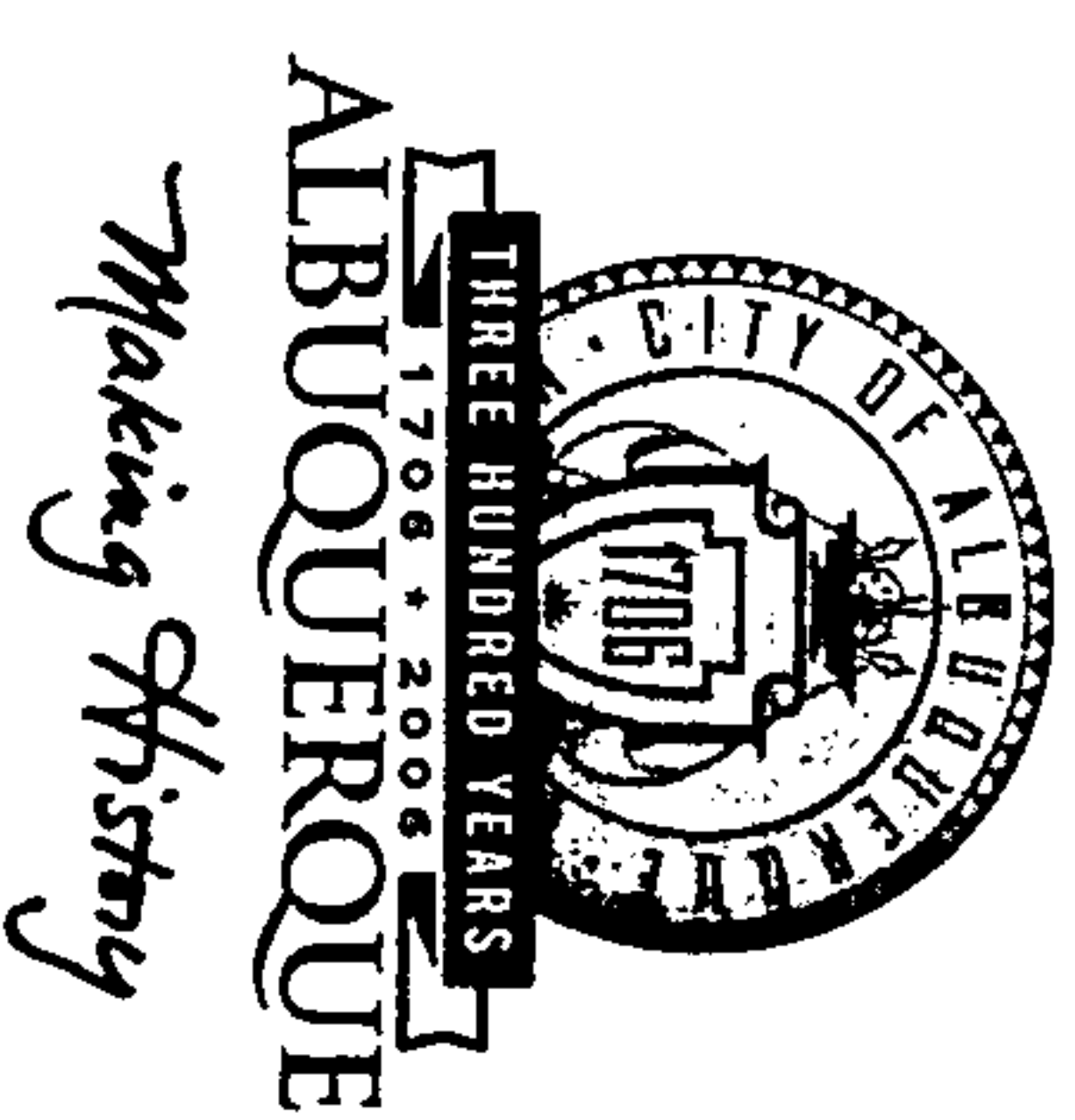
New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
  
CO Clerk

# CITY OF ALBUQUERQUE



September 24, 2004

Mr. Arthur Blessen, P.E.  
**CLAUDIO VIGIL ARCHITECTS**  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87114

**Re: SUNPORT PARK BUILDING SHELL**  
**1381 Flightway Avenue SE**  
**Approval of Temporary Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 08/26/2004 (M-15/D023)**  
**Certification dated 09/24/2004**

Dear Mr. Blessen,

P.O. Box 1293

Albuquerque

Based upon the information provided in your submittal received 09/24/2004, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Upon acceptance of the required SO-19 and any other punch list items, please resubmit an updated certification.

New Mexico 87103

If you have any questions, you can contact me at 924-3982

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

C: Phyllis Villanueva ✓  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-15/1D023

PROJECT TITLE: Lot 3A2B Block 1 Sunport Park - Bolling Shell " " ZONE MAP/DRG. FILE #: M-15/1D023  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park  
 CITY ADDRESS: 1381 Flightway Ave SE

ENGINEERING FIRM: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW  
 CITY, STATE: Albuquerque, NM  
 CONTACT: Arthur Blessen  
 PHONE: 505.842.1113  
 ZIP CODE: 87104

