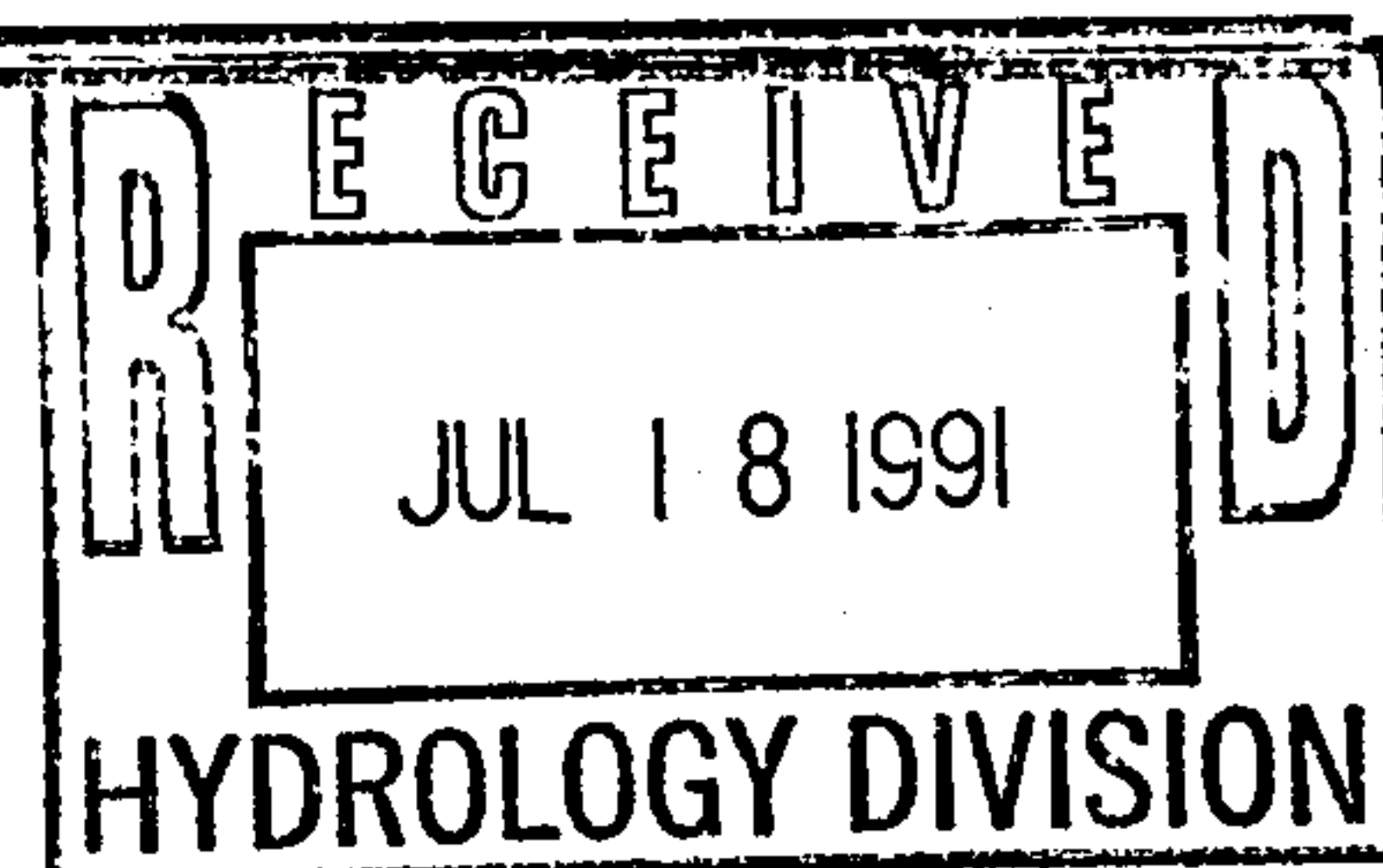




City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



July 17, 1991

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Wayne Hollowell
W & W Freight, Inc.
1341 Flightway Avenue S.E.
Albuquerque, NM 87106

RE: PROJECT NO. 4224.90, W & W FREIGHT - FIRE HYDRANT, (MAP NO. M-15)

Dear Mr. Hollowell:

This is to certify that the City of Albuquerque accepts Project No. 4224.90 as being completed according to approved plans and construction specifications. The City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 4224.90.

The project is described as follows:

- Installed fire hydrant at 1341 Flightway Avenue, four blocks west of University.
- The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Brian L. Speicher, P.E.
Chief Construction Engineer
Design/Construction Division
Engineering Group
Public Works Department

BLS:kt

LETTER OF ACCEPTANCE FOR PROJECT NO. 4224.90
July 17, 1991
Page Two (2)

xc: Andrews, Asbury & Robert, Inc.
Sundance Mechanical
~~Fred Aguirre~~, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Steve Gonzales, Special Assessments
Sam Hall, Operations Group, PWD
A. N. Gaume, Operations Group, PWD
Jim Fink, Operations Group, PWD
Ray Chavez, Engineering Group, PWD
Jon Ertsgaard, Water/Wastewater Group, PWD
Dave Parks, Engineering Group, PWD
Tom Kennerly, Engineering Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Lynda Michelle Devanti, Engineering Group, PWD
Richard Zamora, Engineering Group, PWD
Kelly Trujillo, Engineering Group, PWD
f/Project 4224.90
f/Warranty
f/Readers

(INP 139975)

91028187



File with M15-D23A

0004175

This Drainage Covenant, between Sunport Joint Venture ("Owner"), whose address is PO Box 26841, Albuquerque, NM 87125, and the City of Albuquerque, New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the owner of certain real property described as: Lot 3-A in Blk 1, Sunport Park, a replat of Lots 1 & 2 Blk 1, Albuquerque, NM, August 199 in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain Drainage Facilities on the Property, and the parties wish to enter into this Agreement to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage Facility" within the Property at Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. M-15/D23A: A trainer dike and desilting basin as shown on the W&W Freight Drainage. To be maintained until the development of Lot 3-A changes the need for the trainer dike.

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within 30 days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

(Approved by Legal Dept.
as to form only 06/90)

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's repair or maintenance following notice to the Owner as required in this agreement or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City.

