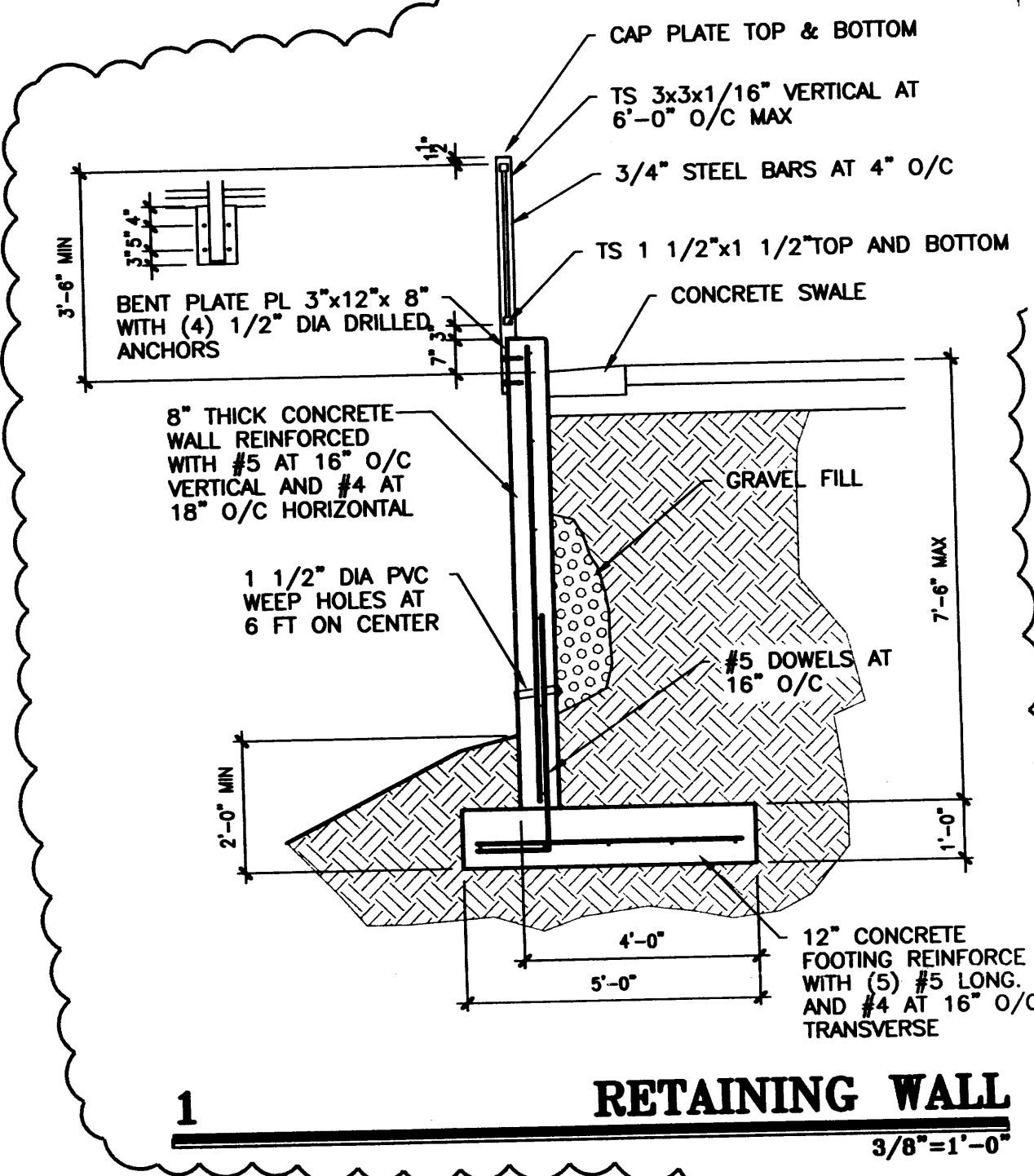
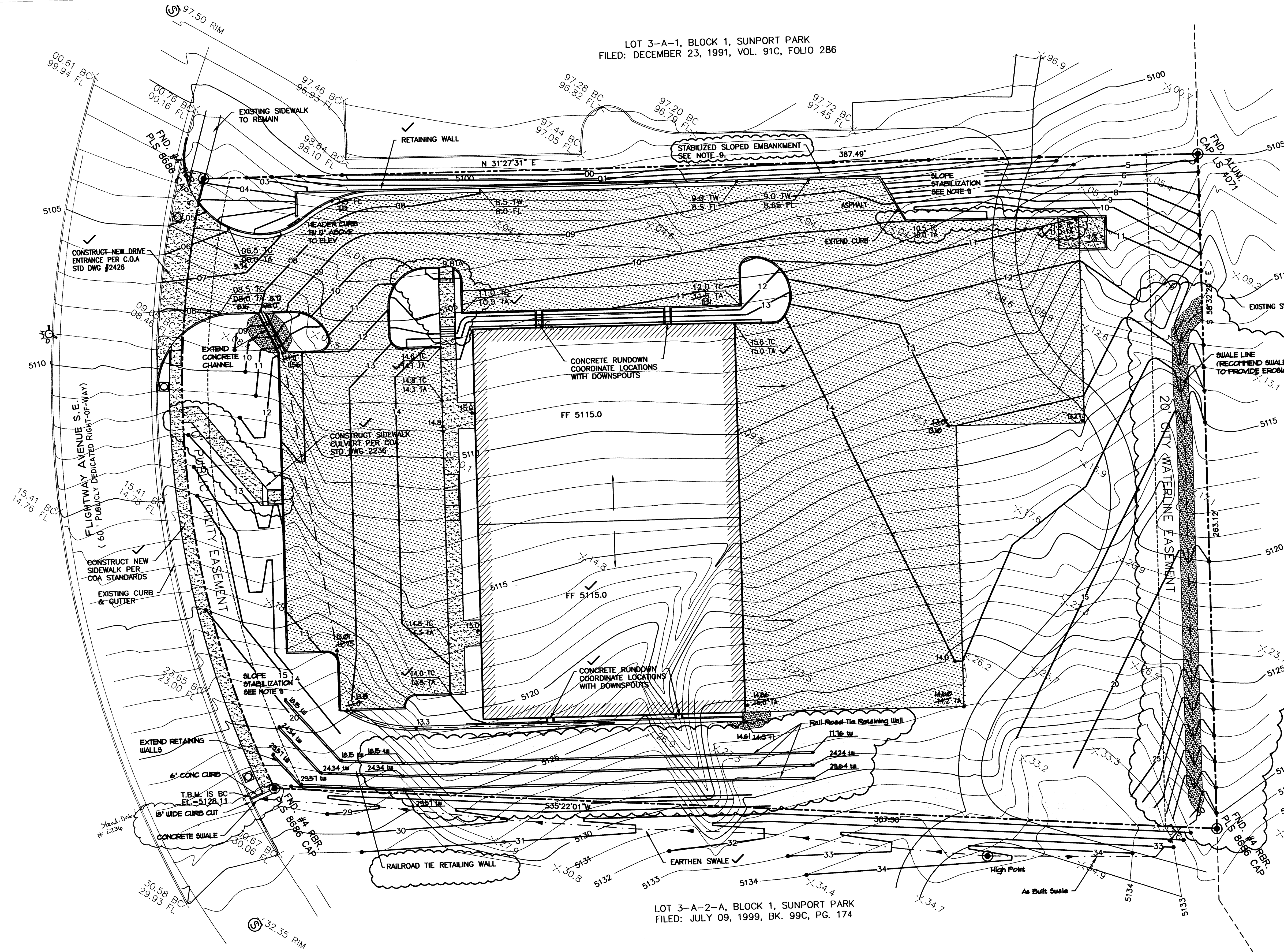
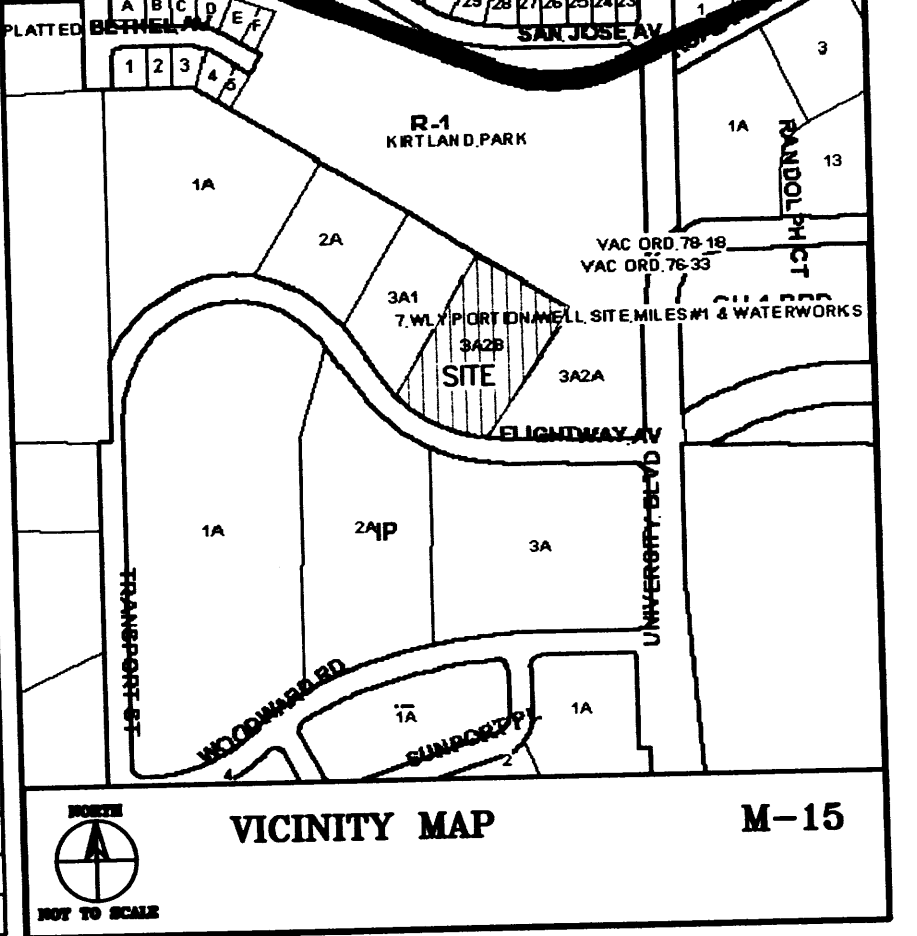


LOT 3-A-1, BLOCK 1, SUNPORT PARK
FILED: DECEMBER 23, 1991, VOL. 91C, FOLIO 286

NOTICE TO CONTRACTOR

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THOSE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THOSE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVAL	NAME	DATE
A.C.E. / DESIGN		
INSPECTOR		
A.C.E. FIELD		



GRADING AND DRAINAGE PLAN
NOVEMBER 30, 2003 SCALE: 1" = 20' (U.N.O.)

CLAUDIO VIGIL ARCHITECTS
LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO

SHEET C-2
PROJECT NUMBER 02220

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1801 Rio Grande NW, Albuquerque, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

**LOT 3A2B, BLOCK 1
SUNPORT PARK**

DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING THE GRADING AND DRAINAGE PLAN FOR LOT 3A2B BLOCK 1 SUNPORT PARK ARE CONTAINED HEREON:

- VICINITY MAP
- GRADING PLAN
- CALCULATIONS

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF UNIVERSITY BOULEVARD ON THE NORTH SIDE OF FLIGHT AVENUE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 10%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH SLOPE FROM THAT DIRECTION. A EARTHEN SWALE IS PROPOSED ALONG THE PROPERTY LINE TO THE EAST. THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLECTABLE.

THE PROPOSED DEVELOPMENT LIE WITHIN THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) PREPARED BY ANDREWS, ASBURY, & ROBERTS. THE MASTER DRAINAGE PLAN FOR THIS DEVELOPMENT ALLOWS FREE DISCHARGE OF RUNOFF FROM THE SITE. THE PROPOSED DEVELOPMENT WILL DISCHARGE RUNOFF FLIGHT AVENUE AT THE DRIVE ENTRANCE.

THE GRADING PLAN SHOWS:

- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW WAREHOUSE AND OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) WAS PREPARED BY ANDREWS, ASBURY, & ROBERTS INC. THE MASTER PLAN HAS ESTABLISHED FREE DISCHARGE FROM THE SITE.

THE LOT TO THE EAST IS UNDEVELOPED. PRIOR TO START OF CONSTRUCTION, WRITTEN PERMISSION FROM THE OWNER OF THE ADJACENT LOT IS REQUIRED TO GRADE THE SWALE ALONG THE EAST PROPERTY LINE.

AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 8.8 CFS (4 CFS/ACRE).

