

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 18, 2023

Amanda M. Atencio, P.E.  
Atencio Engineering  
4434 Valverde Ct.  
P.O. Box 20364  
Colorado City, CO 81019

**RE: 1341 Flightway Ave. SE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 10/10/23**  
**Hydrology File: M15D023A**

Dear Ms. Atencio:

PO Box 1293

Based upon the information provided in your submittal received 10/11/2023, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

# CITY OF ALBUQUERQUE

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Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov) .

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

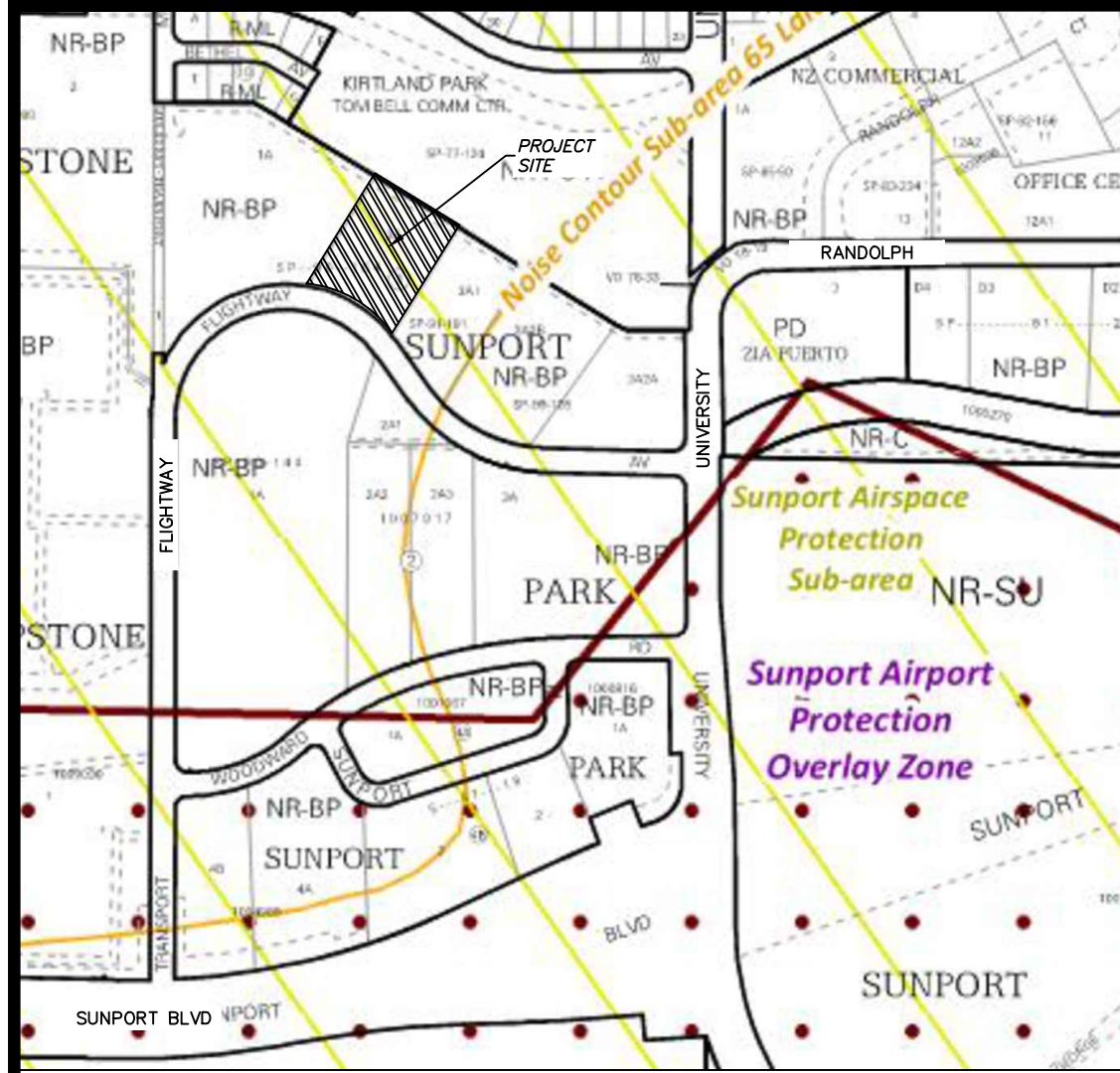
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)