8. Indemnification. Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Agreement may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer, or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this agreement shall be construed to relieve the Owner, his heirs, assigns, and successors from an assessment against Owner's Property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of given formal written notice to the Owner, Owner's address is:

Sunport Joint Venture

PO Box 26841

Albuquerque, NM 87125

Notice may be given to the Owner either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three days after the notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by given written notice of the change by Certified Mail, return receipt requested, to the City Public Works Department, P.O. Box 1293, Albuquerque, New Mexico, 87103.

12. Term. This Agreement shall continue until terminated by the City pursuant to Section 9 above.

13. Binding on Owner's Property. The covenants and obligations of the Owner said forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running the Owner's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supercedes any and all other agreements or understanding, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

OWNER:

By: *J. Howard Mock*
 Its: General Partner
 Dated: 4-7-91

STATE OF New Mexico)
) ss
 COUNTY OF Bernalillo)

The foregoing instrument was acknowledged before me this 9 day of April, 1991, [by name of person:] J. Howard Mock, [title or capacity, for instance "president" or "owner":] General Partner of [Subdivider:] Sunport Joint Venture.

Deanne Whitworth
 Notary Public

My Commission Expires:
12/7/93

CITY OF ALBUQUERQUE:

Approved:

By: *Russell B. Linder*
 Title: City Engineer
 Dated: 4-11-91

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO
 FILED FOR RECORD

91 APR 15 PM 3:52

BK BCR PG 4125-4179
 GLADYS M. DAVIS
 CLERK & RECORDER
 DEPUTY

(EXHIBIT A ATTACHED)

(Approved by Legal Dept.
 as to form only 06/90)

0004178

LOT 1A

0105

LOT 2A

LOT 3A

FLIGHTWAY

DESILTING BASIN
(SEE DETAIL.)

TEMPORARY
TRAINER
DIKE

Block

76.8

76.2

TC 77.6
FL 77.1

75.9

TC 77.4
FL 76.9

OFFSITE DRAINAGE PLAN

SCALE: 1" = 100'-0"

Exhibit "A"

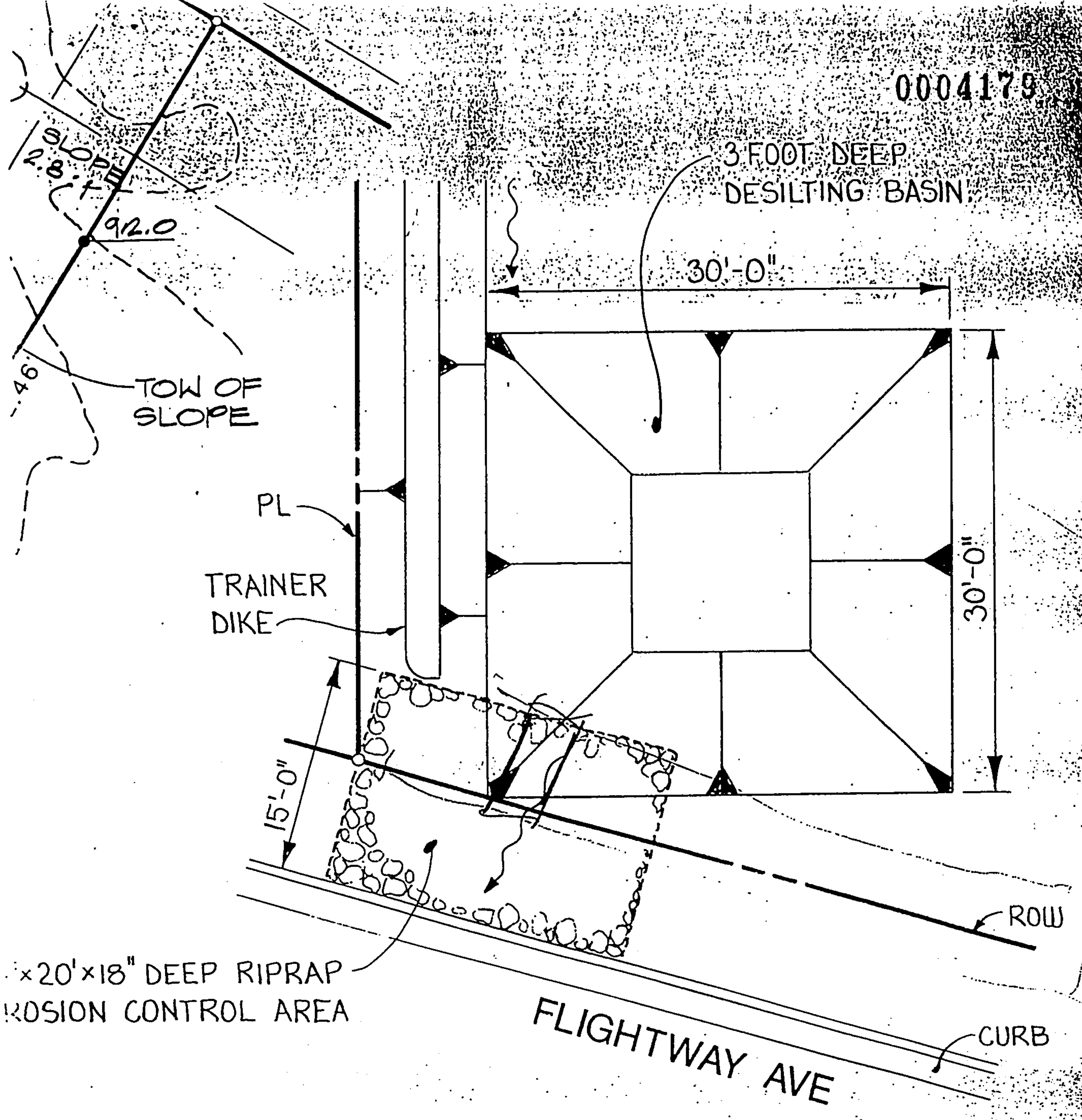
2.0'

COMPACT
TO 90%
DENSITY

2.0'

4:1

0004179



DESILTING BASIN DETAIL

Exhibit "A"

AGE PLAN

The project site does not lie within any 100 year flood hazard areas shown on FEMA FIRM Community Panel #0035. The site's soils are Bluepoint and Wink (WaB) Association and are classified by the SCS as hydrologic group "A" and "B" respectively.