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.24 ACRES

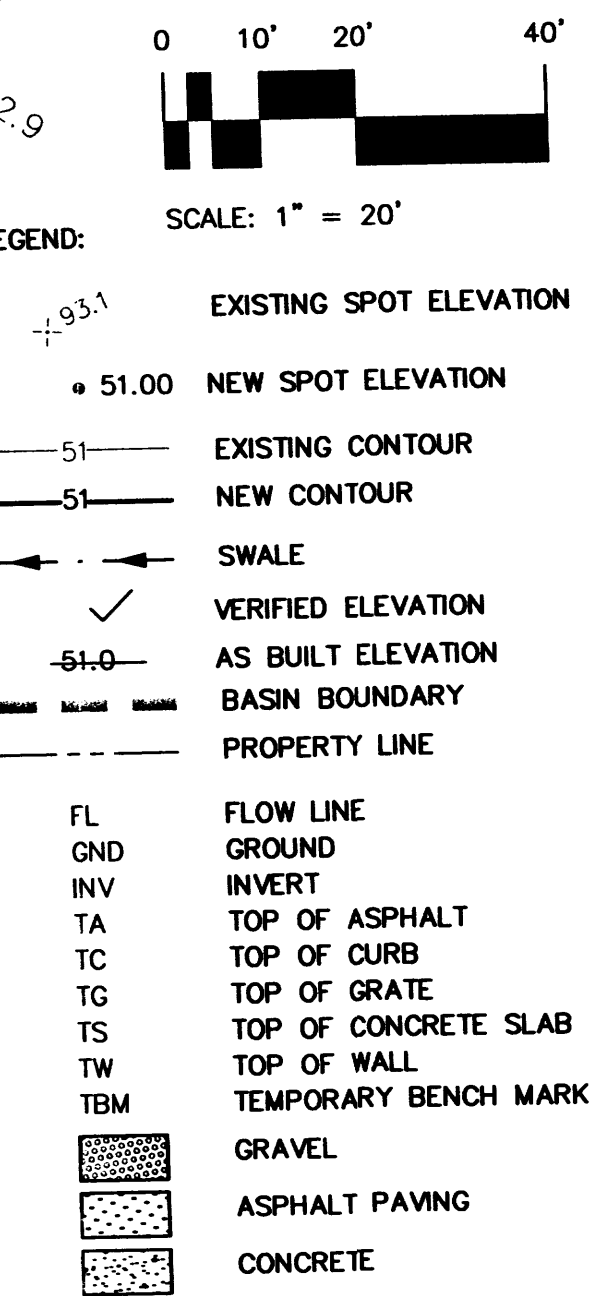
EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.53(1.00) = 0.53 INCHES
V = 0.53(2.24) / 12 = 0.099 ACRE FEET
Q = 1.56(1.00) (2.24) = 3.5 CFS

DEVELOPED CONDITIONS
LAND TREATMENT B=11% C=32% D=57%
E = 0.78(0.11)+1.13(0.32)+2.12(0.57) = 1.66 INCHES
V = 1.66 (2.24) / 12 = 0.310 ACRE FEET
Q = [2.28 (0.11)+3.14 (0.32)+4.7(0.57)](2.24)=8.8 CFS
Q = 8.8/2.24=4 CFS/ACRE

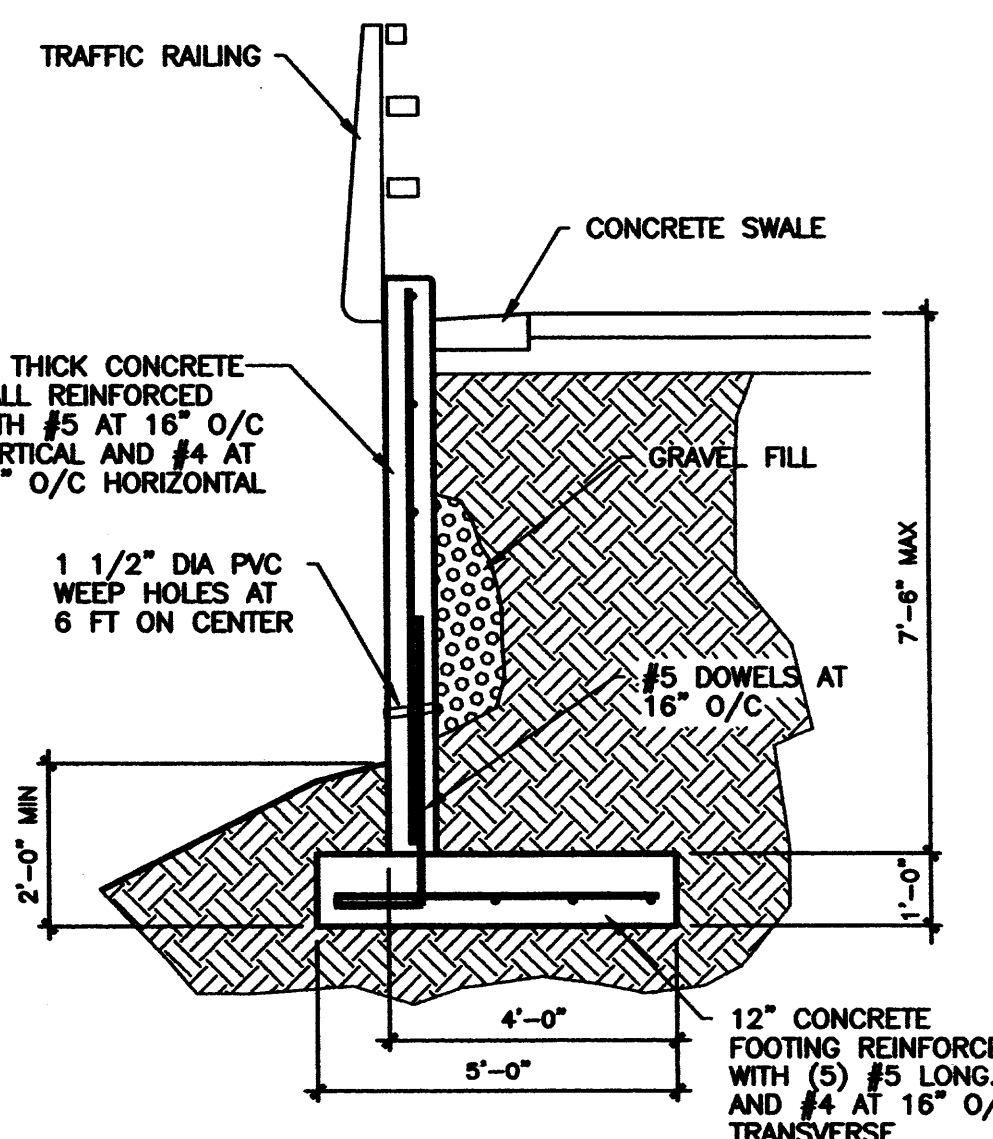
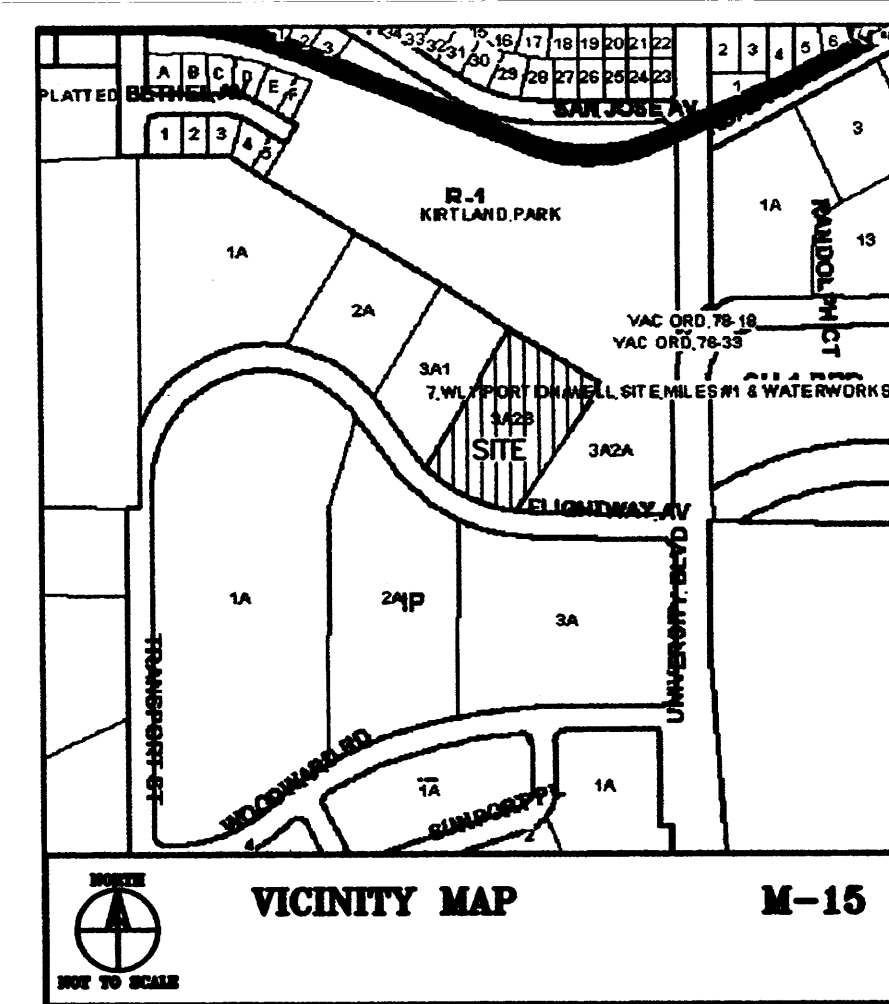
INCREASE IN VOLUME OF RUNOFF = 0.211 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.3 CFS

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT. SEE SHEET C-3 FOR ADDITIONAL REQUIREMENTS.
- EMBANKMENTS STEEPER 1:3 SHALL BE MECHANICALLY STABILIZED WITH INVISIBLE STRUCTURES INC. "SLOPELOM2", OR APPROVED EQUAL. INSTALLATIONS SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
- THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL. DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR), A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FT OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT THE SITE.



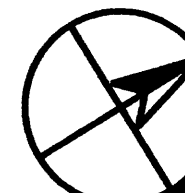
LOT 3-A-1, BLOCK 1, SUNPORT PARK
FILED: DECEMBER 23, 1991, VOL. 91C, FOLIO 286



1 RETAINING WALL 3/8"=1'-0"

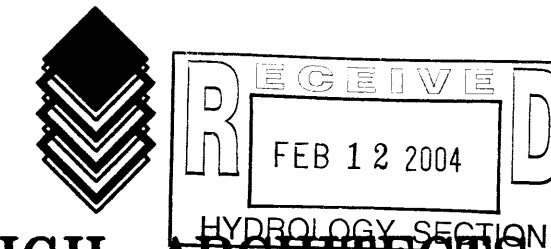
REV 1/9/04 COA COMMENTS

NORTH



GRADING AND DRAINAGE PLAN

NOVEMBER 30, 2003 SCALE: 1" = 20' (U.N.O.)



CLAUDIO VIGIL ARCHITECTS

LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO

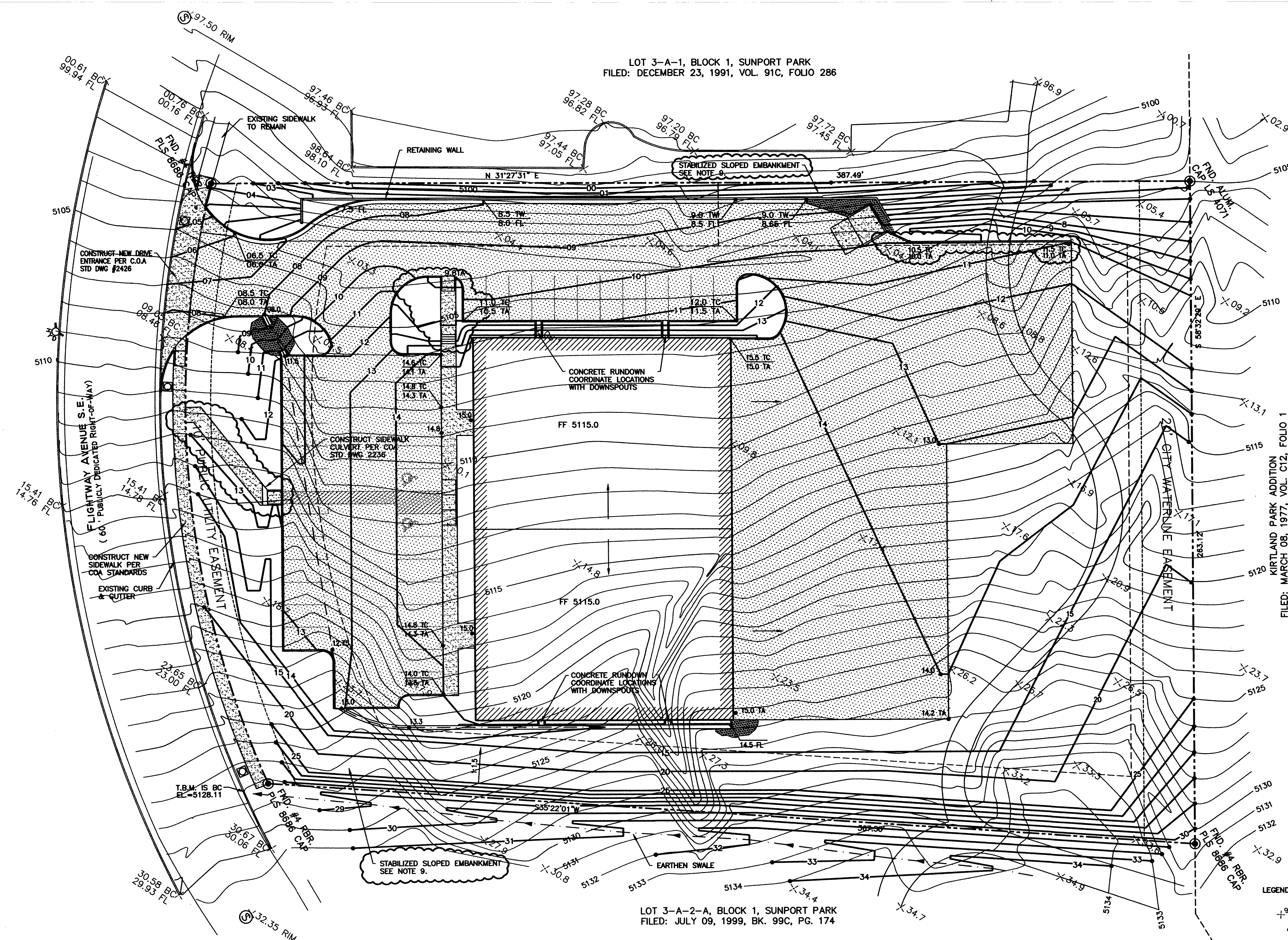


SHEET
C-2

PROJECT NUMBER
02220

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LOT 3A2B, BLOCK 1 SUNPORT PARK

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE GRADING AND DRAINAGE PLAN FOR LOT 3A2B BLOCK 1 SUNPORT PARK ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF UNIVERSITY BOULEVARD ON THE NORTH SIDE OF FLIGHT AVENUE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 10%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH SLOPE AWAY FROM THE SITE. THE STREET TO THE SOUTH BLOCK FLOWS FROM THAT DIRECTION. AN EARTHEN SWALE IS PROPOSED ALONG THE PROPERTY LINE TO THE EAST. THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLIGIBLE.