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects  
 ADDRESS: 1801 Rio Grande Blvd NW  
 CITY, STATE: Albuquerque, NM  
 CONTACT: Arthur Blessen  
 PHONE: 505.842.1113  
 ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_  
 CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- |  |   |
|--|---|
| <input type="checkbox"/> DRAINAGE REPORT   | <input type="checkbox"/> SIA / FINANCIAL GUARANTEE RELEASE      |
| <input type="checkbox"/> DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL, <b>REQUIRES TCL or equal</b> | <input type="checkbox"/> PRELIMINARY PLAT APPROVAL              |
| <input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL   | <input type="checkbox"/> S. DEV. PLAN FOR SUBD. APPROVAL        |
| <input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN                                    | <input type="checkbox"/> S. DEV. PLAN FOR BLDG. PERMIT APPROVAL |
| <input type="checkbox"/> GRADING PLAN  | <input type="checkbox"/> SECTOR PLAN APPROVAL                   |
| <input type="checkbox"/> EROSION CONTROL PLAN  | <input type="checkbox"/> FINAL PLAT APPROVAL                    |
| <input checked="" type="checkbox"/> ENGINEERS CERTIFICATION (HYDROLOGY)                        | <input type="checkbox"/> FOUNDATION PERMIT APPROVAL             |
| <input type="checkbox"/> CLOMRLOMR   | <input type="checkbox"/> BUILDING PERMIT APPROVAL               |
| <input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)                                      | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM.)       |
| <input type="checkbox"/> ENGINEERS CERTIFICATION (TCL)   | <input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP.)       |
| <input type="checkbox"/> ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)                         | <input type="checkbox"/> GRADING PERMIT APPROVAL                |
| <input type="checkbox"/> OTHER   | <input type="checkbox"/> PAVING PERMIT APPROVAL                 |
|  | <input type="checkbox"/> WORK ORDER APPROVAL                    |
|  | <input type="checkbox"/> OTHER (SPECIFY)                        |

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ YES ☐ NO ☐ COPY PROVIDED

**RECEIVED**

SEP 24 2004

HYDROLOGY SECTION

DATE SUBMITTED: 9.24.04 BY: J. Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

**J Arthur Blessen**

Architect / Engineer  
Claudio Vigil Architects  
1801 Rio Grand Boulevard Suite 2  
Albuquerque, New Mexico 87104  
(505) 842-1113

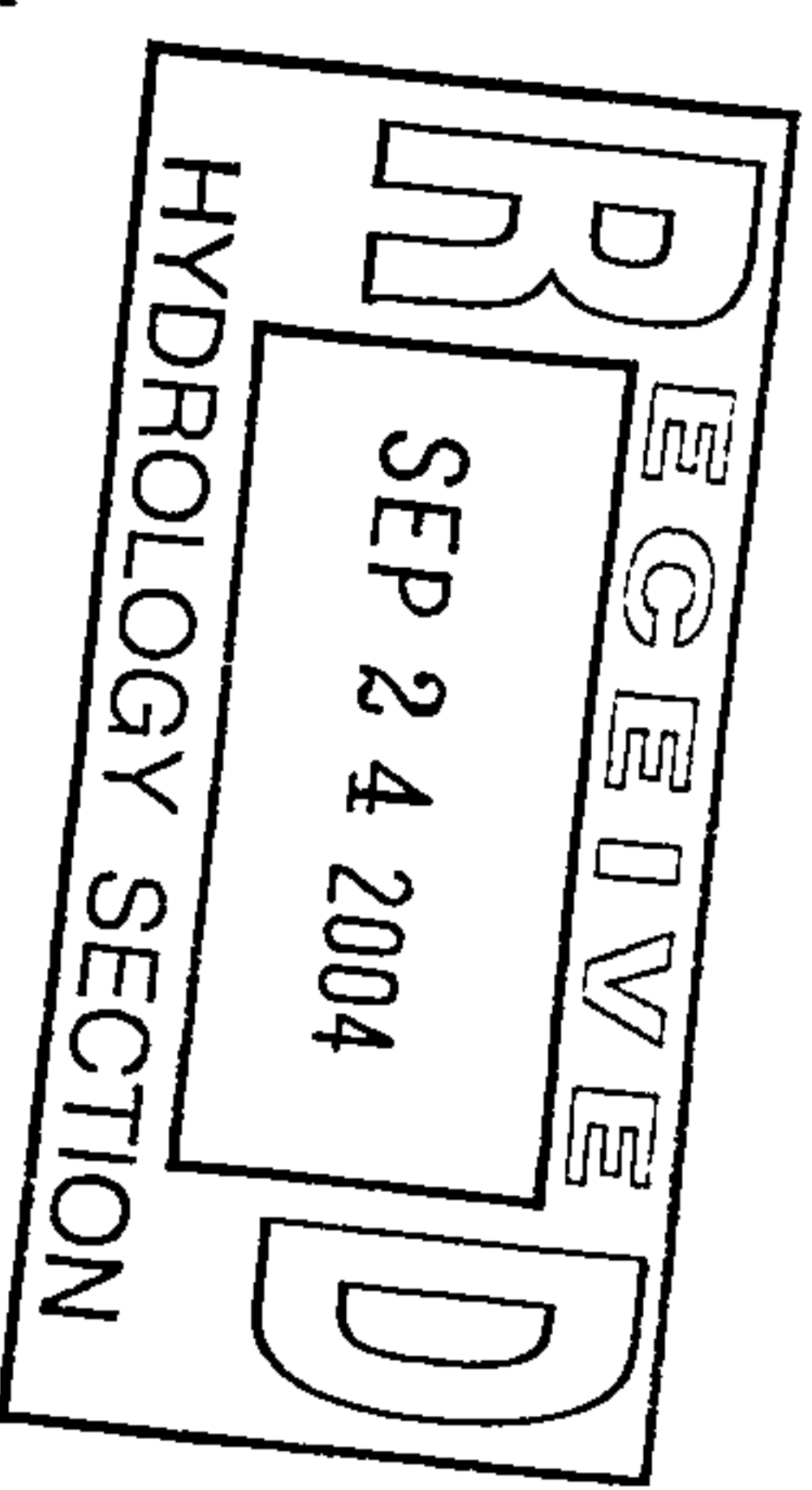


September 24, 2004

City of Albuquerque Planning Department  
PO Box 1293  
Albuquerque, New Mexico 87103

Attn: Bradley L Bingham, PE

re: Sunport Park Building Shell, Lot 3A2B Block 1 Sunport Park  
Grading and Drainage Plan (M15/D23)



Dear Mr Bingham,

On September 23, 2004 this office made an inspection of the completed improvements to the Sunport Park Building Shell, Lot 3A2B Block 1 Sunport Park.