Plan Compliance: The revised (1990) Sunport Park Phase I Drainage indicates that the project site has free discharge into Flightway Ave. The sites grading and drainage will be in compliance with the master

TC
TA
FL

Rev





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 2, 1991

Stephen L. Crawford, P.E.
BPLW Engineers/Architects
2400 Louisiana Boulevard, NE Suite 400
Albuquerque, New Mexico 87110

RE: ENGINEER'S CERTIFICATION FOR W.W. FREIGHT (M-15/D23A)
ENGINEER'S STATEMENT DATED MARCH 27, 1991

Dear Mr. Crawford:

Based on the information provided on your submittal of March 28, 1991, the Certification for the referenced site is acceptable.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj
(WP+1850)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

D23A

PROJECT TITLE: WLD FREIGHT ZONE ATLAS/DRNG. FILE #: M-15-2

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 2A, BLOCK 1, SUNPORT ADDITIONCITY ADDRESS: 1341 FLIGHTWAY AVE SEENGINEERING FIRM: BPLW ARCH + ENGR CONTACT: ANN HARKANADDRESS: AFC 2400 LOUISIANA
SUITE 400 ABQ, NM 87102 PHONE: 881-2759

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: BPLW CONTACT: DAVE ELLEN

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

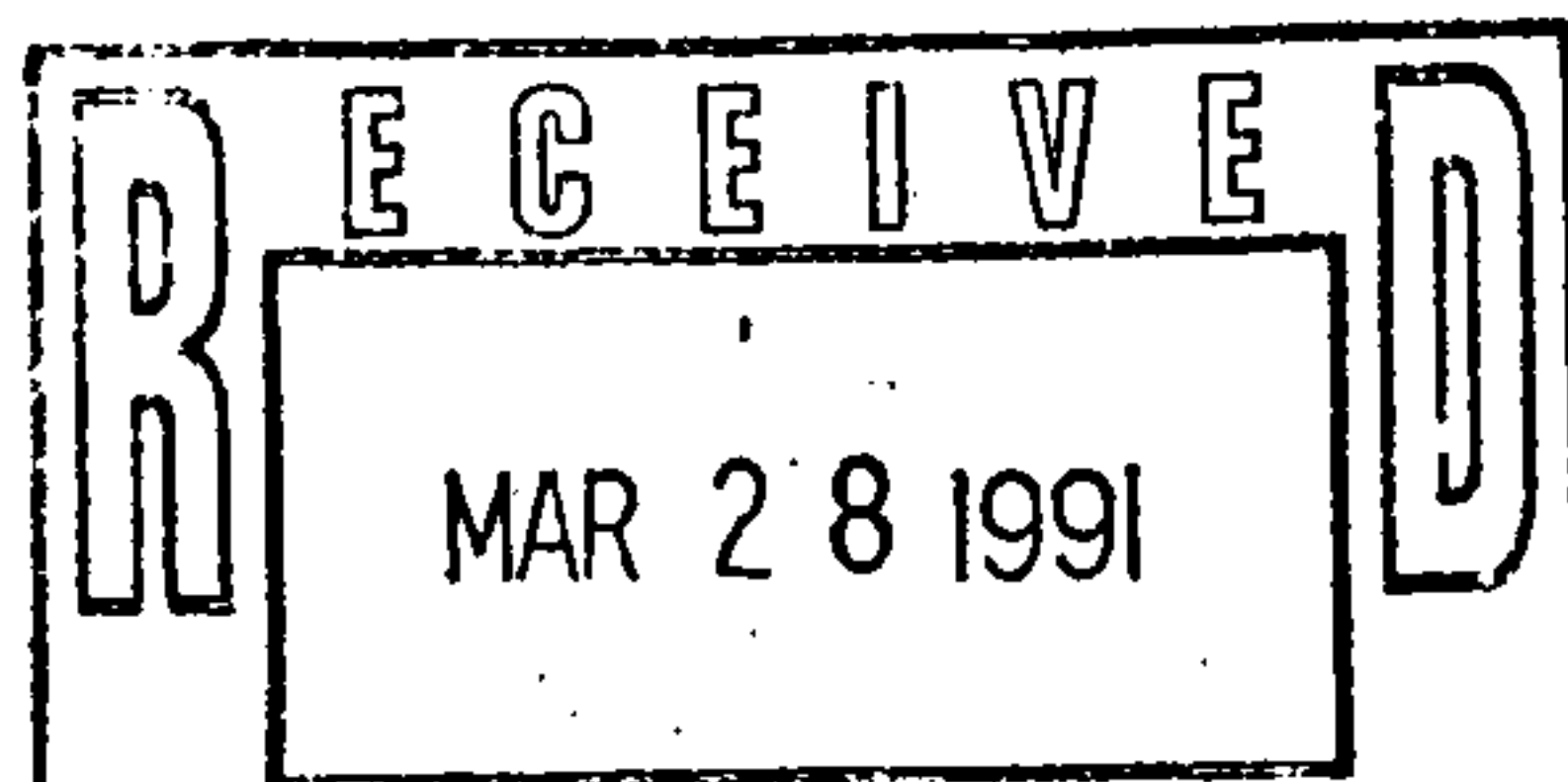
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3-28-91 DIVISIONBY: Ann Harkan