THE PROPOSED DEVELOPMENT LIE WITHIN THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) PREPARED BY ANDREWS, ASBURY, & ROBERTS. THE MASTER DRAINAGE PLAN FOR THIS DEVELOPMENT ALLOWS FREE DISCHARGE OF RUNOFF FROM THE SITE. THE PROPOSED DEVELOPMENT WILL DISCHARGE RUNOFF FLIGHT AVENUE AT THE DRIVE ENTRANCE.

THE GRADING PLAN SHOWS:

- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW WAREHOUSE AND OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) WAS PREPARED BY ANDREWS, ASBURY, & ROBERTS INC. THE MASTER PLAN HAS ESTABLISHED FREE DISCHARGE FROM THE SITE.

THE LOT TO THE EAST IS UNDEVELOPED. PRIOR TO START OF CONSTRUCTION, WRITTEN PERMISSION FROM THE OWNER OF THE ADJACENT LOT IS REQUIRED TO GRADE THE SWALE ALONG THE EAST PROPERTY LINE.

AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 8.8 CFS (4 CFS/ACRE).

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.24 ACRES

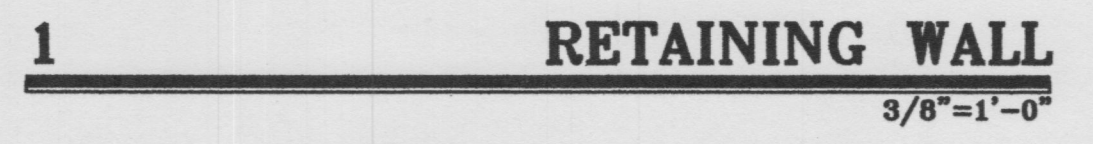
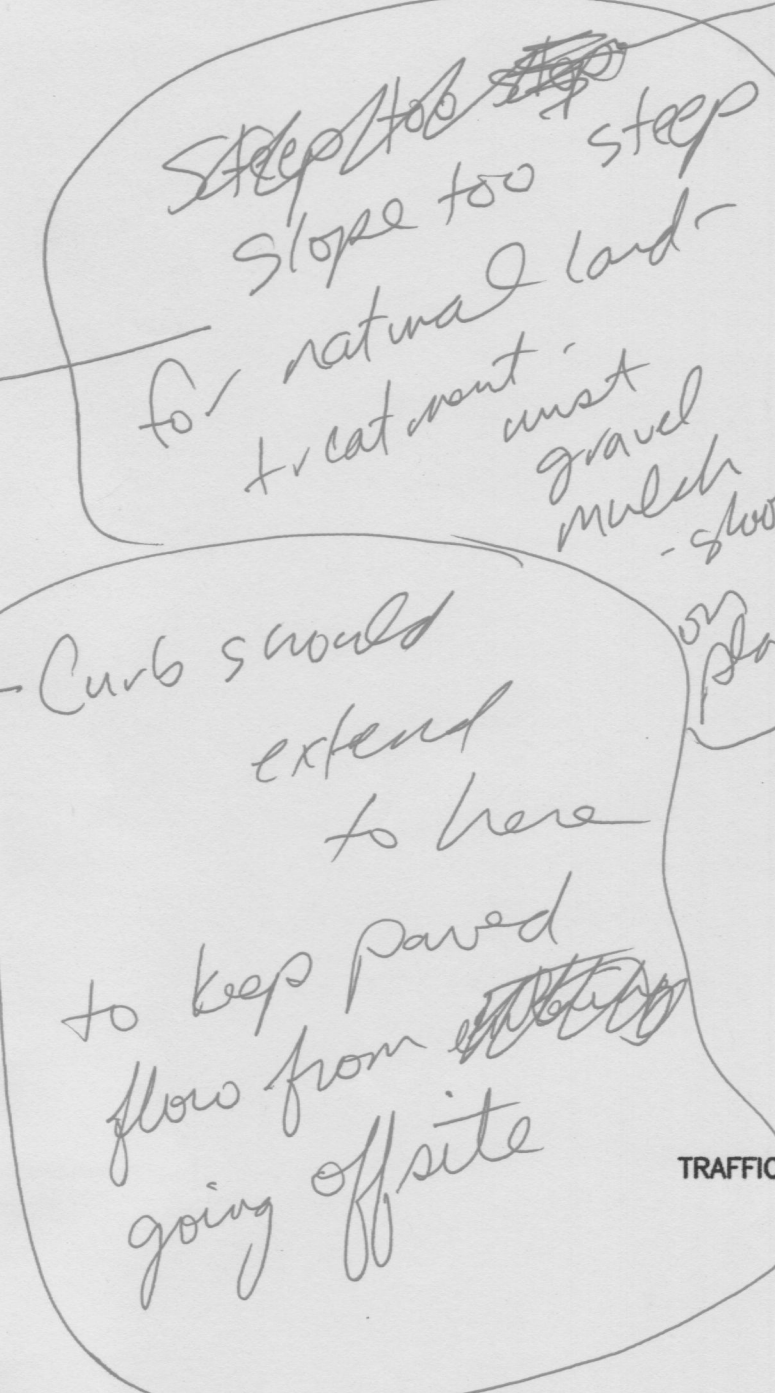
EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.53(1.00) = 0.53 INCHES
V = 0.53(2.24) / 12 = 0.099 ACRE FEET
Q = 1.56(1.00) (2.24) = 3.5 CFS
DEVELOPED CONDITIONS
LAND TREATMENT B=11% C=32% D=57%
E = 0.78(0.11)+1.13(0.32)+2.12(0.57) = 1.66 INCHES
V = 1.66 (2.24) / 12 = 0.310 ACRE FEET
Q = [2.28 (0.11)+3.14 (0.32)+4.7(0.57)](2.24)=8.8 CFS
Q = 8.8/2.24=4 CFS/ACRE
INCREASE IN VOLUME OF RUNOFF = 0.211 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.3 CFS

CONSTRUCTION NOTES

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
5. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
6. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.

7. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
8. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT. SEE SHEET C-3 FOR ADDITIONAL REQUIREMENTS.
9. EMBANKMENTS STEEPER 1:3 SHALL BE MECHANICALLY STABILIZED WITH INVISIBLE STRUCTURES INC "SLOPETAMAZ", OR APPROVED EQUAL. INSTALLATIONS SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
10. THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR), A FORMER LANDFILL. CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FT OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Where does the flow on the side of the retaining wall go? OK



GRADING AND DRAINAGE PLAN



CLAUDIO VIGIL ARCHITECTS

**LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL**

SHEET

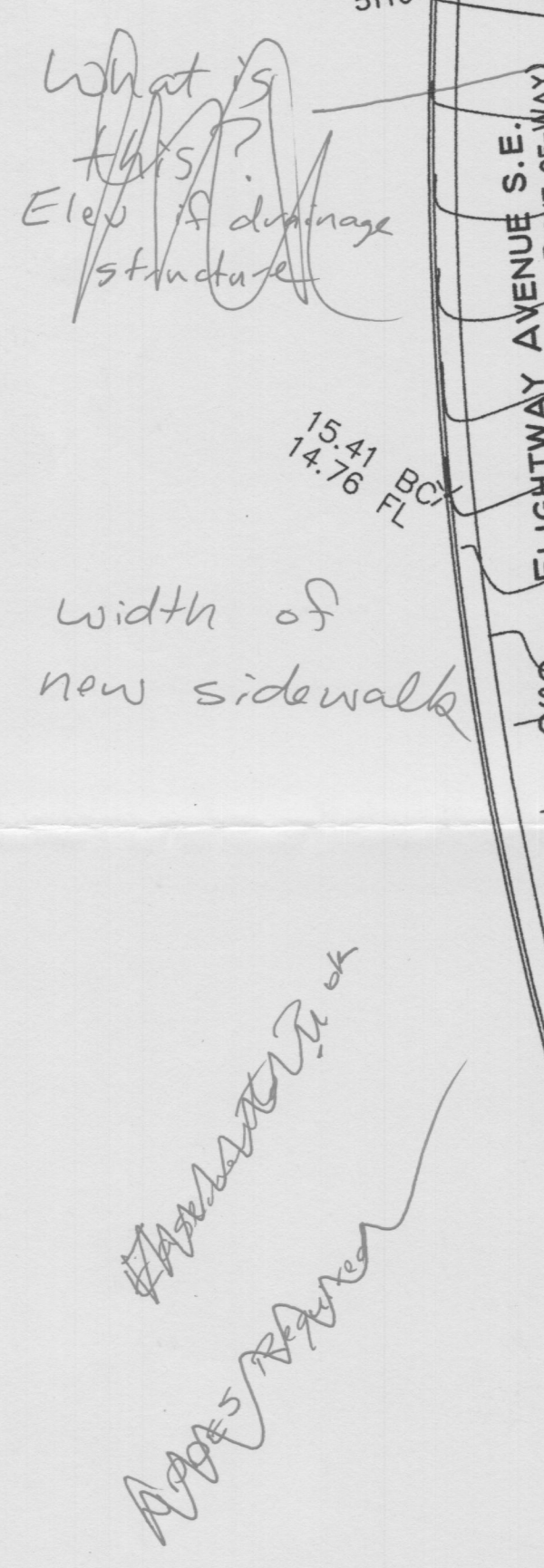
C-2

PROJECT NUMBER
02220

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18080 Ridge Graded & NW#2 Alliquippus, NM 87804
Phone: 505/842-1113 Fax: 505/842-1330



DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE GRADING AND DRAINAGE PLAN FOR LOT 3A2B BLOCK 1 SUNPORT PARK ARE CONTAINED HEREON:

- THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF UNIVERSITY BOULEVARD ON THE NORTH SIDE OF FLIGHT AVENUE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 10%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH SLOPE AWAY FROM THE SITE. THE STREET TO THE SOUTH BLOCK FLOWS FROM THAT DIRECTION. A DRAINAGE SWALE IS PROPOSED ALONG THE PROPERTY LINE TO THE EAST. THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLIGIBLE.

THE PROPOSED DEVELOPMENT LIE WITHIN THE SUNPORT PARK
PHASE 1 MASTER PLAN (M15/D23) PREPARED BY ANDREWS,
ASBURY, & ROBERTS. THE MASTER DRAINAGE PLAN FOR THIS
DEVELOPMENT ALLOWS FREE DISCHARGE OF RUNOFF FORM THE
SITE. THE PROPOSED DEVELOPMENT WILL DISCHARGE RUNOFF
FLIGHT AVENUE AT THE DRIVE ENTRANCE.

- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW WAREHOUSE AND OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SUPPORT PARK PHASE 1 MASTER PLAN (M15/D23) WAS PREPARED BY ANDREWS, ASBURY, & ROBERTS INC. THE MASTER PLAN HAS ESTABLISHED FREE DISCHARGE FROM THE SITE.

THE LOT TO THE EAST IS UNDEVELOPED. THE SUBJECT SITE AND THE ADJACENT SITE TO THE EAST ARE CURRENTLY UNDER THE SAME OWNERSHIP, THEREFORE PERMISSION TO GRADE THE SWALE ALONG THE EAST PROPERTY LINE HAS BEEN OBTAINED.

AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 8.8 CFS (4 CFS/ACRE).

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.24 ACRES

EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.53(1.00) = 0.53 INCHES
V = 0.53(2.24) / 12 = 0.099 ACRE FEET
Q = 1.56(1.00) (2.24) = 3.5 CFS

DEVELOPED CONDITIONS

LAND TREATMENT B=11% C=32% D=57%

$E = 0.78(0.11) + 1.13(0.32) + 2.12(0.57) = 1.66$ INCHES

$V = 1.66 (2.24) / 12 = 0.310$ ACRE FEET

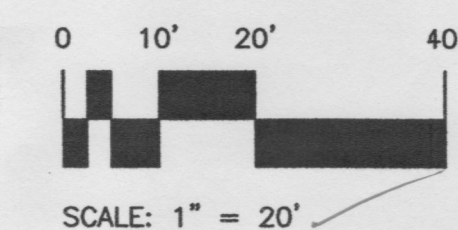
$Q = [2.28 (0.11) + 3.14 (0.32) + 4.7(0.57)](2.24) = 8.8$ CFS

$Q = 8.8 / 2.24 = 4$ CFS/ACRE













INCREASE IN VOLUME OF RUNOFF = 0.211 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.3 CFS

1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.

2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.
5. THE OWNER SHALL VERIFY LOCATIONS OF PONDS WITH GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION WORK ON THIS PROJECT, AND INFORM THE ARCHITECT / ENGINEER OF ANY ADDITIONAL REQUIREMENTS.
6. CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.