I John Arthur Blessen, NMPE 13481, of the firm Claudio Vigil Architects, hereby certify this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 2/11/04. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The following revisions to the approved grading plan where made:

A stepped retaining wall was constructed along the East property line and an earthen swale was cut along the north property line to divert the existing offsite flows form the lands to north around the site under development. This path is consistent with the existing path of the runoff prior to construction.

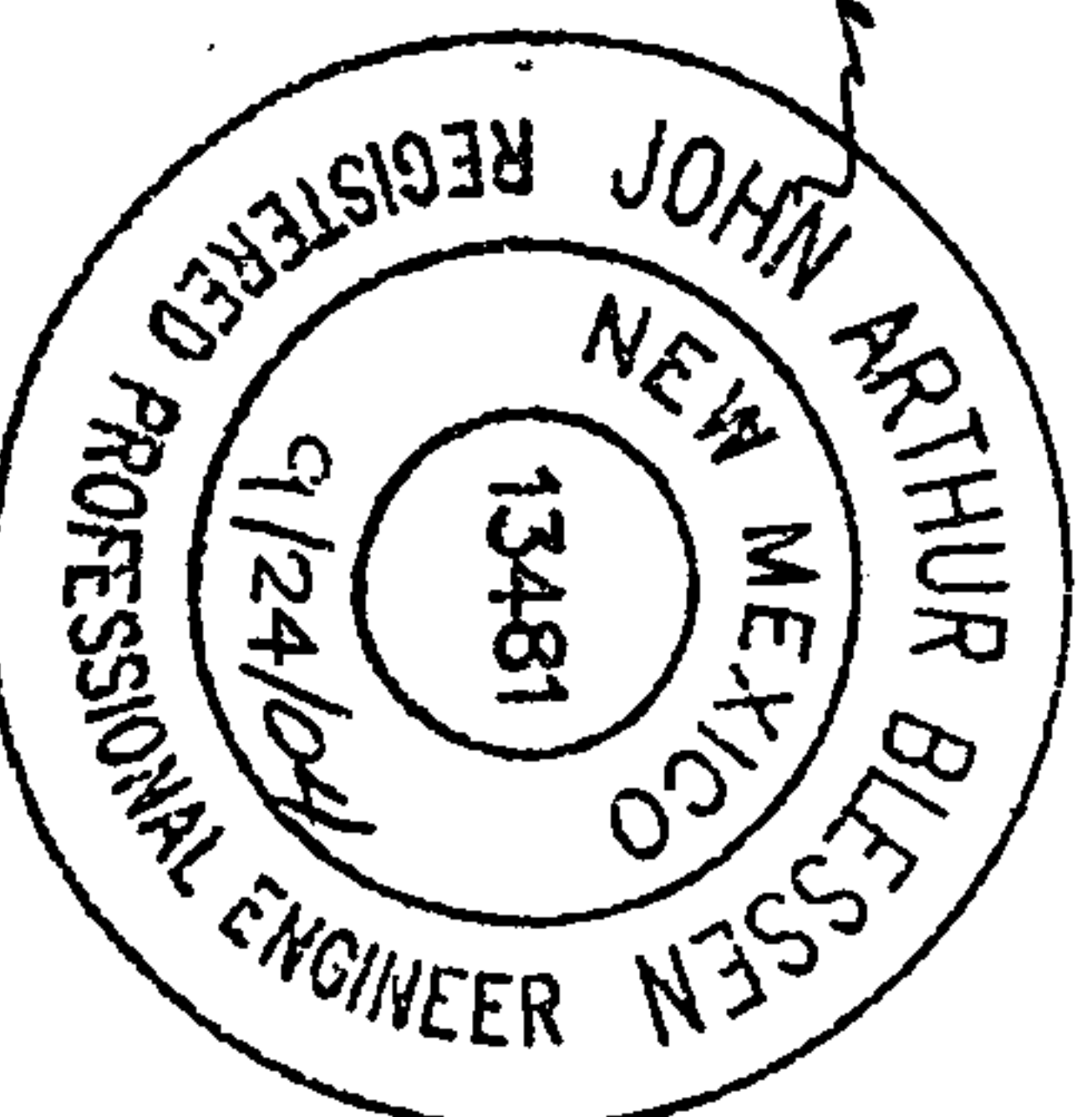
At the time of my inspection the retaining wall along the east property line was not complete.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification for its accuracy before using it for any other purpose.

Should you have any questions or require additional information, please call.

Sincerely,

*John Arthur Blessen*  
J Arthur Blessen, PE





# CITY OF ALBUQUERQUE



November 17, 2004

Mr. Arthur Blessen, P.E.  
**CLAUDIO VIGIL ARCHITECTS**  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87114

**Re: SUNPORT PARK BUILDING SHELL**  
**1381 Flightway Avenue SE**  
**Approval of Temporary Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 08/26/2004 (M-15/DD023)**  
**Certification dated 11/17/2004**

Dear Art,

P.O. Box 1293

Albuquerque

Based upon the information provided in your submittal received 11/17/04, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Sunport Park Building SHELL ZONE MAP/DRG. FILE #: M15/D023  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park  
CITY ADDRESS: 1381 Flighway Ave SE

ENGINEERING FIRM: Claudio Vigil Architects CONTACT: Arthur Blessen  
ADDRESS: 1801 Rio Grande Blvd NW PHONE: 505.842.1113  
CITY, STATE: Albuquerque, NM ZIP CODE: 87104

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects CONTACT: Arthur Blessen  
ADDRESS: 1801 Rio Grande Blvd NW PHONE: 505.842.1113  
CITY, STATE: Albuquerque, NM ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEERS CERTIFICATION (HYDROLOGY)  
☐ CLOMRL/OMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUBD. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