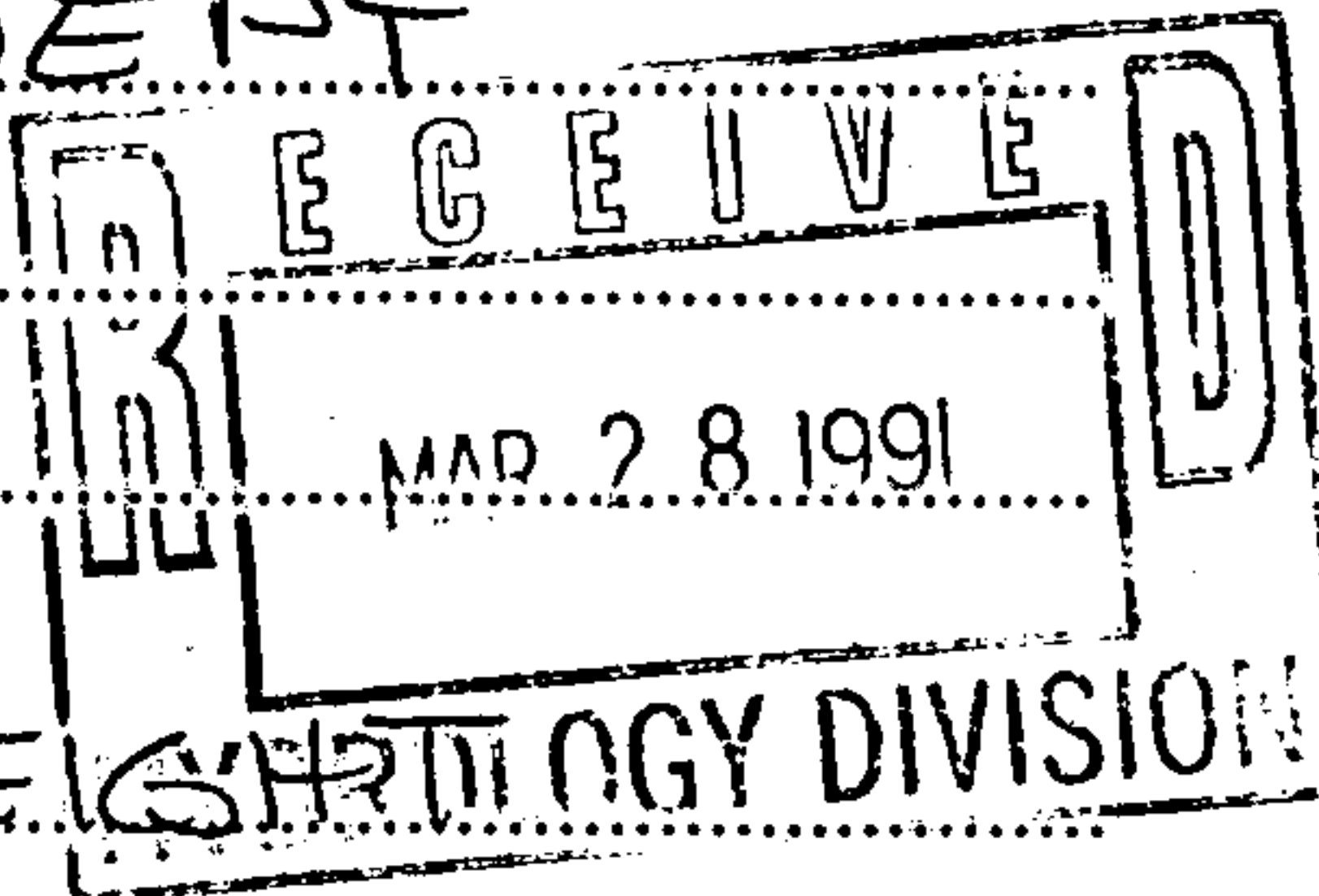
Date: March 28, 1991

BPLW



ATTN: GILBERT ALDEZ

HYDROLOGY DEPT



Architects & Engineers, Inc.

American Financial Center #5
2400 Louisiana Blvd NE
Suite 400
Albuquerque, New Mexico 87110
(505) 881-2759 FAX (505) 881-1230

PROJECT: (name, address)

WW

FREIGHT LOGISTICS DIVISION

1341 FLIGHTWAY AVE SE

ALBUQUERQUE, NM

PROJECT NO:

If checked below, please:

☐ Acknowledge receipt
of enclosures.

☐ Return enclosures to us

We Transmit the Following:

Copies

Description

1 GRADING + PAVING PLAN (AS-BUILTS)

If enclosures are not as noted, please inform us immediately.

Remarks:

MAINTENANCE COVENANT FOR DESIKTING

BASIN AND TRAINER DIKE FROM

OWNERS OF LOT 3A WILL FOLLOW

IN A FEW DAYS

Copies to:

By

Ann Gorman

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 7, 1991

Stephen L. Crawford
BPLW Engineers/Architects
2400 Louisiana Boulevard, NE Suite 400
Albuquerque, New Mexico 87110

NE Suite
87110

RE: REVISED DRAINAGE PLAN FOR W & W FREIGHT
(M-15/D23A) REVISION DATED DECEMBER 28, 1990

Dear Mr. Crawford:

Based on the information provided on your submittal of January 4, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, please be advised that prior to Certificate of Occupancy release the following must be completed:

1. Engineer's Certification per the DPM Certification Checklist.
2. The executed Maintenance Covenant for the dike and sediment pond.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
for Fred J. Aguirre, P.E.
Hydrologist

xc: Dave Zoladz, Jaynes Corporation

BJM:FJA/bsj

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

3rd floor

PROJECT TITLE: W W Freight ZONE ATLAS/DRNG. FILE #: M-15/D23A

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2A, Block 1, Sunport Addition