LEGEND:

	EXISTING SPOT ELEVATION
	NEW SPOT ELEVATION
	EXISTING CONTOUR
	NEW CONTOUR
	SWALE
	VERIFIED ELEVATION
	AS BUILT ELEVATION
	BASIN BOUNDARY
	PROPERTY LINE
FL	FLOW LINE
GND	GROUND
INV	INVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF CONCRETE SLAB
TW	TOP OF WALL
TBM	TEMPORARY BENCH MARK
	GRAVEL
	ASPHALT PAVING
	CONCRETE

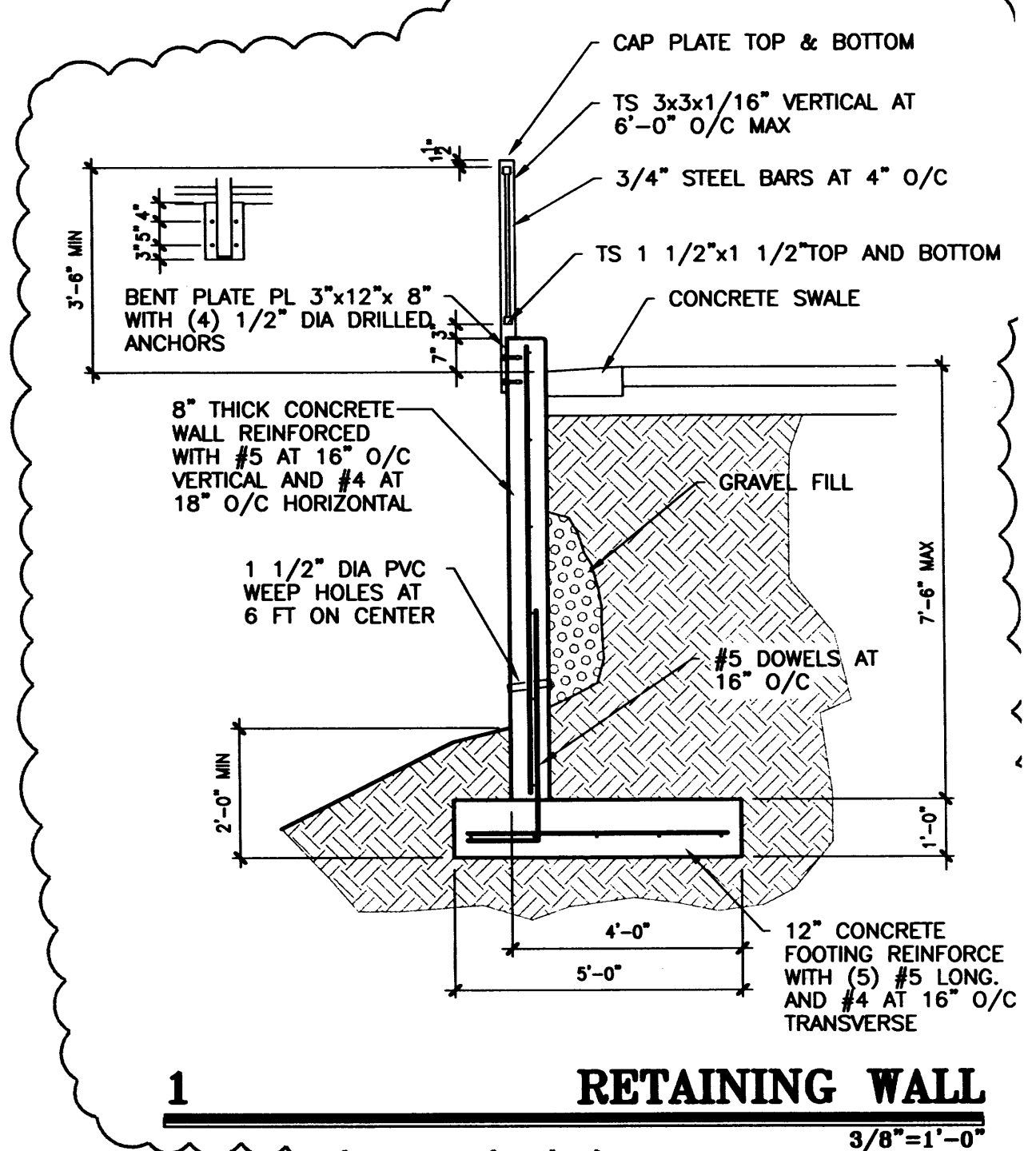
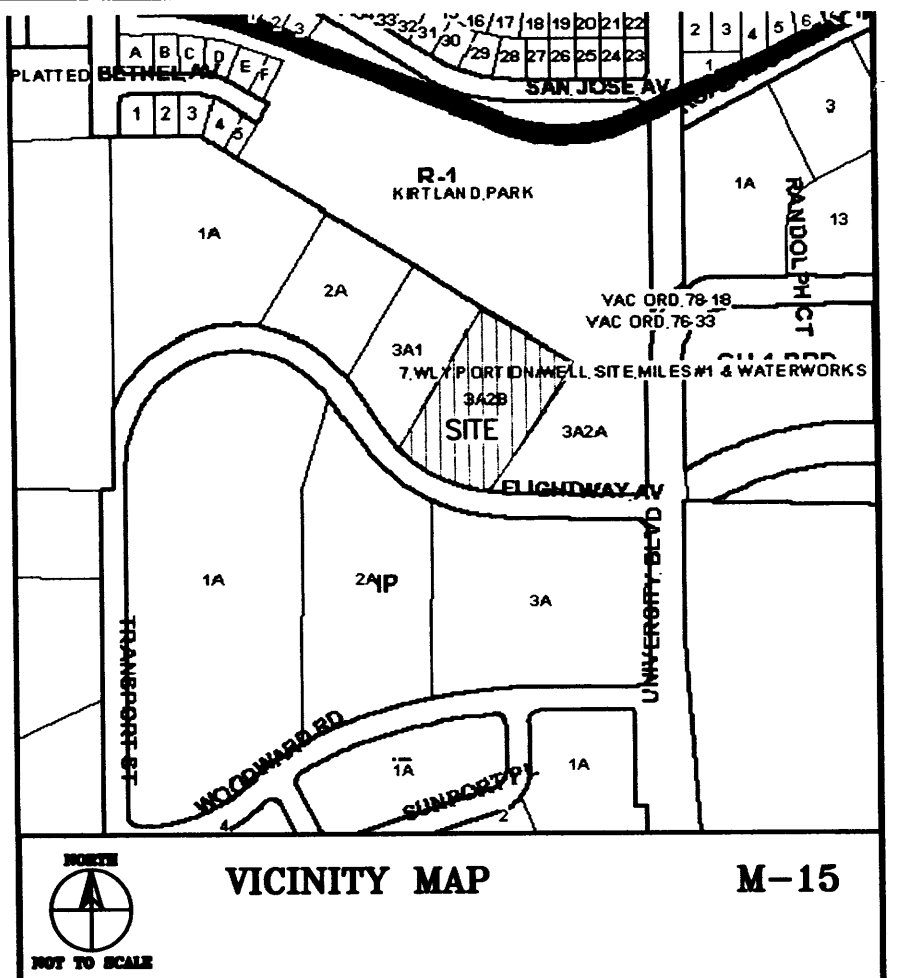
LOT 3-A-1, BLOCK 1, SUNPORT PARK
FILED: DECEMBER 23, 1991, VOL. 91C, FOLIO 286

I, JOHN ARTHUR BLESS, NMPE 13481, OF THE FIRM CLAUDIO VIGIL ARCHITECTS, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/11/04. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE FOLLOWING REVISIONS TO THE APPROVED GRADING PLAN WERE MADE:
A STEPPED RETAINING WALL WAS CONSTRUCTED ALONG THE EAST PROPERTY LINE, AND
A SWALE WAS CUT ALONG THE NORTH PROPERTY LINE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION FOR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John Arthur Bless
John Arthur Bless, PE
NM #E# 13481
11-17-04
date



1 RETAINING WALL

REV 1/9/04 COA COMMENTS



GRADING AND DRAINAGE PLAN

NOVEMBER 30, 2003 SCALE: 1" = 20' (U.N.O.)

CLAUDIO VIGIL ARCHITECTS

**LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO**

**SHEET
C-2**

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1801 Rio Grande NW, Albuquerque, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

LOT 3A2B, BLOCK 1 SUNPORT PARK

DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING THE GRADING AND DRAINAGE PLAN FOR LOT 3A2B BLOCK 1 SUNPORT PARK ARE CONTAINED HEREON:
1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF UNIVERSITY BOULEVARD ON THE NORTH SIDE OF FLIGHT AVENUE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 10%. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH SLOPE AWAY FROM THE SITE. THE STREET TO THE SOUTH BLOCK FLOWS FROM THAT DIRECTION. A EARTHEN SWALE IS PROPOSED ALONG THE PROPERTY LINE TO THE EAST. THEREFORE OFFSITE FLOWS ARE CONSIDERED NEGLECTABLE.

THE PROPOSED DEVELOPMENT LIE WITHIN THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) PREPARED BY ANDREWS, ASBURY, & ROBERTS. THE MASTER DRAINAGE PLAN FOR THIS DEVELOPMENT ALLOWS FREE DISCHARGE OF RUNOFF FROM THE SITE. THE PROPOSED DEVELOPMENT WILL DISCHARGE RUNOFF FLIGHT AVENUE AT THE DRIVE ENTRANCE.

THE GRADING PLAN SHOWS:
• THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
• CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
• THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
• THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF A NEW WAREHOUSE AND OFFICE BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. THE SUNPORT PARK PHASE 1 MASTER PLAN (M15/D23) WAS PREPARED BY ANDREWS, ASBURY, & ROBERTS INC. THE MASTER PLAN HAS ESTABLISHED FREE DISCHARGE FROM THE SITE.

THE LOT TO THE EAST IS UNDEVELOPED. PRIOR TO START OF CONSTRUCTION, WRITTEN PERMISSION FROM THE OWNER OF THE ADJACENT LOT IS REQUIRED TO GRADE THE SWALE ALONG THE EAST PROPERTY LINE.

AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 8.8 CFS (4 CFS/ACRE).

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS
PRECIPITATION ZONE = 2
TOTAL SITE AREA = 2.24 ACRES

EXISTING CONDITIONS
LAND TREATMENT A=100%
E = 0.53(1.00) = 0.53 INCHES
V = 0.53(2.24) / 12 = 0.099 ACRE FEET
Q = 1.56(1.00) (2.24) = 3.5 CFS

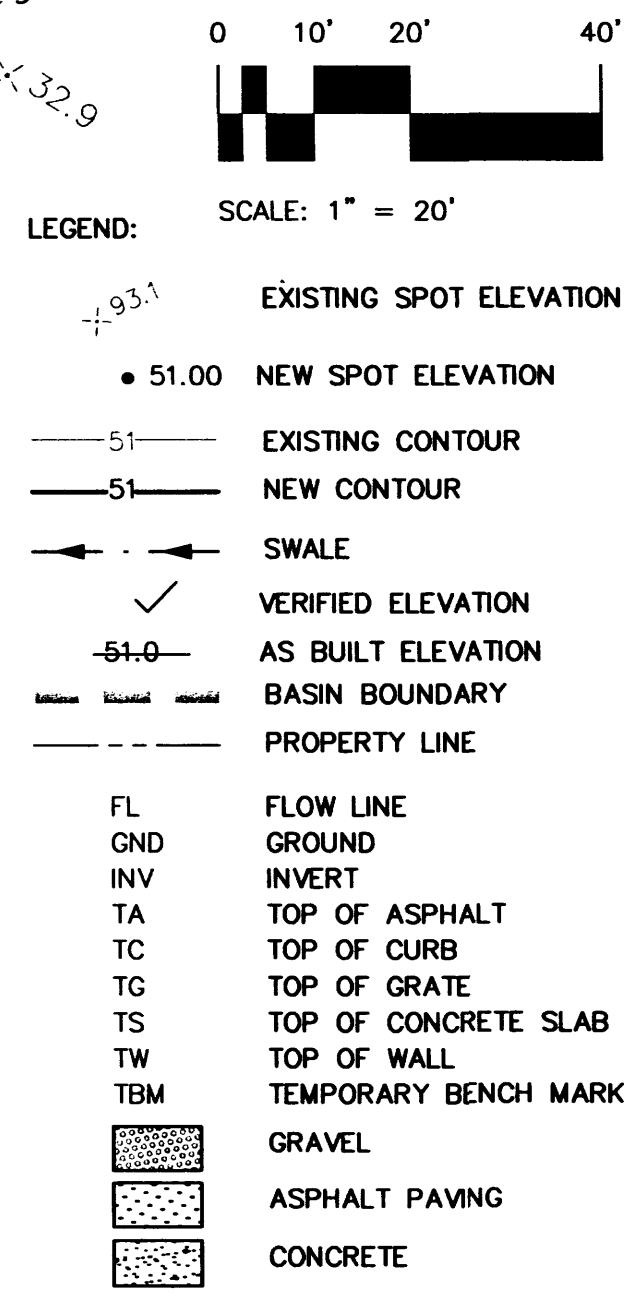
DEVELOPED CONDITIONS
LAND TREATMENT B=11% C=32% D=57%
E = 0.78(0.11)+1.13(0.32)+2.12(0.57) = 1.66 INCHES
V = 1.66 (2.24) / 12 = 0.310 ACRE FEET
Q = (2.28 (0.11)+3.14 (0.32)+4.7(0.57))(2.24) = 8.8 CFS
Q = 8.8/2.24 = 4 CFS/ACRE

INCREASE IN VOLUME OF RUNOFF = 0.211 ACRE FT
INCREASE IN RATE OF RUNOFF = 5.3 CFS

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.

- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT. SEE SHEET C-3 FOR ADDITIONAL REQUIREMENTS.
- EMBANKMENTS STEEPER 1:3 SHALL BE MECHANICALLY STABILIZED WITH INVISIBLE STRUCTURES INC "SLOPEmate2", OR APPROVED EQUAL. INSTALLATIONS SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
- THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR), A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FT OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT THE SITE.