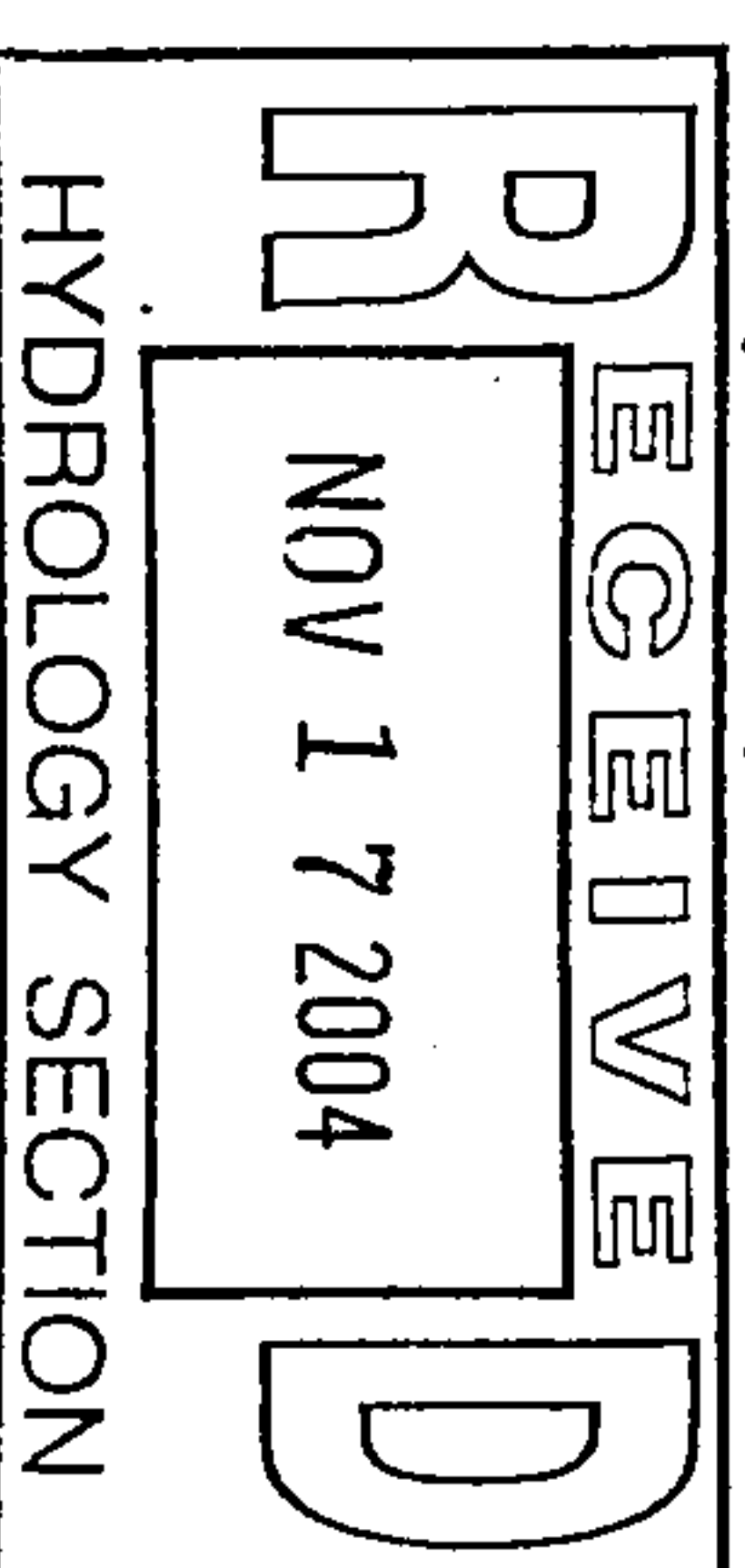
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11-17-04 BY: J. Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





M-15/023

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

SUNPORT PARK BUILDING SHELL

PROJECT TITLE: Lot 3A2B Block 1 Sunport Park Building Shell ZONE MAP/DRG. FILE #: M15

DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Claudio Vigil ArchitectsADDRESS: 1801 Rio Grande Blvd NWCITY, STATE: Albuquerque, NMCONTACT: Arthur BlessenPHONE: 505.842.1113ZIP CODE: 87104OWNER: JAYNES CorpADDRESS: 2906 Broadway Bldg.CITY, STATE: ALBUQUERQUE NM

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil ArchitectsADDRESS: 1801 Rio Grande Blvd NWCITY, STATE: Albuquerque, NMCONTACT: Arthur BlessenPHONE: 505.842.1113ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