CITY ADDRESS: 1341 Flightway Ave, SE

ENGINEERING FIRM: BPLW Arch & Engineers CONTACT: Steve Crawford

ADDRESS: 2400 Louisiana Blvd, Suite 400 PHONE: 881-2759
APR 87/10

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

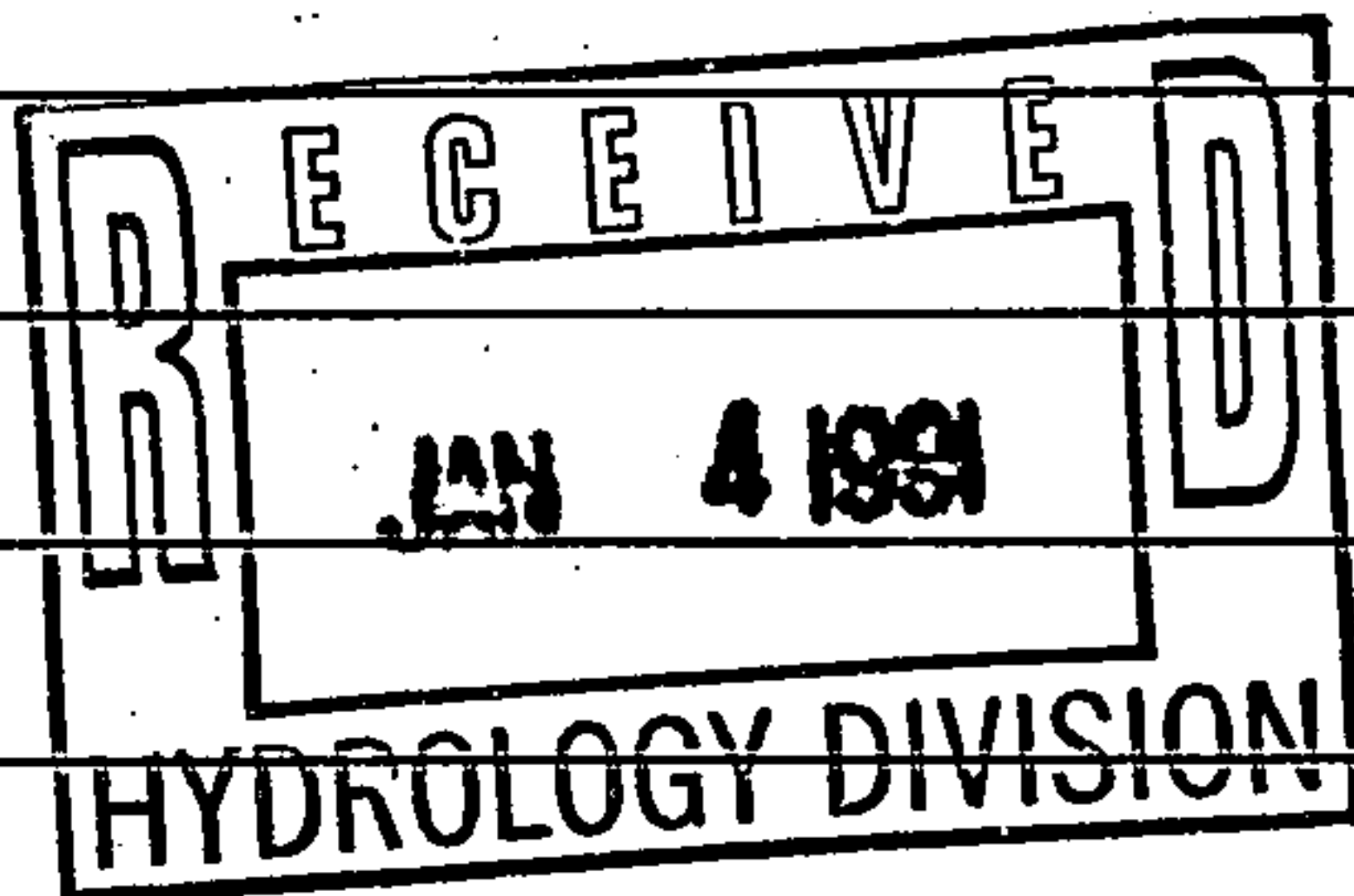
ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____



TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: Jan 3, 1990

BY: [Signature]

01-3-91
Date: ~~12/18/90~~

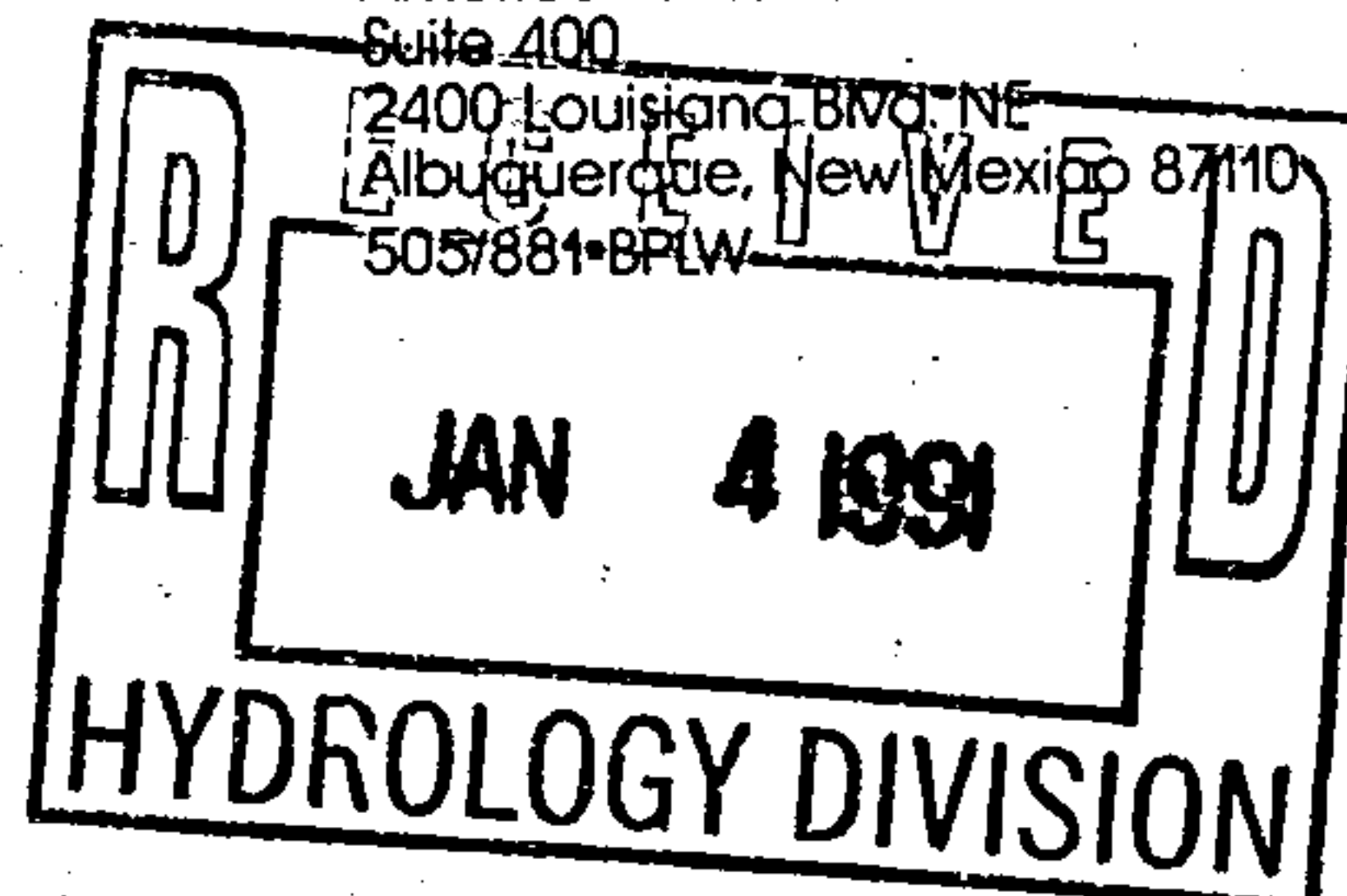
BPLW



Architects & Engineers, Inc.