VICINITY MAP  
NTS  
ZONE ATLAS MAP: M-15-Z

PEAK STORMWATER RUNOFF RATE STANDARD RATIONAL METHOD 100-YR STORM EVENT 1341 FLIGHTWAY AVE, ALBUQUERQUE NM			
Basin	Area (Acres)	Runoff Coeff (C)	*PEAK FLOW, Q <sub>100</sub> (CFS)
PRE-DEVELOPMENT	0.72	0.57	2.85
POST-DEVELOPMENT (UNDETAINED)	0.72	0.65	3.16
POND VOLUME (Cu.Ft.)			
DETENTION POND (12" WIDE WEIR OUTLET)	481		2.82

PEAK STORMWATER RUNOFF RATE CALCULATION NOTES:  
The Development Process Manual (DPM) Article 6-2(a) was utilized to for hydraulic calculations.  
Precipitation Zone: 3  
QP Values per Table 6.2.14

\*THE POST DEVELOPMENT PEAK FLOW DISCHARGE IS LESS THAN THE PRE-DEVELOPMENT DISCHARGE, WHICH MEETS CITY OF ALBUQUERQUE REQUIREMENTS.

PRE-DEVELOPMENT (PEAK DISCHARGE) Precipitation Zone: 3 Q <sub>p</sub> Values: *Table 6.2.14				
Type of Surface	Area (Sq. Ft.)	Area (acres)	Q <sub>p</sub> CFS/ACRE	TOTAL Q <sub>p</sub> Q <sub>p</sub> x Area
LAND TREATMENT B Undeveloped/Landscape	14,791	0.34	2.49	0.85
LAND TREATMENT C Gravel (Compacted)	16,705	0.38	3.17	1.22
Sub Total	31,496	0.72		2.85

POST-DEVELOPMENT (PEAK DISCHARGE) Precipitation Zone: 3 Q <sub>p</sub> Values: *Table 6.2.14				
Type of Surface	Area (Sq. Ft.)	Area (acres)	Q <sub>p</sub> CFS/ACRE	TOTAL Q <sub>p</sub> Q <sub>p</sub> x Area
LAND TREATMENT B Undeveloped/Landscape	6,527	0.15	2.49	0.37
LAND TREATMENT C Gravel (Compacted)	21,769	0.50	3.17	1.58
LAND TREATMENT D Impervious	3,200	0.07	4.49	0.33
Sub Total	31,496	0.72		3.16

DETENTION POND DESIGNED W/12" WEIR OUTLET					
	Top Elevation	Area (FT <sup>2</sup> )	Bottom Elevation	Area (FT <sup>2</sup> )	Volume Provided (FT <sup>3</sup> )
Onsite Pond	5079.15	580	5078.15	382	481

STORMWATER QUALITY VOLUME (SWQV)				
Type of Surface	Area (Sq. Ft.)	Storm (inches)	Required Volume (FT <sup>3</sup> )	Volume Provided (FT <sup>3</sup> )
* Impervious Post Development	3,200	0.26	69.33	82

DISCHARGE  
PRE-DEVELOPMENT: 2.85 CFS  
POST DEVELOPMENT W/POND  
AND DISCHARGE OUTLET: 2.82 CFS

DETENTION POND  
W/12" WEIR OUTLET  
WEIR ELEVATION: 5078.20  
TOP OF POND: 5079.15  
BOTTOM OF POND: 5078.15  
VOLUME PROVIDED: 481 FT<sup>3</sup>  
100 YR WATER SURFACE ELEVATION: 5079.00

SWQV BMP  
BOTTOM OF BMP: 5078.15  
WATER SURFACE ELEVATION: 5078.35  
REQUIRED SWQV VOLUME: 69 FT<sup>3</sup>  
VOLUME PROVIDED: 82 FT<sup>3</sup>

EXISTING MAINTAIN DRAINAGE PATTERN

EXISTING CURB CUT  
EX FL 74.06±  
EX FL 74.94±

EXISTING CURB AND GUTTER

FLIGHTWAY AVE SE

EXISTING 10" POWER AND COMMUNICATIONS EASEMENT

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 10/18/23  
BY: *Renee C. Brissette*  
HydroTrans #: M15D023A  
THE APPROVAL OF THESE PLANS DOES NOT BE  
CONSIDERED A GUARANTEE OF ANY CITY  
OFFICIALS OR A GUARANTEE OF THE  
CITY OF ALBUQUERQUE'S FROM PROCEEDING  
WITH THE PROJECT. THE CITY OF ALBUQUERQUE  
SPECIFICATIONS OR CONSTRUCTION, SUCH APPROVED PLANS  
SHALL NOT BE CONSIDERED A GUARANTEE OF ANY CITY  
OFFICIALS OR A GUARANTEE OF THE CITY OF ALBUQUERQUE'S  
FROM PROCEEDING WITH THE PROJECT.  
APPROVAL OF GRADING & DRAINAGE PLANS(S) SHALL EXPIRE  
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