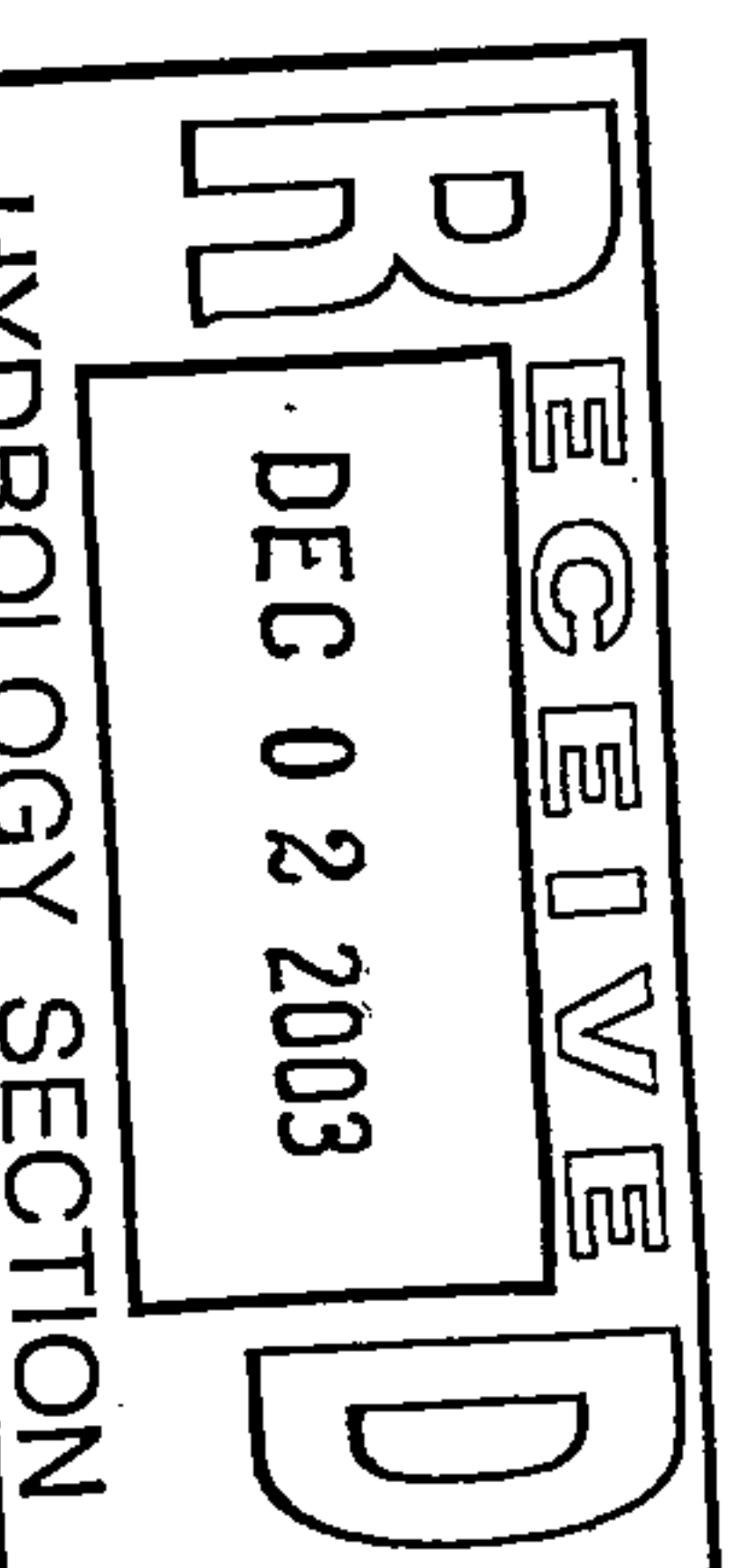
CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL REQUIRES TCL or equal  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEERS CERTIFICATION (HYDROLOGY)  
☐ GLOMRLOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUBD. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

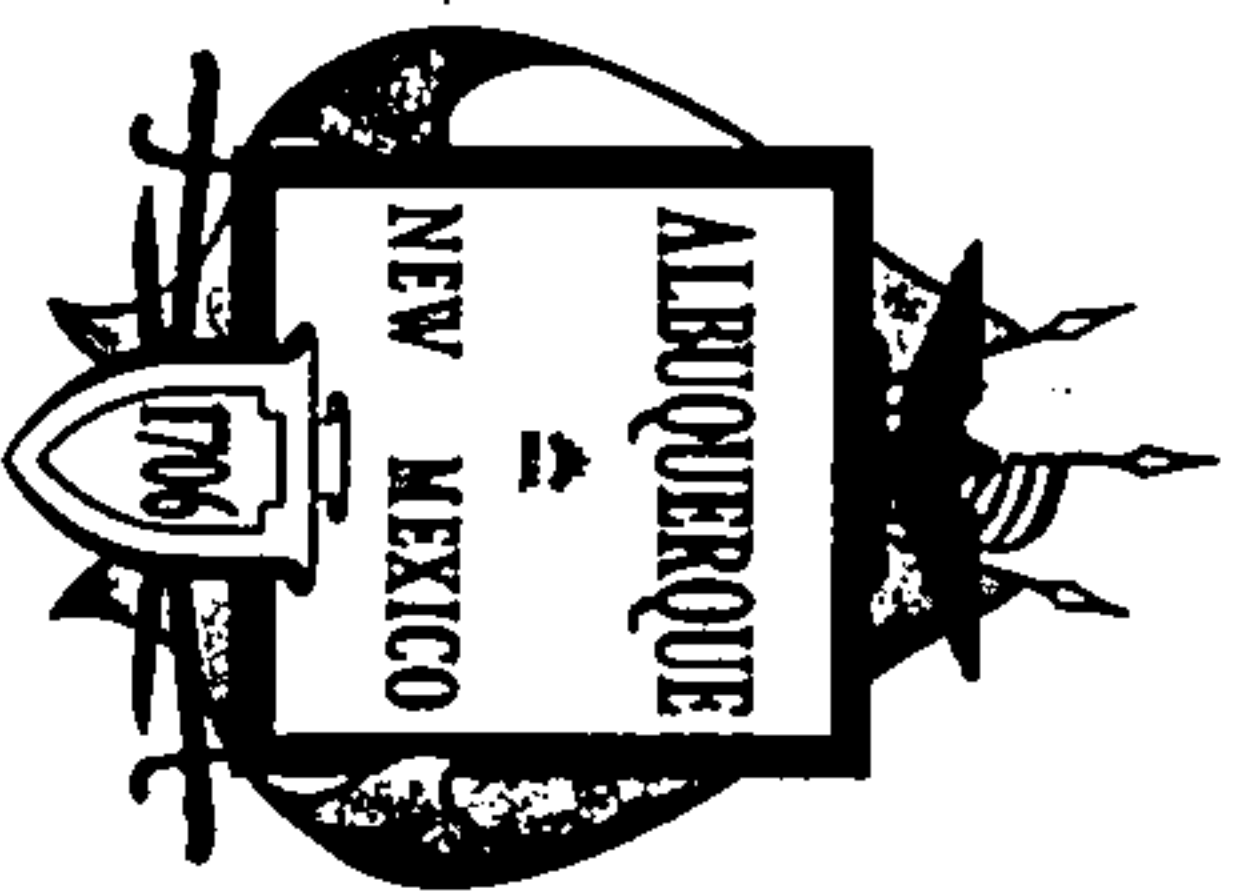
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 12-2-03BY: J. Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 2, 2004

John Arthur Blessen, P.E.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: **Sunport Park Building Shell, Lot 3A2B Block 1 Sunport Park, Grading and  
Drainage Plan**

**Engineer's Stamp dated 11-30-03 (M15/D23)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 12-02-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Curbing should extend from the dumpster to the northern edge of the asphalt paving, in order to keep paved flow from going offsite.
2. The slope along the eastern and western property line is too steep for natural landscaping. A slope of 3:1 is the maximum allowed without some kind of slope treatment.
3. Please provide written permission from the property owner to perform grading along the east property line.