ATTN: City Hydrology
Mr. Bernie Montoya

American Financial Center #5
Suite 400
2400 Louisiana Blvd. NE
Albuquerque, New Mexico 87110
505/881-BPLW



PROJECT: (name, address)

WW Freight (M-15/D23A)

PROJECT NO:

If checked below, please:

- ☐ Acknowledge receipt of enclosures.
☐ Return enclosures to us.

We Transmit the Following:

Copies

Description

1 Drainage Plan

If enclosures are not as noted, please inform us immediately.

Remarks:

Bernie, I would like to defer submitting the drainage covenant for maintenance of the offsite dike & basin to the Certificate of Occupancy stage. The owners need a building permit immediately & the maintenance covenants take time to prepare and sign and record.

Thanx

By

Copies to:

DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W FREIGHT ZONE ATLAS/DRNG. FILE #: M-15/023A
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: PORTION LOT 1, BLOCK 1, REPT OF SUGPORT PARK
 CITY ADDRESS: 1341 FLIGHTWAY AVE
 ENGINEERING FIRM: BLW CONTACT: STEVE CRAWFORD
 ADDRESS: 2400 LOUISIANA SUITE 400 PHONE: 881-2759
 OWNER: W & W FREIGHT CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: BLW CONTACT: _____
 ADDRESS: 2400 LOUISIANA SUITE 400 PHONE: CHARLIE COTERO
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: JAYNES CORP. CONTACT: DAVID ZOLADZ
 ADDRESS: 2906 BROADWAY NE PHONE: 345-8591

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

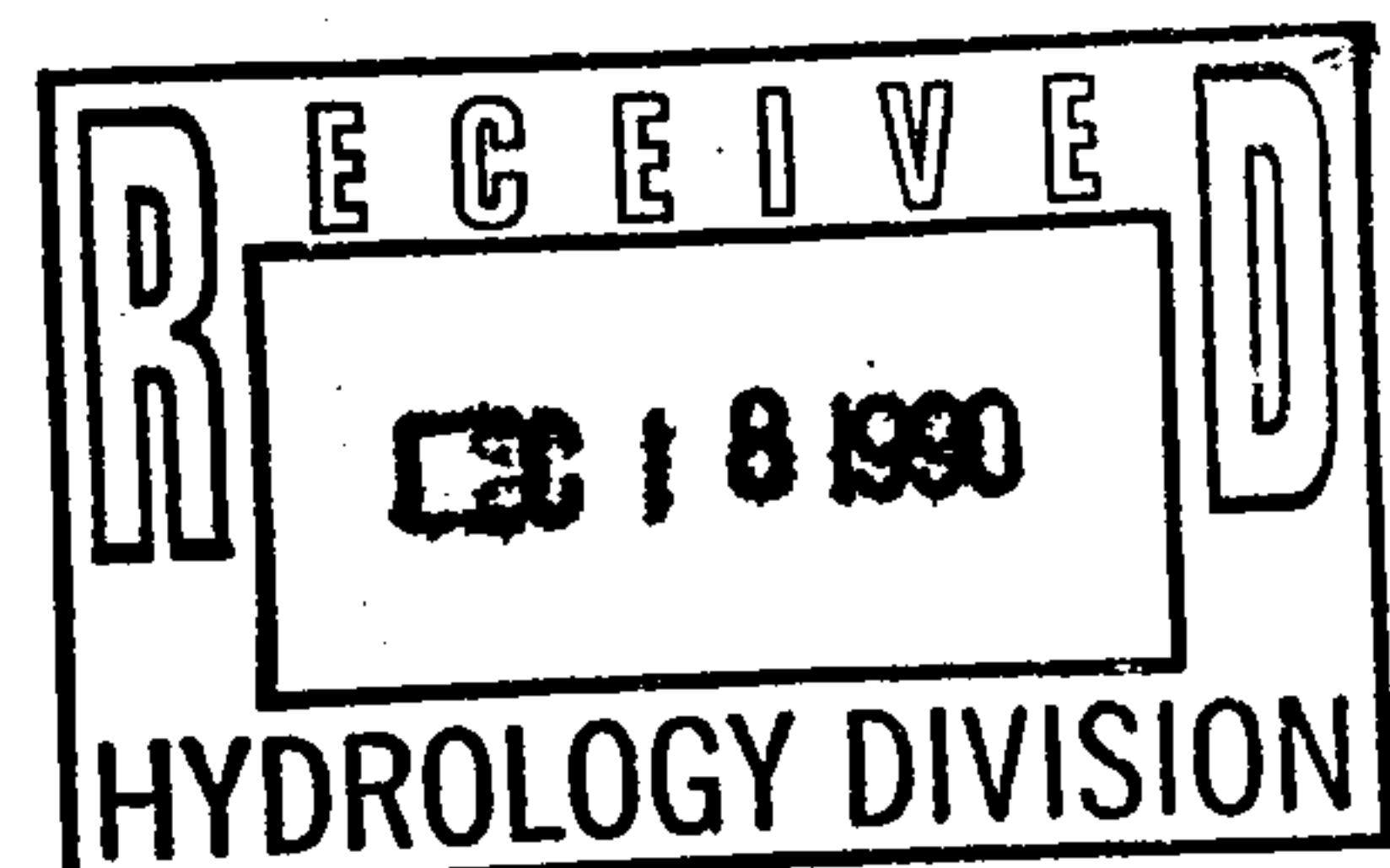
PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 12-19-90
 BY: David A. Zoladz





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 2, 1990

Stephen L. Crawford
BPLW Engineers/Architects
2400 Louisiana Boulevard, NE Suite #400
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR W & W FREIGHT
(M-15/D23A) REVISION DATED JUNE 29, 1990

Dear Mr. Crawford:

Based on the information provided on your resubmittal of July 13, 1990, the referenced drainage plan is approved for site development.