SHEET INDEX:

SHEET NO. C-1 SHEET TITLE GRADING AND DRAINAGE PLAN

LEGAL DESCRIPTION:

LOT 2-A IN BLOCK 1, SUNPORT PARK  
ALBUQUERQUE, NM

BENCHMARK NOTE:

STA. "1-25-31" ELEVATION 5062.528

KEY NOTES:

IDO ZONING: NR-BP

PURPOSE OF ADU: TO STORE PROPERTY OWNERS CAR  
COLLECTION.

NO MECHANICAL OR PLUMBING WILL BE INSTALLED IN THE  
PROPOSED ADU.

EXISTING CONDITIONS:

THE EXISTING CONDITIONS FOR THIS SITE IS WITHIN THE SUNPORT  
PARK PHASE 1 MASTER DRAINAGE PLAN AND HAS AN ALLOWABLE  
DISCHARGE OF 3.2 CFS TO FLIGHTWAY AVE.

DRAINAGE NOTE:

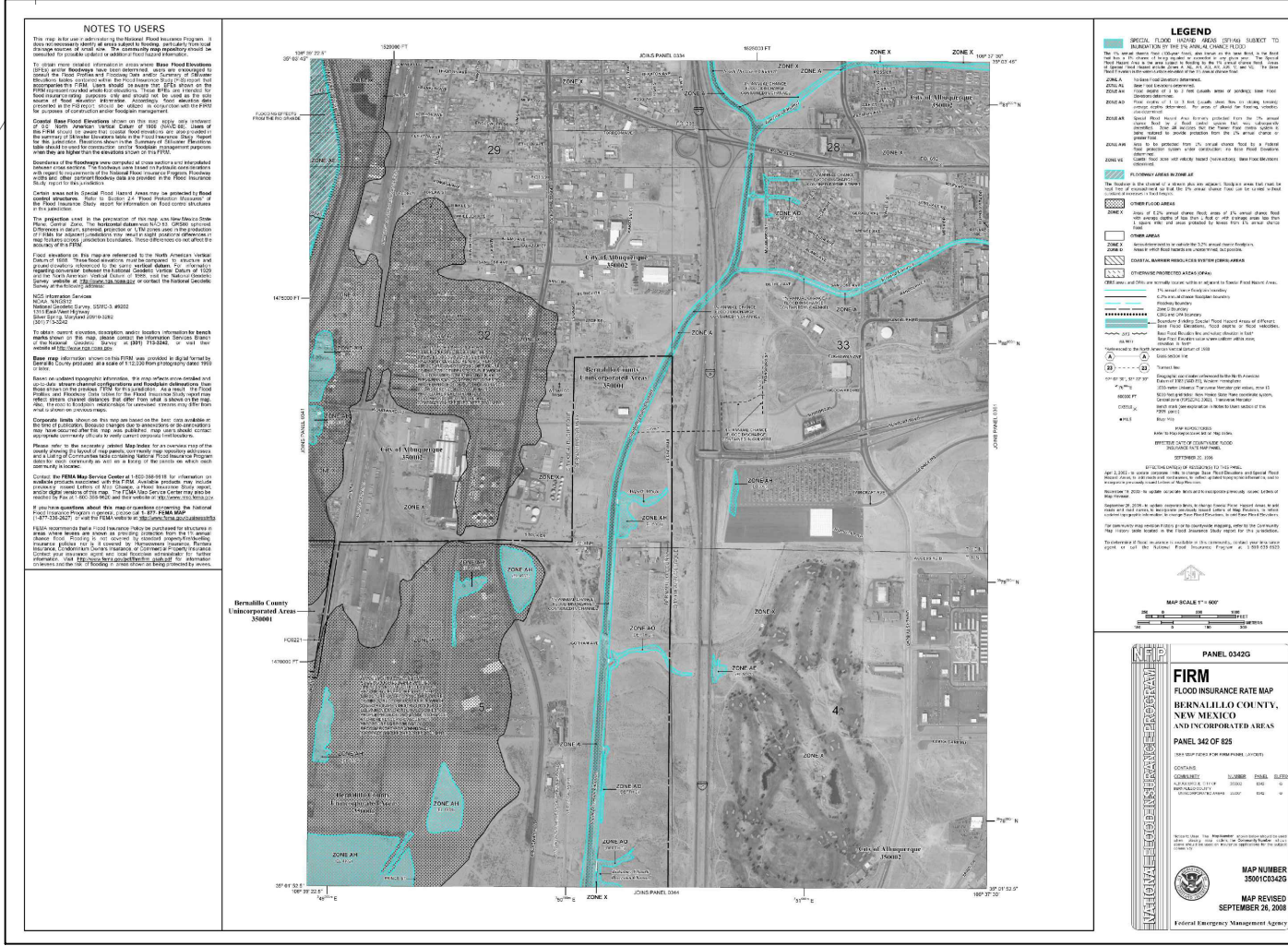
THE RUNOFF FROM THE IMPROVEMENTS WILL SHEET FLOW TO THE  
PROPOSED POND LOCATED SOUTH OF THE PROPOSED ADU TO  
DETAIN THE INCREASE OF RUNOFF OF POST DEVELOPMENT  
CONDITIONS. THE POND IS DESIGNED WITH A 12" WEIR OUTLET  
TO CONTROL THE DISCHARGE OF POST DEVELOPMENT CONDITIONS.  
THERE IS NO INCREASE IN DISCHARGE. THE EXISTING DRAINAGE  
PATTERNS WILL REMAIN TO THE WEST DRIVEWAY ONTO FLIGHTWAY  
AVENUE PER THE REVISED MASTER PLAN.