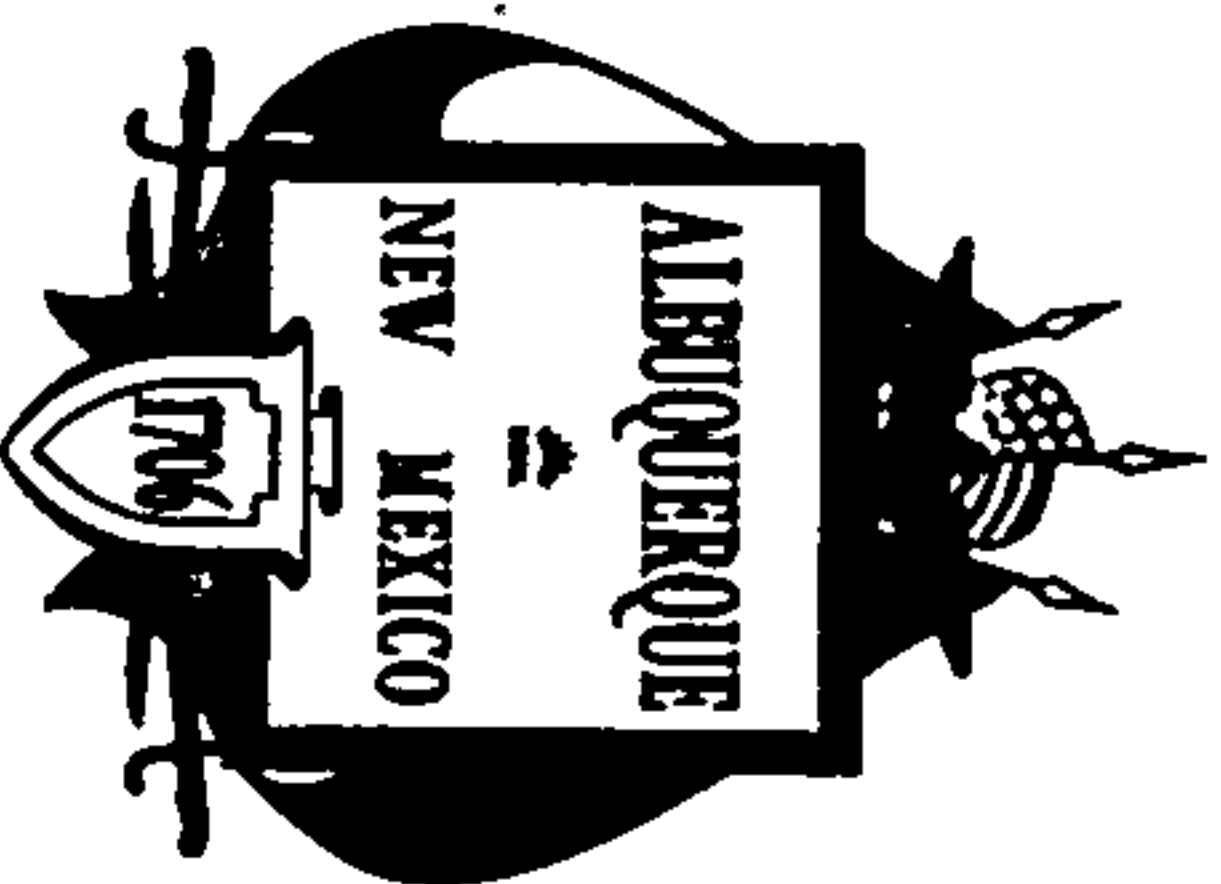
If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File





***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 23, 2004

John Arthur Blessen, P.E.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

**Re: Sunport Park Building Shell, Lot 3A2B Block 1 Sunport Park, Grading and  
Drainage Plan**

**Engineer's Stamp dated 2-11-04 (M15/D23)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 2-12-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.  
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design  
File

**J Arthur Blessen**

Architect / Engineer  
Claudio Vigil Architects  
1801 Rio Grand Boulevard Suite 2  
Albuquerque, New Mexico 87104  
(505) 842-1113  
Fax



February 12, 2004

City of Albuquerque Planning Department  
PO Box 1293  
Albuquerque, New Mexico 87103

Attn: Bradley L Bingham, PE

re: Sunport park Building Shell, Lot 3A2B Block 1 Sunport Park  
Grading and Drainage Plan (M15/D23)