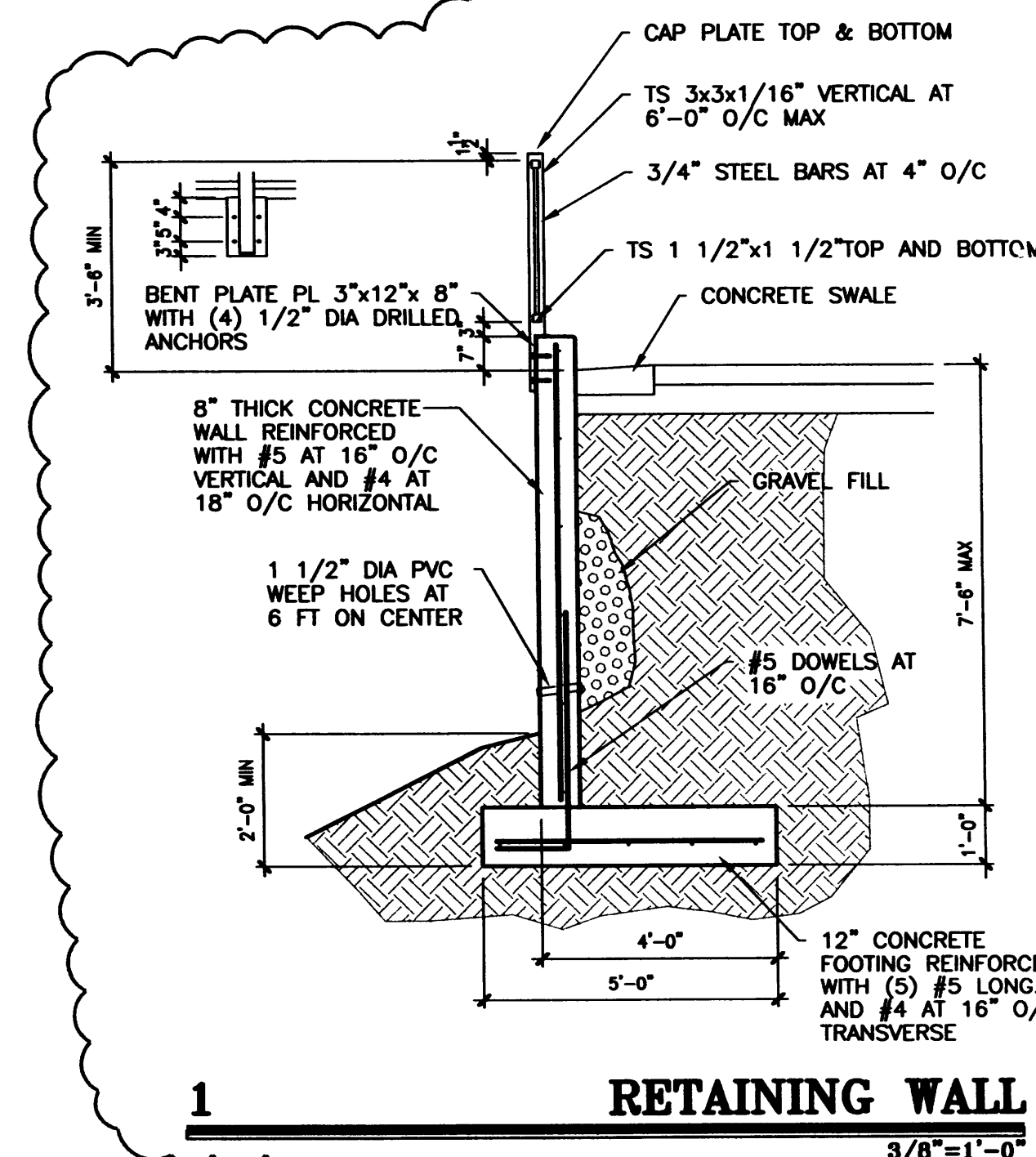
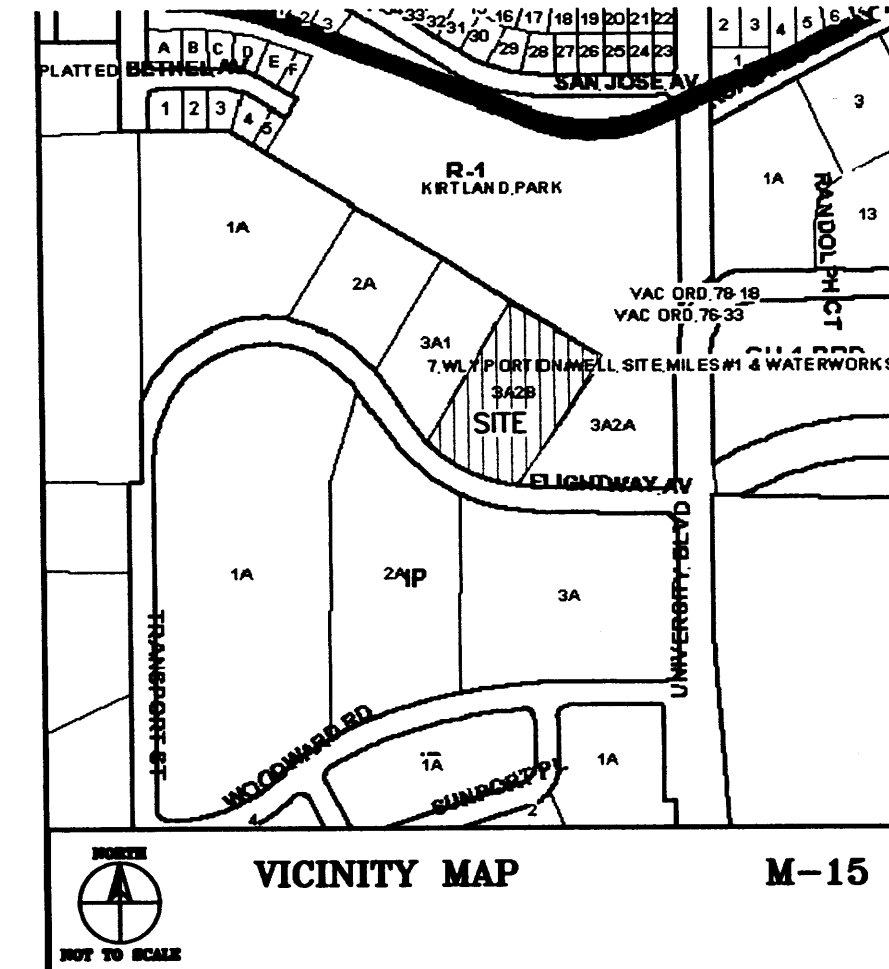
LOT 3-A-1, BLOCK 1, SUNPORT PARK
FILED: DECEMBER 23, 1991, VOL. 91C, FOLIO 286

I, JOHN ARTHUR BLESSER, NMPE 13481, OF THE FIRM CLAUDIO VIGIL ARCHITECTS, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/11/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE FOLLOWING REVISIONS TO THE APPROVED GRADING PLAN WERE MADE:
A STEPPED RETAINING WALL WAS CONSTRUCTED ALONG THE EAST PROPERTY LINE, AND
A SWALE WAS CUT ALONG THE NORTH PROPERTY LINE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION FOR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John Arthur Blessen, PE
NM PE# 13481
date 9-24-04



1 RETAINING WALL
3/8"x1"-0"

REV 1/9/04 COA COMMENTS

NORTH



GRADING AND DRAINAGE PLAN

NOVEMBER 30, 2003 SCALE: 1" = 20' (U.N.O.)

CLAUDIO VIGIL ARCHITECTS

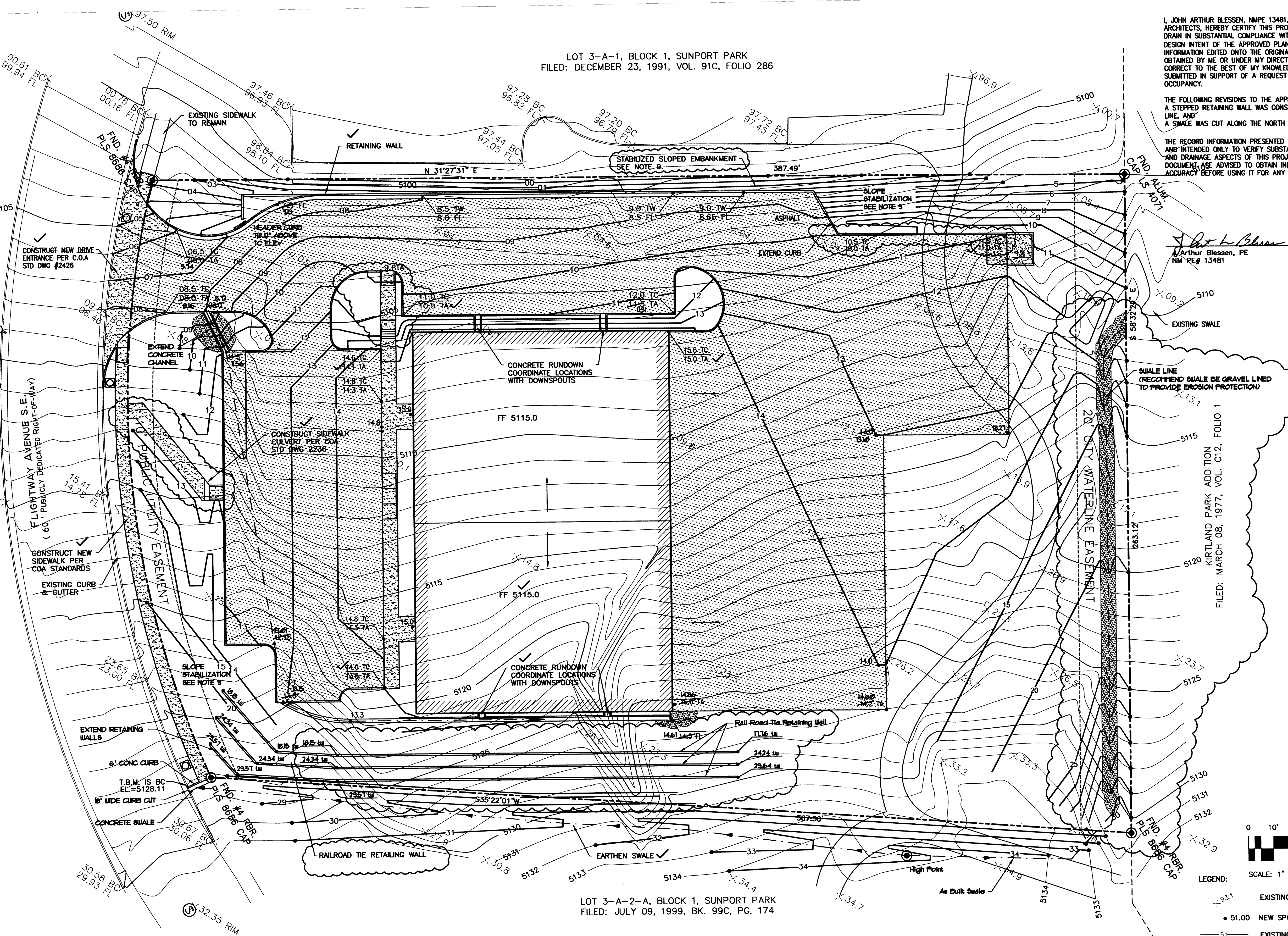
**LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO**

**SHEET
C-2**

PROJECT NUMBER
02220

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LOT 3-A-2-A, BLOCK 1, SUNPORT PARK
FILED: JULY 09, 1999, BK. 99C, PG. 174

**LOT 3A2B, BLOCK 1
SUNPORT PARK**

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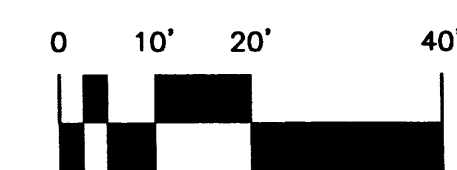
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CONSTRUCTION NOTES

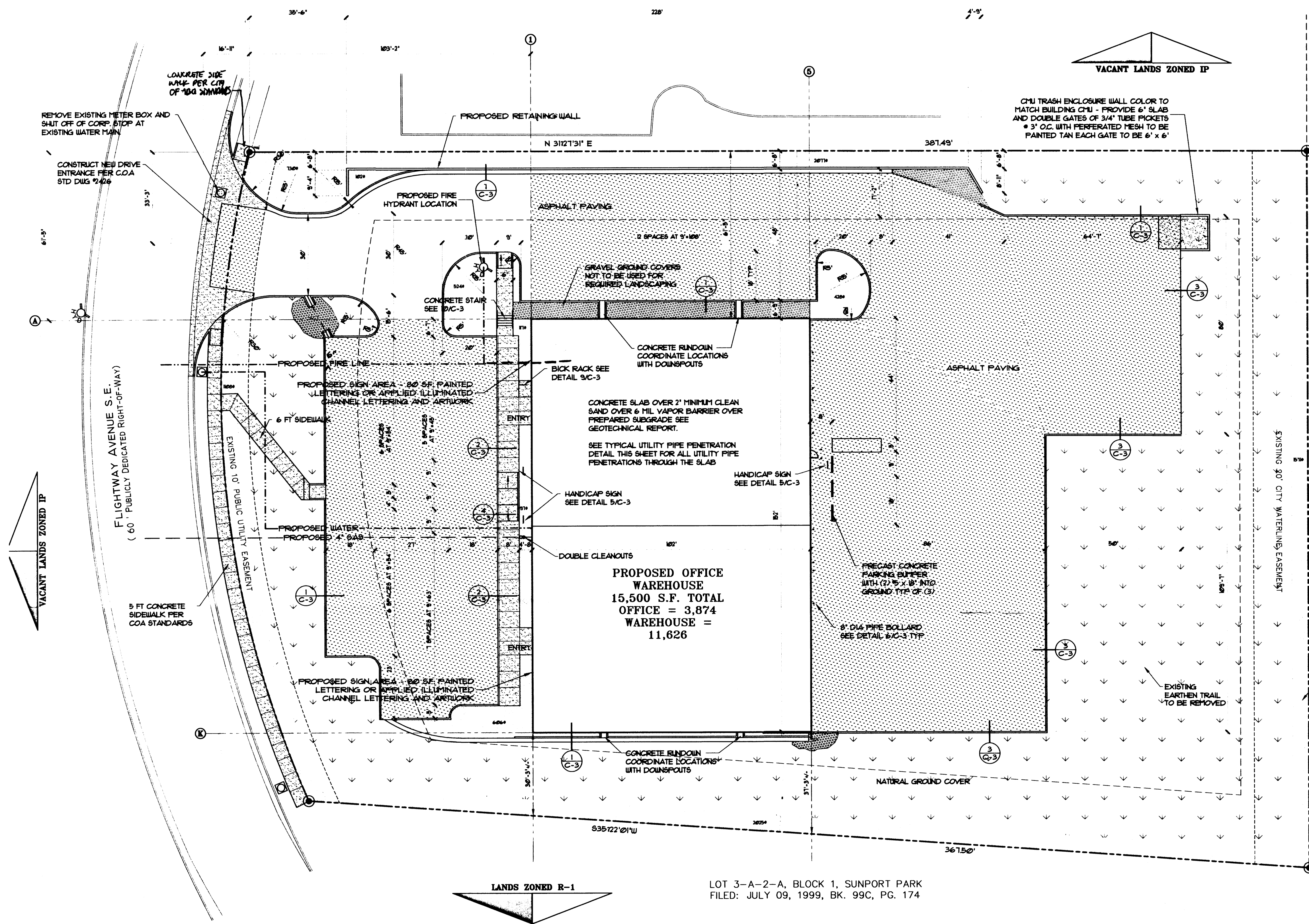
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9. EMBANKMENTS STEEPER 1:3 SHALL BE MECHANICALLY STABILIZED WITH INVISIBLE STRUCTURES INC "SLOPEtame2", OR APPROVED EQUAL INSTALLATIONS SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
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- LEGEND:**
- 51.00 NEW SPOT ELEVATION
 - 51— EXISTING CONTOUR
 - 51— NEW CONTOUR
 - SWALE
 - ✓ VERIFIED ELEVATION
 - AS BUILT ELEVATION
 - BASIN BOUNDARY
 - PROPERTY LINE
 - FL GND
 - INV INVERT
 - TA TOP OF ASPHALT
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TS TOP OF CONCRETE SLAB
 - TW TOP OF WALL
 - TBM TEMPORARY BENCH MARK
 - GRAVEL
 - ASPHALT PAVING
 - CONCRETE