Prior to building permit release, the following will need to be addressed:

1. Revised master plan must identify street capacity prior to building permit release. One foot water block may not be sufficient.
2. The temporary trainer dike is located within Lot 2, which means that the following concerns apply.
 - a. Permission to grade within Lot 2 from the appropriate land owner.
 - b. Maintenance agreement between the property owners identifying who is charged with the maintenance of the dike.
 - c. What type of sediment control do you propose for the runoff being routed towards Flightway Avenue, SE from the proposed dike?
3. Finish floor elevation must be to full mean sea level.
4. Erosion control plan must be submitted for review and must be implemented immediately due to the rainy season and also because of the sediment problems experienced already.
5. Please show all calculations for computing the composite C using the Emergency Rule.
6. Please indicate the undeveloped flows.

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

Stephen L. Crawford
August 2, 1990
Page 2

7. The offsite flows of 1.4 cfs shown on the east side of the project.
How will the sediment be controlled from that area?
8. Reseeding schedule must also be submitted.
9. Please include a permanent T.B.M. within the site area.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
for Fred J. Aguirre, P.E.
Hydrologist

BJM:FJA/bsj
(WP+1850)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W Freight ZONE ATLAS/DRNG. FILE #: M-15/D23A
 LEGAL DESCRIPTION: Portion Lot 1, Block 1, Replat of Sunport Park
 CITY ADDRESS: Flightway Ave, SE
 ENGINEERING FIRM: BPLW Arch & Engineers CONTACT: Steve Crawford
 ADDRESS: 2400 Louisiana, Suite 400 PHONE: 881-2759
ABQ, NM 87110
 OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: BPLW Arch & Eng CONTACT: Charlie Otero
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: Jaynes Construction CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. 90-205
 EPC NO. _____
 PROJ. NO. _____

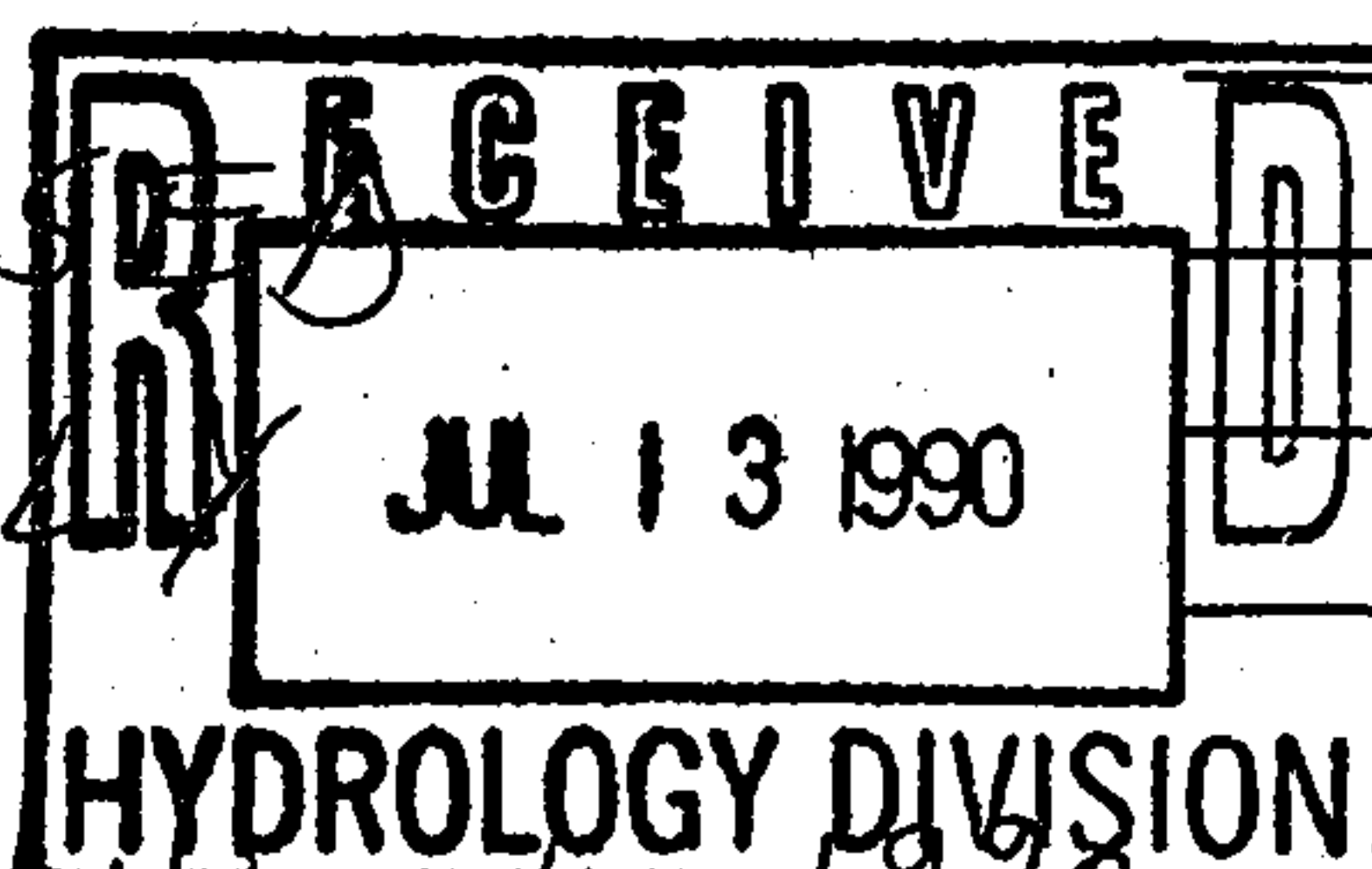
TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☒ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
 OTHER _____ (SPECIFY)

NOTE: REVISIONS
 COMPLETE



DATE SUBMITTED: July 1, 1990
 BY: [Signature]