Dear Mr Bingham,

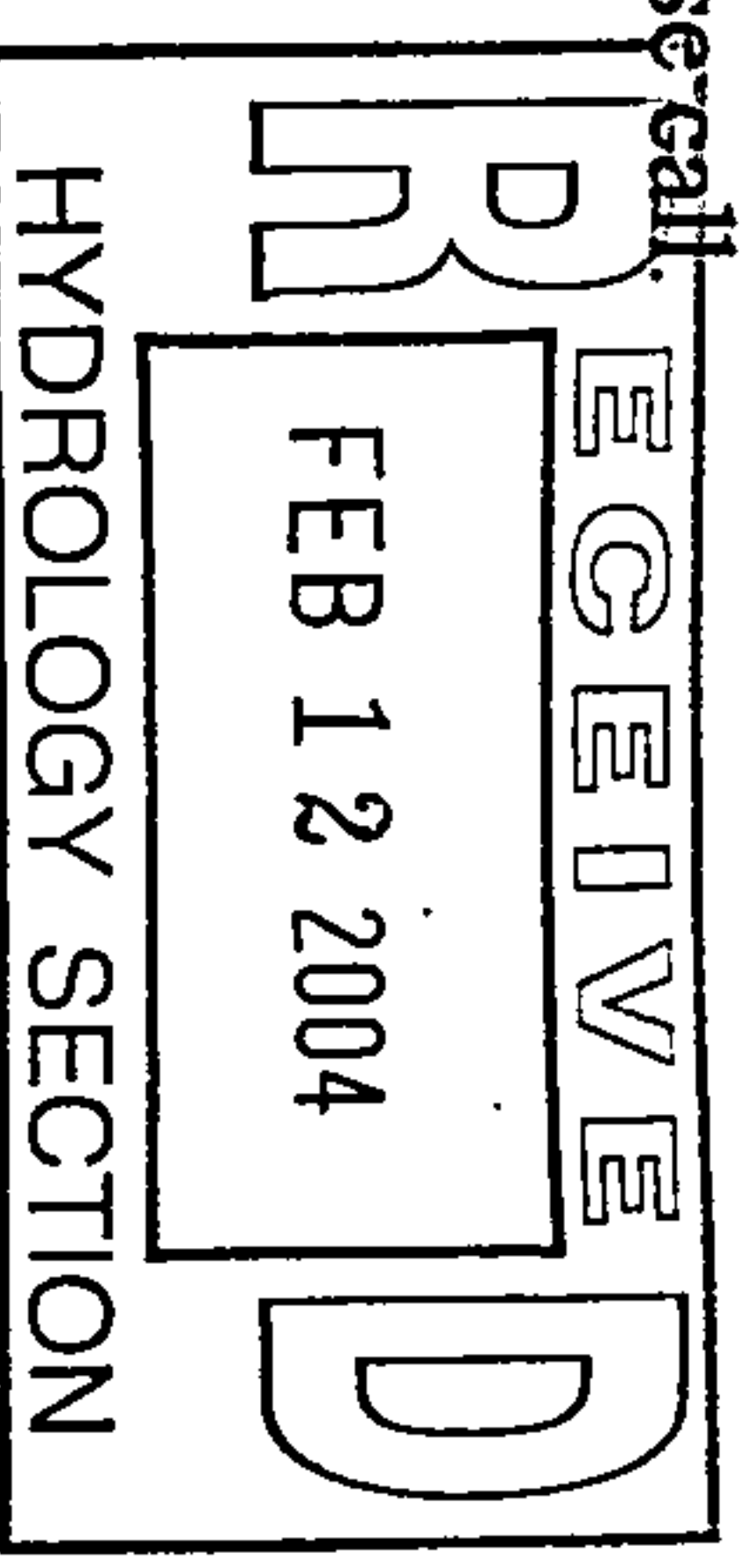
This letter is in response to your comments of 1-2-04 concerning the Grading and Drainage Plan for the Lot 3A2B Block 1 Sunport Park.

- ✓ Item 1. *Curbing should extend from the dumpster to the northern edge of the asphalt paving, in order to keep paved flow from going offsite.*  
Concrete curbing has been extend from the dumpster to the northern edge of asphalt as requested.
- ✓ Item 2. *The slope along the eastern and western property line is too steep for natural landscaping. A slope of 3:1 is the maximum allowed without some kind of slope treatment.*  
Notation to provide a stabilized embankments along the eastern and western property lines has been added to the grading plan.
- ✓ Item 3. Please provide written permission from the owner to perform grading along east property line.  
*See attached letter for property owner.*

Should you have any questions or require additional information, please call.

Sincerely

*J Arthur Blessen*  
J Arthur Blessen  
Architect / Engineer





02/12/04 09:16 TEL 4528910  
02/11/2004 17:56



February 11, 2004

Mr. Tom Lakeman  
PO Box 8655  
Albuquerque, NM 87119

Re: Grading Permission

Dear Tom:

This letter requests the permission of Mast Voyager, a partnership, for Global Structures, Inc. ("Global"), the general contractor, and Service Electric, Inc. (Service Electric), the adjoining property owner, to perform grading on or near the property line of lots 3A2B, being Service Electric's property, and Lot 3A2A, Mast Voyager's property, as shown on the Grading and Drainage Plan for Lot 3A2B Block 1, Sunport Park, dated November 30, 2003, by Claudio Vigil Architects (the "Grading and Drainage Plan"), as revised per drawings provided February 11, 2004 and dated as of that date.

Additionally, all disturbed areas shall be reseeded per City of Albuquerque specifications on gravel mulching. Any backfill shall be compacted to at least 80% compaction on site; test reports to be sent to Tom Lakeman.

As a condition to such permission, Global on behalf of itself and Service Electric, agrees to the fullest extent permitted by law, to defend, indemnify and hold harmless Mast Voyager, its partners, employees and agents from and against all claims for property damage or bodily injury or any other damage, expense, claim, penalty, suit, cost or assessment that may arise from the performance of such grading activities to the extent of the acts or omissions of Global, its subcontractors or anyone employed by them or by anyone for whose acts any of them may be liable.

By signing in the space provided below, Mast Voyager hereby gives its permission and consent to Global and Service Electric to carry out such grading upon the above terms and conditions.

Thank you for your assistance in this matter.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Donald A. M. Power".  
Donald A. M. Power  
President and CEO

Agreed to and accepted by Mast Voyager this 12 day of February 2004.

By: A handwritten signature in dark ink, appearing to read "Thomas A. Johnson".  
Thomas A. Johnson  
(Printed Name)

Partner

JAYNES CORPORATION GENERAL CONTRACTORS

A circular logo with a stylized 'J' inside.  
CORPORATE OFFICE: 2008 Broadway NE, PMB 511, Albany, NM 87112 (505) 842-2211 Fax (505) 240-4204  
NATION OFFICE:  
500 Broadway, Suite 2, Albuquerque, NM 87102 (505) 842-2211 Fax (505) 240-4204  
1001 North 4th, Suite 101, Las Vegas, NV 89101 (702) 734-0070 Fax (702) 734-0071  
LCS OFFICE: New Mexico No. 40281, Nevada No. 0022041, Utah No. 916447, Arizona No. 078808, California No. 054535

5053453672

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

M-15/D23

PROJECT TITLE: Sunport Park Building Shell, Lot 3A2B, Block 1 ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3A2B Block 1 Sunport Park  
 CITY ADDRESS: 1381 Flightway Ave