SCALE: 1" = 20'



LOT 3-A-2-A, BLOCK 1, SUNPORT PARK
FILED: JULY 09, 1999, BK. 99C, PG. 174

SITE UTILITY NOTES

THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY EXISTING UTILITY LINES, PIPELINES, OR OTHER UNDERGROUND UTILITY IN, OR NEAR, THE CONSTRUCTION SITE WITH THE OWNER AND UTILITY COMPANY PRIOR TO COMMENCEMENT OF WORK. ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITIES DEPICTED ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS BASED ON INFORMATION PROVIDED TO THE ARCHITECT/ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONAL UNDERGROUND LINES MAY EXIST THAT HAVE NOT BEEN SHOWN.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-7531 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BETWEEN THE EXISTING CONDITIONS AND THE PROPOSED CONSTRUCTION SO THAT A RESOLUTION CAN BE DETERMINED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE AND BELOW THE GROUND, ANY DAMAGE TO EXISTING UTILITIES (AS DETERMINED ABOVE) BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL COORDINATE ANY INTERRUPTION IN SERVICE WITH THE OWNER AND THE UTILITY COMPANY THREE WORKING DAYS PRIOR TO INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING AND NEW, IN THEIR CORRECT LOCATIONS, VERTICAL AND HORIZONTAL, ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.

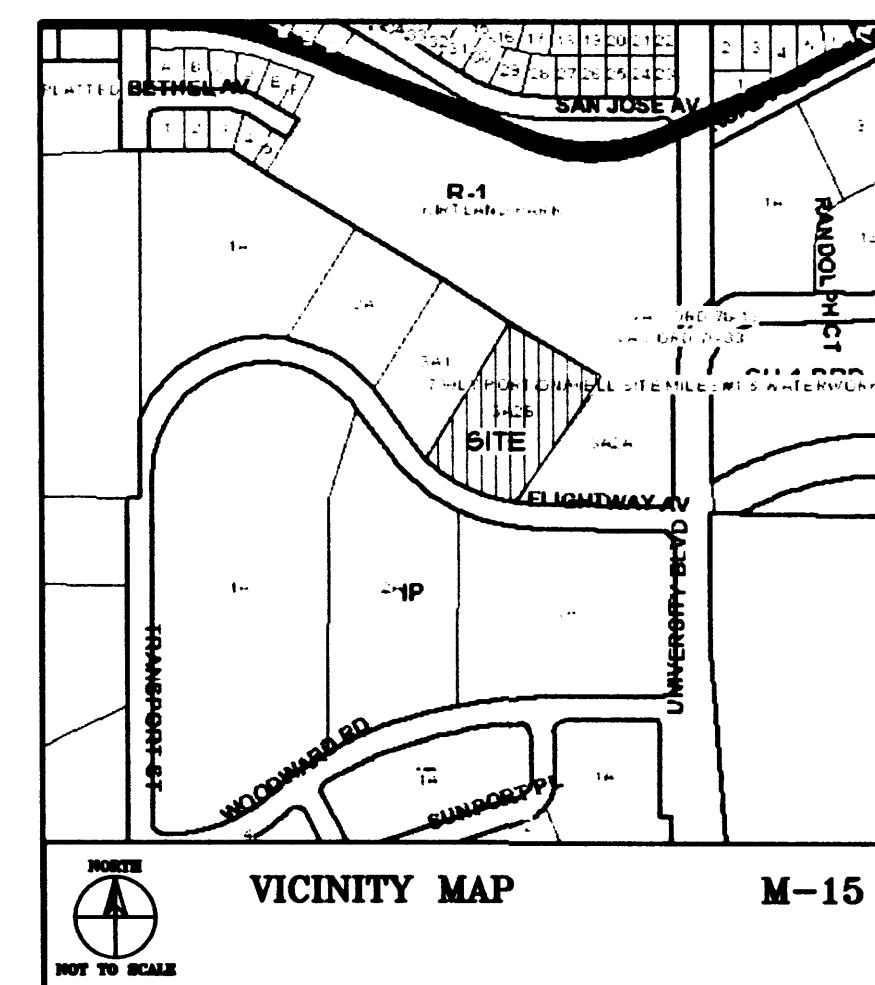
THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE PROPERTY CORNERS HAVE BEEN LOCATED BY THE OWNER

THE SUBJECT PROPERTY IS LOCATED (NEAR THE YALE AND SWARTZMAN LANDFILLS) (EXISTING) LANDFILLS. DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR), A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FT OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT THE SITE. APPROVAL BY ALBUQUERQUE ENVIRONMENT HEALTH DEPARTMENT REQUIRED

APPROVED BY, AEDH DATE 2/10/2004

GENERAL NOTES

1. THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE METES AND BOUNDS DESCRIPTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
3. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE COA STANDARDS AND PROCEDURE.
4. THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR BUILDING CODE AND ARCHITECTURAL PURPOSES ONLY.
5. THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET. SEE THE EXTERIOR ELEVATIONS FOR LOCATION.
6. TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.
7. ALL NEW FIRE HYDRANTS SHALL BE OPERATING PRIOR TO THE START OF CONSTRUCTION.
8. LANDSCAPE AND IRRIGATION MAINTENANCE INCLUDING THE PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION, BASE COURSE, AND ASPHALT PAVING REQUIREMENTS.



SITE PLAN LEGEND

- GRAVEL
- INDICATES THE EXTENT OF ASPHALT PAVING. 2" ASPHALT OVER 4" BASE COURSE.
- INDICATES THE EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS. PROVIDE CONTROL JOINT: IN SIDEWALKS 1/4" TOoled JOINTS AT 6 FT ON CENTER MAX AND 1/2" EXPANSION JOINT AT 16 FT ON CENTER.
- INDICATES THE EXTENT OF LANDSCAPED AREA.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.
- FIRE HYDRANT
- LIGHT POLE

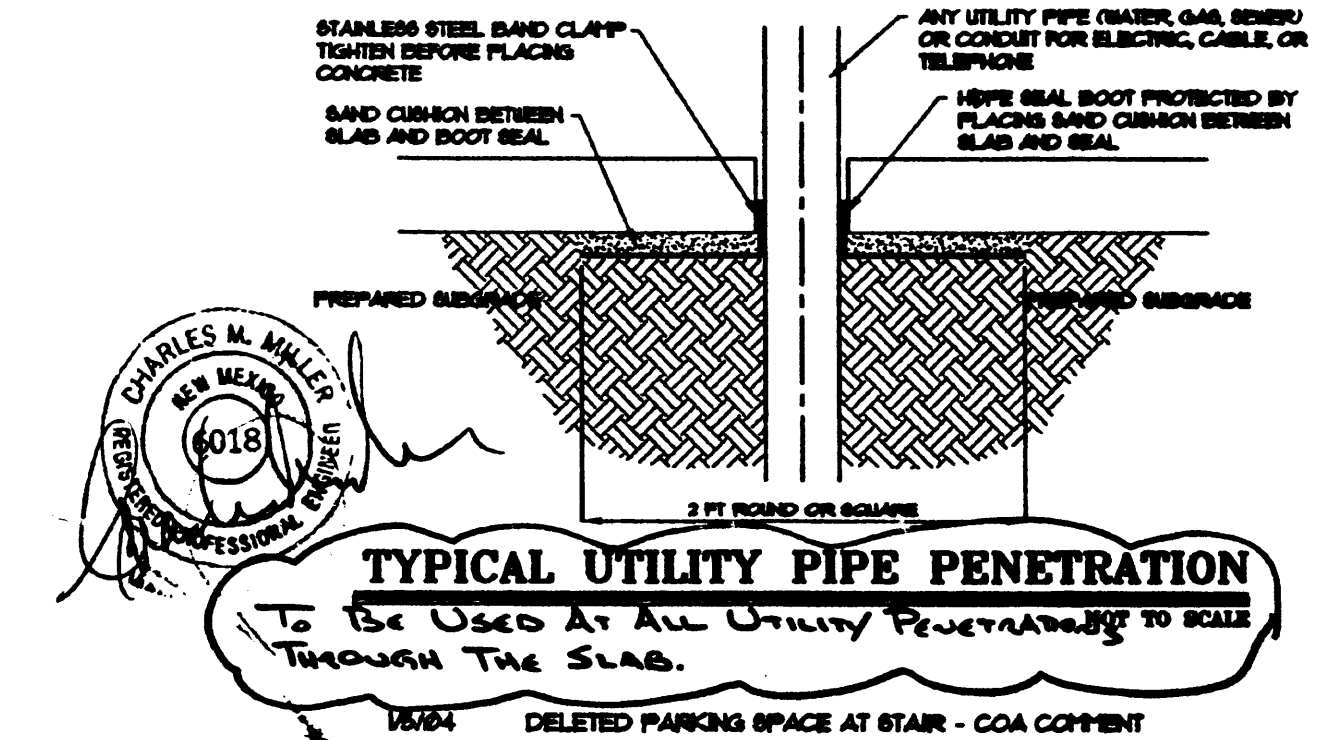
SIGNATURE BLOCK

PROJECT NUMBER: 1003365
APPLICATION NUMBER: 04000-00551
04000-00997
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
IF YES, THEN A SET OF APPROVED DEC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS
DRB SITE DEVELOPMENT PLAN APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE 4/28/04
PARKS & RECREATION DEPARTMENT DATE 4/28/04
UTILITIES DEVELOPMENT DATE 4/28/04
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE 4/28/04
SOLID WASTE MANAGEMENT DATE 4/28/04
DES CHAIRPERSON, PLANNING DEPARTMENT DATE 4/28/04
PLN2(10706) 12/16/03

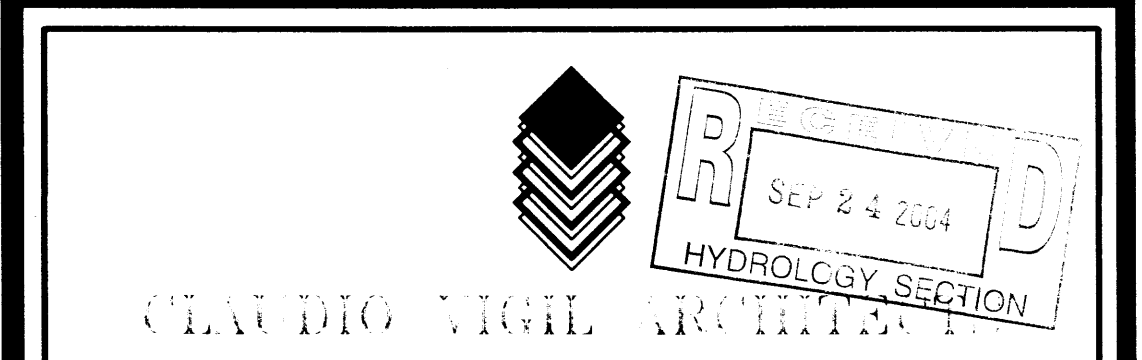
PROJECT INFORMATION

PROJECT: WAREHOUSE OFFICE SHELL
OWNER: JAYNES CORPORATION
2906 BROADWAY BLDV.
ALBUQUERQUE, NEW MEXICO
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BOULEVARD, SUITE 2
ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION: LOT 3A2B BLOCK 1 SUNPORT PARK
ZONING ATLAS MAP: M-15
ZONING CLASSIFICATION: IP
TOTAL BUILDING AREA: 25% OFFICE = 3,876 SF
WAREHOUSE = 11,626 SF
TOTAL 15,504 SF
CONSTRUCTION TYPE: TYPE V-N
BASIC ALLOWABLE AREA = 8,000 SF
SEPERATION ON 3 SIDES 25% x 60 FT = 100% INCREASE 2 x 8,000 = 16,000 SF
OCCUPANCY GROUP: GROUP B OCCUPANCY - OFFICE
GROUP S-1 OCCUPANCY - WAREHOUSE
OCCUPANCY LOAD: OFFICE 3,876/1000 = 39
WAREHOUSE 11,626/500 = 24
TOTAL 63
TOTAL LOT AREA: 97,531 SQUARE FEET (224 ACRES)
NET LOT AREA: 82,033 SQUARE FEET
PARKING ANALYSIS: REQUIRED PARKING
OFFICE - 3,876/1000 = 19.4 SPACES
WAREHOUSE - 11,626/500 = 58 SPACES
TOTAL REQUIRED PARKING 26 SPACES
TOTAL PARKING SPACES PROVIDED = 41 PARKING SPACES
(INCLUDES 3 ACCESSIBLE PARKING SPACES)
REQUIRED BIKE SPACES 41/20 = 3 SPACES
1 RACK PROVIDED 5 SPACES PER RACK

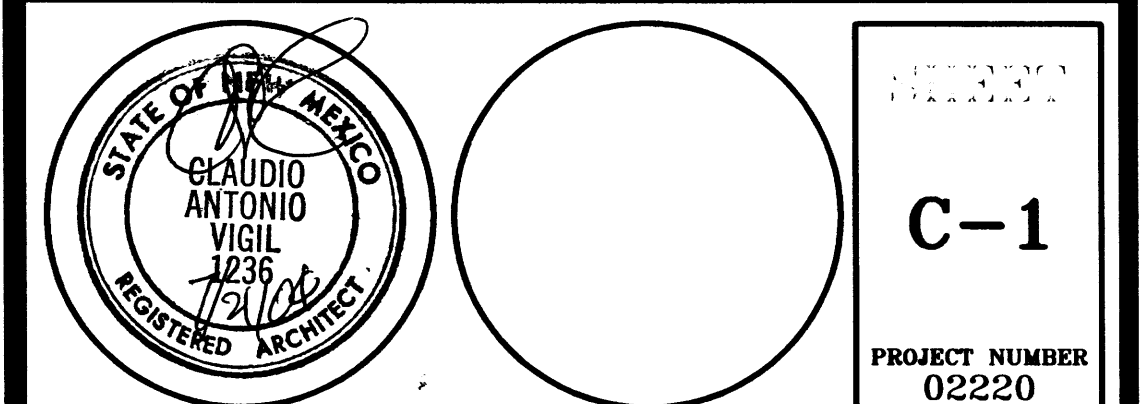
PARKING SPACE SIZES:
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.
ACCESSIBLE PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" AISLE



NORTH
S.D.P FOR
BUILDING PERMIT
APRIL 28, 2004 SCALE: 1" = 20' (U.N.O.)