FLOODPLAIN NOTE:

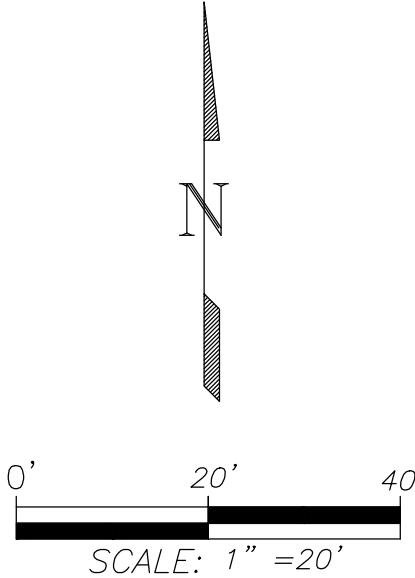
THE PROJECT SITE DOES NOT LIE WITHIN ANY 100 YEAR  
FLOOD HAZARD AREA AS SHOWN ON FEMA FIRM PANEL 0342G.

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FIRM MAP  
MAP #35001C0342G  
PANEL 342 OF 825  
EFFECTIVE DATE: SEPTEMBER 26, 2008



LEGEND	
---	PROPERTY LINE
---	DRAINAGE BASIN
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	EXISTING GRAVEL
---	EXISTING CONCRETE
---	EXISTING ASPHALT
---	PROPOSED GRAVEL
---	PROPOSED SPOT ELEVATION
---	EXISTING GRADE
---	FINISHED GRADE
---	FLOW DIRECTION
---	FINISHED FLOOR ELEVATION

Civil Design Group  
PO Box 24154, Santa Fe, NM 87502  
E-MAIL: [pearl@cdg-nm.com](mailto:pearl@cdg-nm.com)  
Phone: 575-571-5164

ATENCIO ENGINEERING, INC.  
CONSULTING CIVIL ENGINEERS  
4434 VALVERDE COURT  
P.O. BOX 20364  
COLORADO CITY, CO 81019  
57 VENTERO RD  
P.O. BOX 143  
AMALIA, NM 87512  
OFFICE: (719) 676-2551

REVISIONS	
DATE	DESCRIPTION

Professional Engineer  
19213  
10/10/23

DESIGN:	DATE
PLB	10/10/23
DRAFTED:	PLB
APPROVAL:	AMA
SCALE:	AS SHOWN
SHEET SIZE:	24 x 36
FILE:	100-23-002 1341 Flightway Ave_GRADE.dwg
PROJECT NUMBER:	1000-23-002
CLIENT CONTACT INFO:	KJ ENTERPRISE & DEVELOPMENT 7125 CECILIA DR SW ALBUQUERQUE, NM 87105 JAMESPADILLA43@YAHOO.COM 505-550-9528

SITE LOCATION:  
  
1341 FLIGHTWAY AVE.  
ALBUQUERQUE, NM 87106

PROJECT NAME:  
GARCIA & GARCIA  
AIR CARGO TRANSPORT  
1341 FLIGHTWAY AVE.  
ALBUQUERQUE, NM 87106

SHEET TITLE:  
GRADING AND  
DRAINAGE PLAN

SHEET NO:  
C - 1