ENGINEERING FIRM: Claudio Vigil Architects CONTACT: Arthur Blessen  
 ADDRESS: 1801 Rio Grande Blvd NW PHONE: 505.842.1113  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87104

OWNER: ADDRESS: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: Claudio Vigil Architects CONTACT: Arthur Blessen  
 ADDRESS: 1801 Rio Grande Blvd NW PHONE: 505.842.1113  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87104

SURVEYOR: ADDRESS: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: ADDRESS: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER - Resubmittal Grading Plan

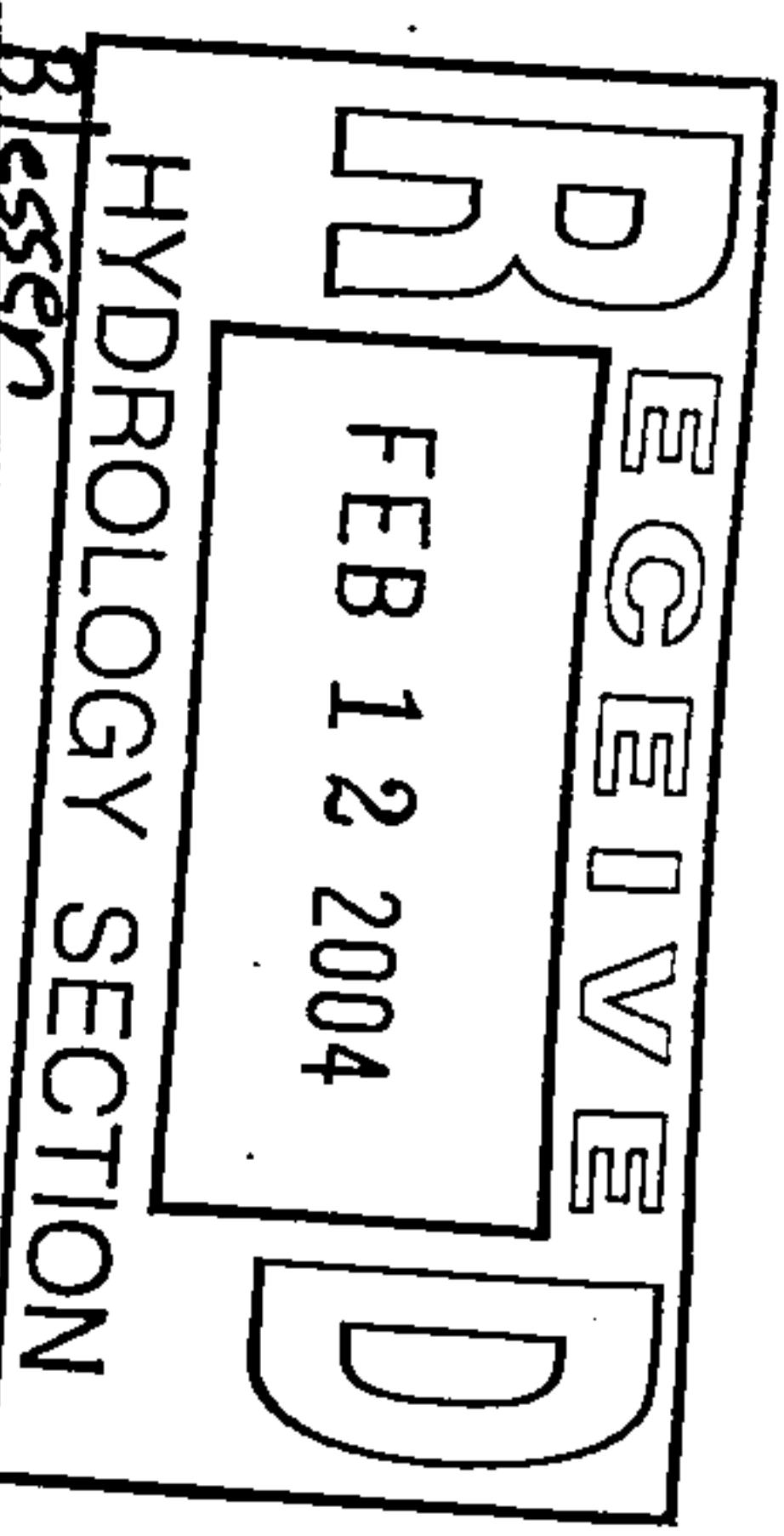
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

< Resubmittal >

DATE SUBMITTED: 2.12.04 BY: Arthur Blessen



Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



August 27, 2004

John Arthur Blessen, P.E.  
Claudio Vigil Architects  
1801 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: **Sunport Park Building Shell, 1381 Flightway Ave SE, Grading and  
Drainage Plan**

**Engineer's Stamp dated 8-26-04 (M15-D23)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 8-26-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Albuquerque

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Matt Cline, Arroyo Maintenance  
Pam Lujan, Excavation Permits  
Charles Caruso, DMD Storm Drainage Design  
File

M-15/D23

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: LOT 3A2B BLOCK 1 BUILDING SHELL ZONE MAP/DRG. FILE #: M-15/  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 3A2B BLOCK 1 SUNBELT PARK  
CITY ADDRESS: 1381 FLIGHTWAY AVE SE

ENGINEERING FIRM: CLAUDIO VICIE ARCHITECT  
ADDRESS: 1801 RIO GRANDE BLDG  
CITY, STATE: ABQ NM  
CONTACT: Arthur Blecken  
PHONE: 842-1113  
ZIP CODE: 87102

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA / FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL, <i>REQUIRES TCL or equal</i>	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUBD. APPROVAL
<input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN	<input type="checkbox"/> S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERTIFICATION (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM.)
<input type="checkbox"/> ENGINEERS CERTIFICATION (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP.)
<input type="checkbox"/> ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input checked="" type="checkbox"/> OTHER <u>5019</u>	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input checked="" type="checkbox"/> OTHER (SPECIFY) <u>5019</u>

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 8.26.04 BY: Art Blecken



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.