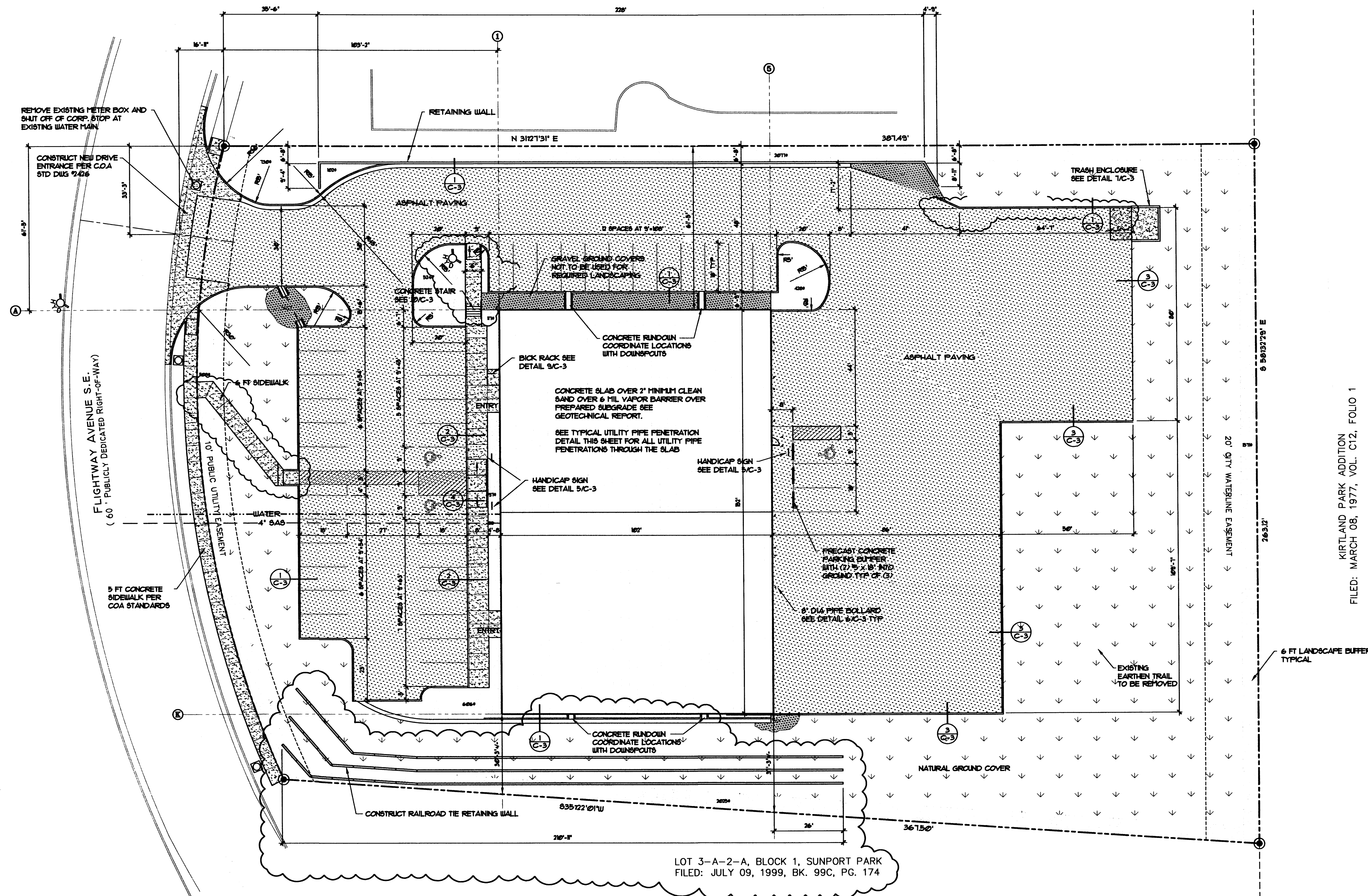


LOT 3A2B BLOCK 1
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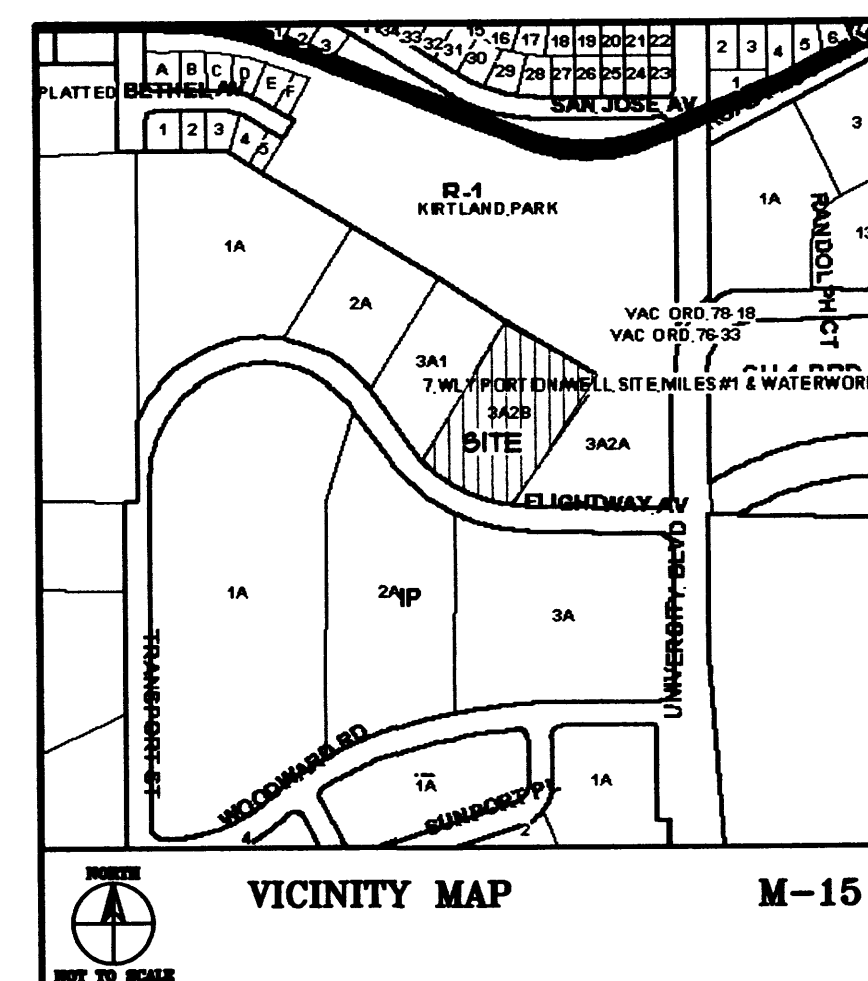
THE CONTRACTOR SHALL COORDINATE ANY INTERRUPTION IN SERVICE WITH THE OWNER AND THE UTILITY COMPANY THREE WORKING DAYS PRIOR TO INTERRUPTION.

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8. LANDSCAPE AND IRRIGATION MAINTENANCE INCLUDING THE PUBLIC RIGHT-OF-WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION, BASE COURSE, AND ASPHALT PAVING REQUIREMENTS.



SITE PLAN LEGEND

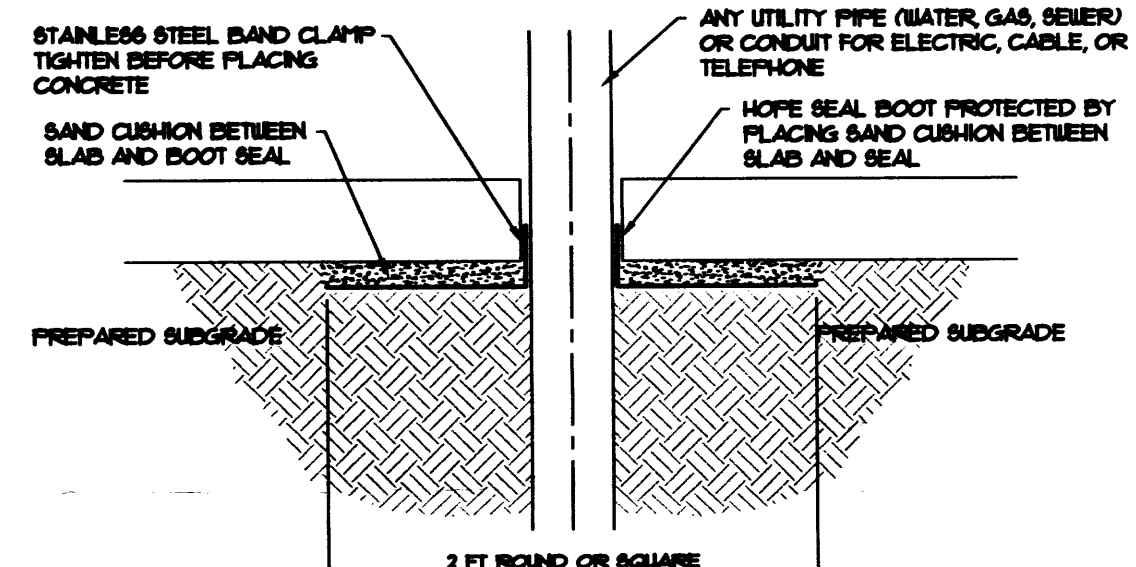
- GRAVEL
- INDICATES THE EXTENT OF ASPHALT PAVING. 2" ASPHALT OVER 4" BASE COURSE.
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- INDICATES THE EXTENT OF LANDSCAPED AREA.
- PROPERTY LINE.
- EASEMENT BOUNDARIES.
- FIRE HYDRANT
- LIGHT POLE

PROJECT INFORMATION

PROJECT: WAREHOUSE OFFICE SHELL
OWNER: JAYNES CORPORATION
7306 BROADWAY BLDV.
ALBUQUERQUE, NEW MEXICO
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BOULEVARD, N.W., SUITE 2
ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION: LOT 3A2B BLOCK 1 SUNPORT PARK
ZONING ATLAS MAP: M-5
ZONING CLASSIFICATION: IP
TOTAL BUILDING AREA: 25% OFFICE = 3,816 SF
WAREHOUSE = 1,628 SF
TOTAL 5,444 SF
CONSTRUCTION TYPE: TYPE V-N
BASIC ALLOWABLE AREA = 8,000 SF
SEPERATION ON 3 SIDES 25% x 60 FT = 100% INCREASE 2 x 8,000 = 16,000 SF
OCCUPANCY GROUP: GROUP B OCCUPANCY - OFFICE
GROUP S-1 OCCUPANCY - WAREHOUSE
OCCUPANCY LOAD: OFFICE 3,816/100 = 38
WAREHOUSE 1,628/500 = 34
TOTAL 63

TOTAL LOT AREA: 97,531 SQUARE FEET (224 ACRES)
NET LOT AREA: 82,033 SQUARE FEET
PARKING ANALYSIS: REQUIRED PARKING
OFFICE - 3,816/100 = 38.4 SPACES
WAREHOUSE - 1,628/500 = 3.3 SPACES
TOTAL REQUIRED PARKING 26 SPACES
TOTAL PARKING SPACES PROVIDED = 41 PARKING SPACES
(INCLUDES 3 ACCESSIBLE PARKING SPACES)
REQUIRED BIKE SPACES 42/20 = 2.1 SPACES
1 RACK PROVIDED 5 SPACES PER RACK

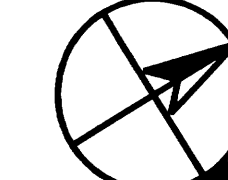
PARKING SPACE SIZES:
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 7'-0" OVERHANG.
ACCESSIBLE PARKING SPACES = 9'-0" x 18'-0" WITH A 7'-0" OVERHANG
AND A 9'-0" AISLE



TYPICAL UTILITY PIPE PENETRATION

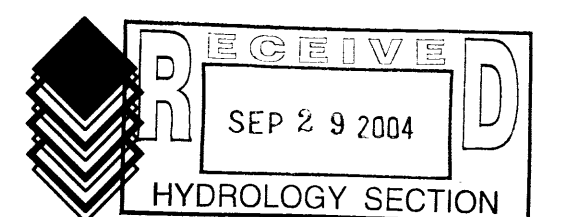
TO BE USED AT ALL UTILITY PENETRATIONS THROUGH THE SLAB
NOT TO SCALE
9/21/04 RE-PLANT OF AS BUILT
1/5/04 DELETED PARKING SPACE AT STAIR - COA COMMENT

NORTH



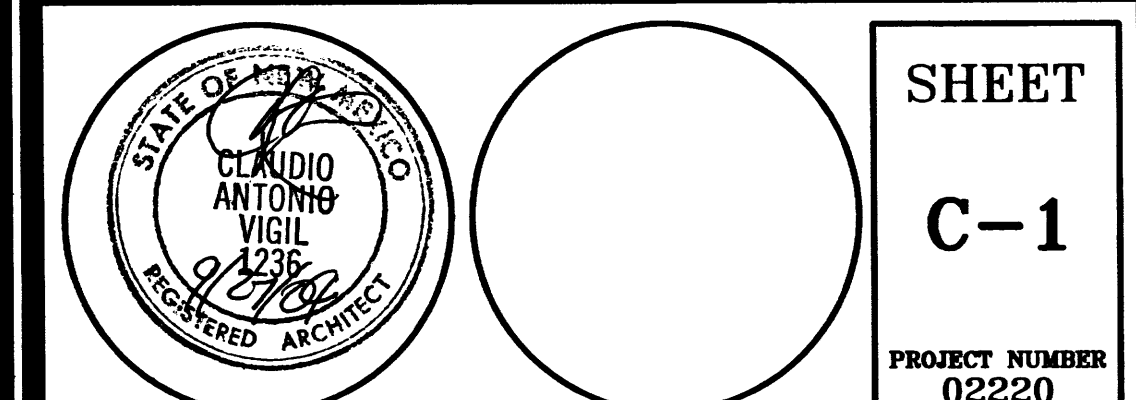
FOR DRB APPROVAL SITE PLAN

NOVEMBER 30, 2003 SCALE: 1" = 20' (U.N.O.)



CLAUDIO VIGIL ARCHITECTS

LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO



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1801 Rio Grande NW, #2, Albuquerque, NM 87104
Phone: 505/842-1113 Fax: 505/842-1330

SHEET

C-1

PROJECT NUMBER
02220

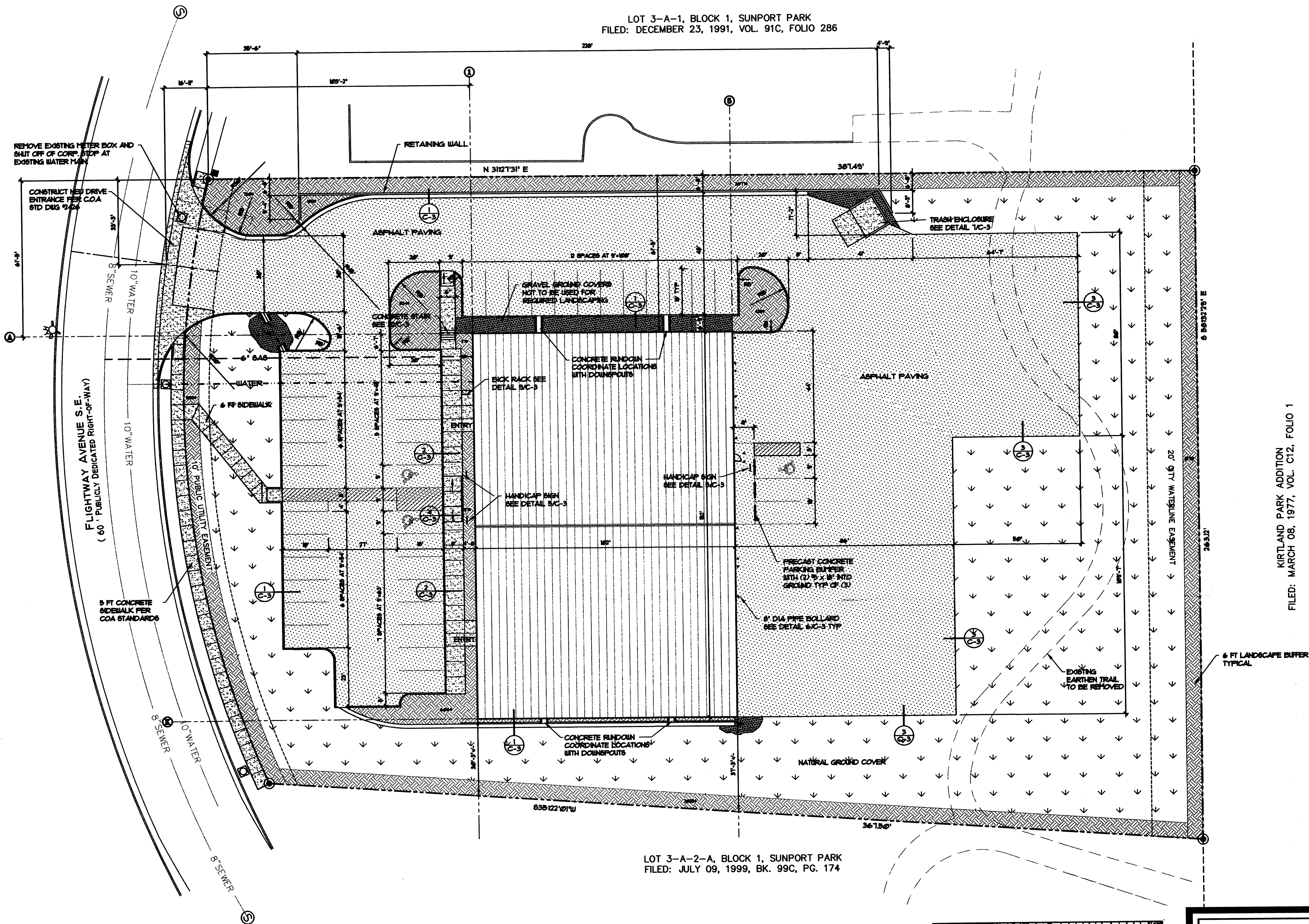
PROJECT INFORMATION

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7806 BROADWAY BLDY.
ALBUQUERQUE, NEW MEXICO
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BOULEVARD, SUITE 2
ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION: LOT 3A2B BLOCK 1 SUNPORT PARK
ZONING ATLAS MAP: H-B
ZONING CLASSIFICATION: P
TOTAL BUILDING AREA: 25% OFFICE = 3,516 SF
WAREHOUSE = 1,628 SF
TOTAL 5,144 SF

CONSTRUCTION TYPE: TYPE V-N
BASIC ALLOWABLE AREA = 9,000 SF
SEPERATION ON 3 SIDES 25% x 60 FT = 150% INCREASE 2 x 9,000 = 18,000 SF
OCCUPANCY GROUP: GROUP B OCCUPANCY - OFFICE
GROUP S-1 OCCUPANCY - WAREHOUSE
OCCUPANCY LOAD: OFFICE 3,516/100 = 35
WAREHOUSE 1,628/500 = 24
TOTAL 63

TOTAL LOT AREA: 91,831 SQUARE FEET (2.14 ACRES)
NET LOT AREA: 82,033 SQUARE FEET
PARKING ANALYSIS: REQUIRED PARKING
OFFICE - 3,516/200 = 17.6 SPACES
WAREHOUSE - 1,628/200 = 8.1 SPACES
TOTAL REQUIRED PARKING 25.7 SPACES
TOTAL PARKING SPACES PROVIDED = 41 PARKING SPACES
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KIRTLAND PARK ADDITION
FILED: MARCH 08, 1977, VOL. C12, FOLIO 1

LOT 3-A-2-A, BLOCK 1, SUNPORT PARK
FILED: JULY 09, 1999, BK. 99C, PG. 174

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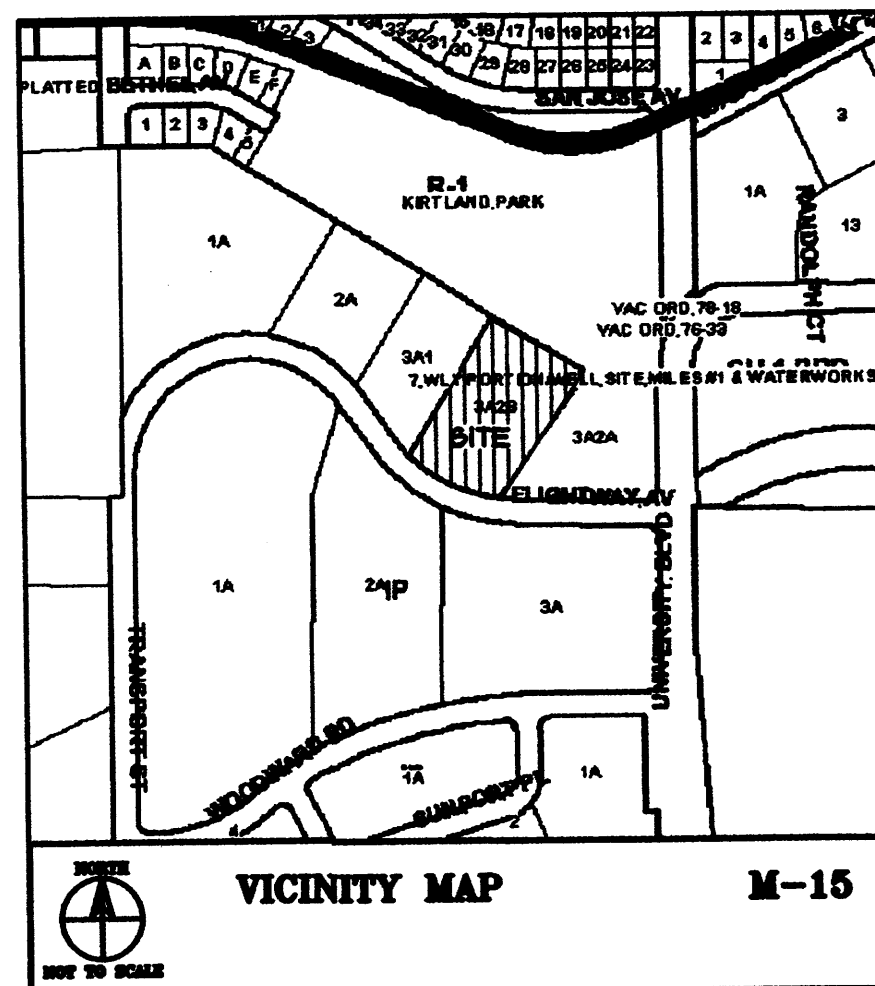
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- FIRE HYDRANT
- LIGHT POLE

CLAUDIO VIGIL ARCHITECTS

LOT 3A2B BLOCK 1
SUNPORT PARK
BUILDING SHELL
ALBUQUERQUE, NEW MEXICO

SHEET
C-1
PROJECT NUMBER
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18080 Rte 68 NE Albuquerque, NM 87112
Phone: 505/842-1113 Fax: 505/842-1330

VARIES - SEE SITE PLAN

ASPHALTIC CONCRETE PAVING - SEE SITE PLAN

COMPACTED SUB-GRADE - SEE SPECIFICATIONS

TOOL EDGE WITH $\frac{3}{8}$ " ϕ CONCRETE FINISHING TOOL

CONCRETE SIDEWALK SLOPE $\frac{1}{8}$ " PER 1'-0" TOWARDS PARKING LOT

LANDSCAPE FILL

COMPACTED FILL

ϕ 4 REBAR - CONTINUOUS, TOP & BOTTOM

4"

6"

3"

6"

[illegible]

LANDSCAPE FILL

PROVIDE THICKENED EDGE OF ASPHALT AS SHOWN

ASPHALTIC CONCRETE PAVING - SEE SITE PLAN

VARIES

COMPACTED SUB-GRADE - SEE SPECIFICATIONS

COMPACTED FILL

4'-0"

6" DIAMETER CONCRETE FILLED PIPE BOLLARD

ENCASED BOLLARD IN 6" CONCRETE ALL AROUND

6" 6" 6"

6' GROUT FILLED BOND BEAM WITH 2 - 4'S CONTINUOUS

8' CONCRETE BLOCK COLOR TO BE TAN TO MATCH USED CAR BUILDING WALL CONSTRUCTION WITH STANDARD WEIGHT DUR-O-WALL AT 16' O.C.

4'S AT 24' O.C. WITH 6" BEND INTO FOOTING

1/2" EXPANSION JOINT MATERIAL

4" CONCRETE SLABS WITH 6" x 6" W/L & W/L W/F. ON COMPACTED FILL

2 - 4'S CONTINUOUS 3' FROM BOTTOM OF CONCRETE FOOTING

2'-0"

2'-0"

1'-0"

GROUT FILL ALL CELLS SOLID BELOW GRADE

8'-0" MIN

TOOL EDGE WITH 3/4" DIA. CONC. FINISHING TOOL

CONCRETE SIDEWALK

6"

ASPHALTIC CONCRETE PAVING OR CONCRETE SLAB - SEE SITE PLAN

VARIES

6"

6"

COMPACTED SUB-GRADE - SEE SPECIFICATIONS

COMPACTED FILL

Handicap sign

1/2" BAR STOCK

WELD ANGLE TO SIGN FACE PLATE, STOP ANGLE 3/4" FROM EDGES

1'-5"

2'-0"

1 1/2" SQUARE STEEL TUBE FRAME, MITER CORNERS

18" x 24" CUSTOM METAL SIGN - BACKGROUND COLOR TO MATCH BUILDING, SYMBOL, BORDER LETTERS TO BE BLACK OR TO CONTRAST - "VAN ACCESSIBLE" LETTERS TYPICAL OF 2 SIGNS ONLY - ATTACH SIGN TO 1/2" BAR STOCK SUPPORTS WITH VANDAL PROOF BOLTS, NO FASTENERS EXPOSED ON FACE

1/2" BAR STOCK DECORATIVE MEMBERS

6" x 6" CONCRETE FOOTING 8" BELOW FINISH GRADE

4'-0" MINIMUM

SECTION
NOT TO SCALE

[illegible]

\\2002\02220-Service Electric\New Folder\SITE-DET.dwg SD7