Date: July 2, 1990

BPLW

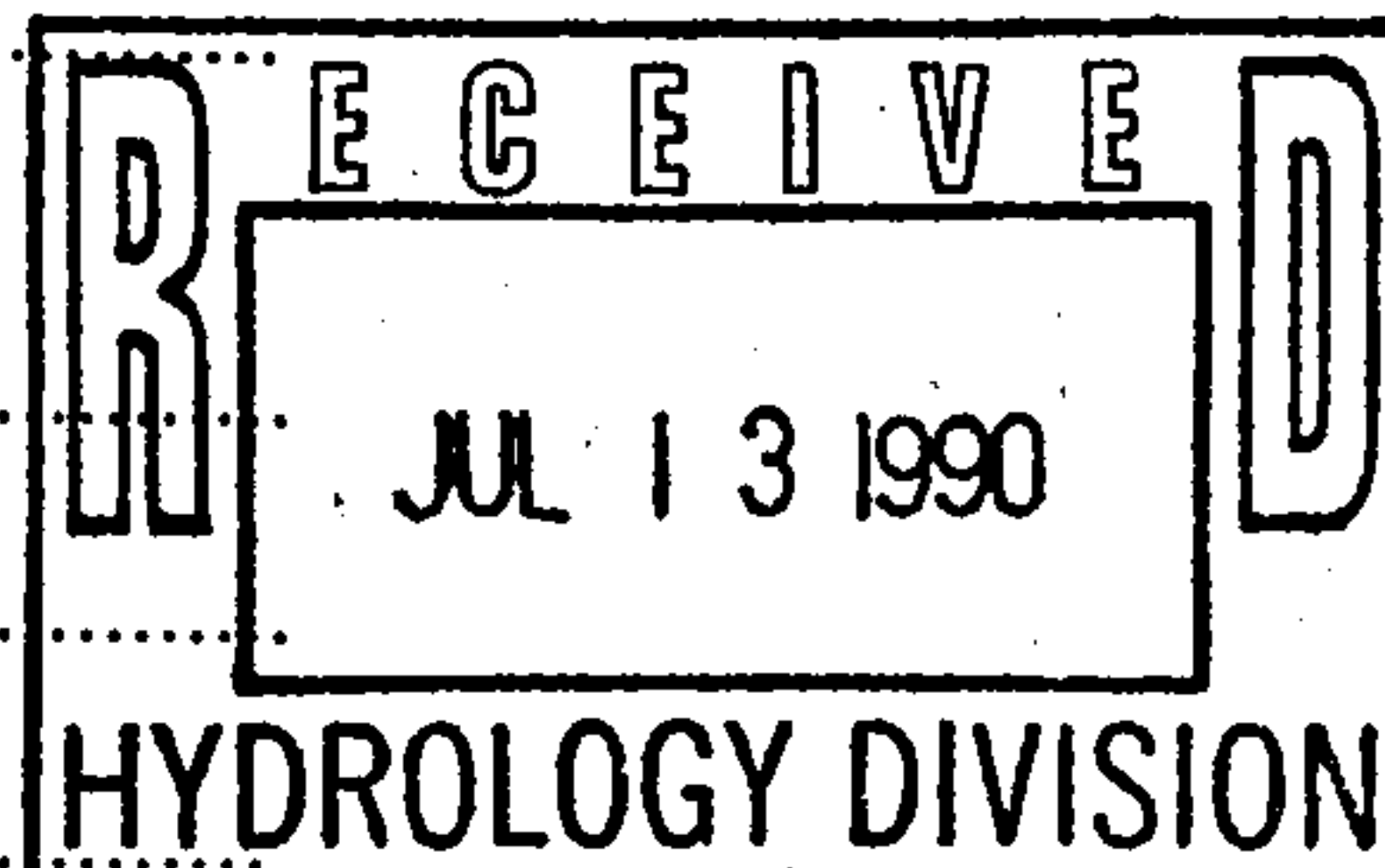


ATTN: City of ALB
Hydrology Dept
Attn: Bernie Montoya

Architects & Engineers, Inc.

American Financial Center #5
2400 Louisiana Blvd NE
Suite 400
Albuquerque, New Mexico 87110
(505) 881-2759 FAX (505) 881-1230

PROJECT: (name, address) W W Freight
in Sunport Park



PROJECT NO: City File M-15/D23A
(DAB 90-205)

If checked below, please:

- ☐ Acknowledge receipt of enclosures.
☐ Return enclosures to us

We Transmit the Following:

Copies

Description

2

Drainage Plan

If enclosures are not as noted, please inform us immediately.

Remarks: This site drainage plan has been completely revised. The revision was based on an agreement by the developers of Sunport Park to revise the area Master Drainage Plan to allow this site to drain into the street. This plan should not be reviewed until the master plan revision is submitted by Andrews Asbury.

Copies to:

By

STEPHEN L CRAWFORD, P.E.

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 14, 1990

Stephen L. Crawford, P.E.
BPLW Engineers/Architects
2400 Louisiana Boulevard, NE Suite 400
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR W & W FREIGHT (M-15/D23A)
ENGINEER'S STAMP DATED MAY 27, 1990

Dear Mr. Crawford:

Based on the information provided on your submittal of May 4, 1990, the referenced drainage plan is approved for Site Development.

Prior to Building Permit release, the following will need to be addressed.

1. If your proposed asphalt drainage swale is going to be over graded or fill material, please indicate the engineered specifications that will be required within the plan drawing.
2. Is the desilting basin existing or proposed? If proposed, you will need to provide a detail as to how it will function. IF it is existing, we will need certification that it will function.
3. If the temporary trainer dike is located within Lot 2, permission to grade outside the property boundaries must be obtained.
4. Finish floor elevation must be to full mean sea level designation.
5. What is the purpose of the trainer dike? You are not allowed to block offsite flows. Existing contours indicate you have offsite flows entering from the east.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Fred J. Aguirre
Fred J. Aguirre, P.E.
Hydrologist

BJM:FJA/bsj
(WP+1850)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W Freight ZONE ATLAS/DRNG. FILE #: M-15/D231A
 LEGAL DESCRIPTION: Portion Lot 1, Block 1, Support Park Addition
 CITY ADDRESS: Flightway Ave, SE
 ENGINEERING FIRM: BPLW Architects & Engineers CONTACT: Stephen L. Crawford
 ADDRESS: 2400 Louisiana, Suite 400, ABQ, 87110 PHONE: 881-2759
 OWNER: ~~State~~ Jaynes Corp CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: Same as Engineer CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

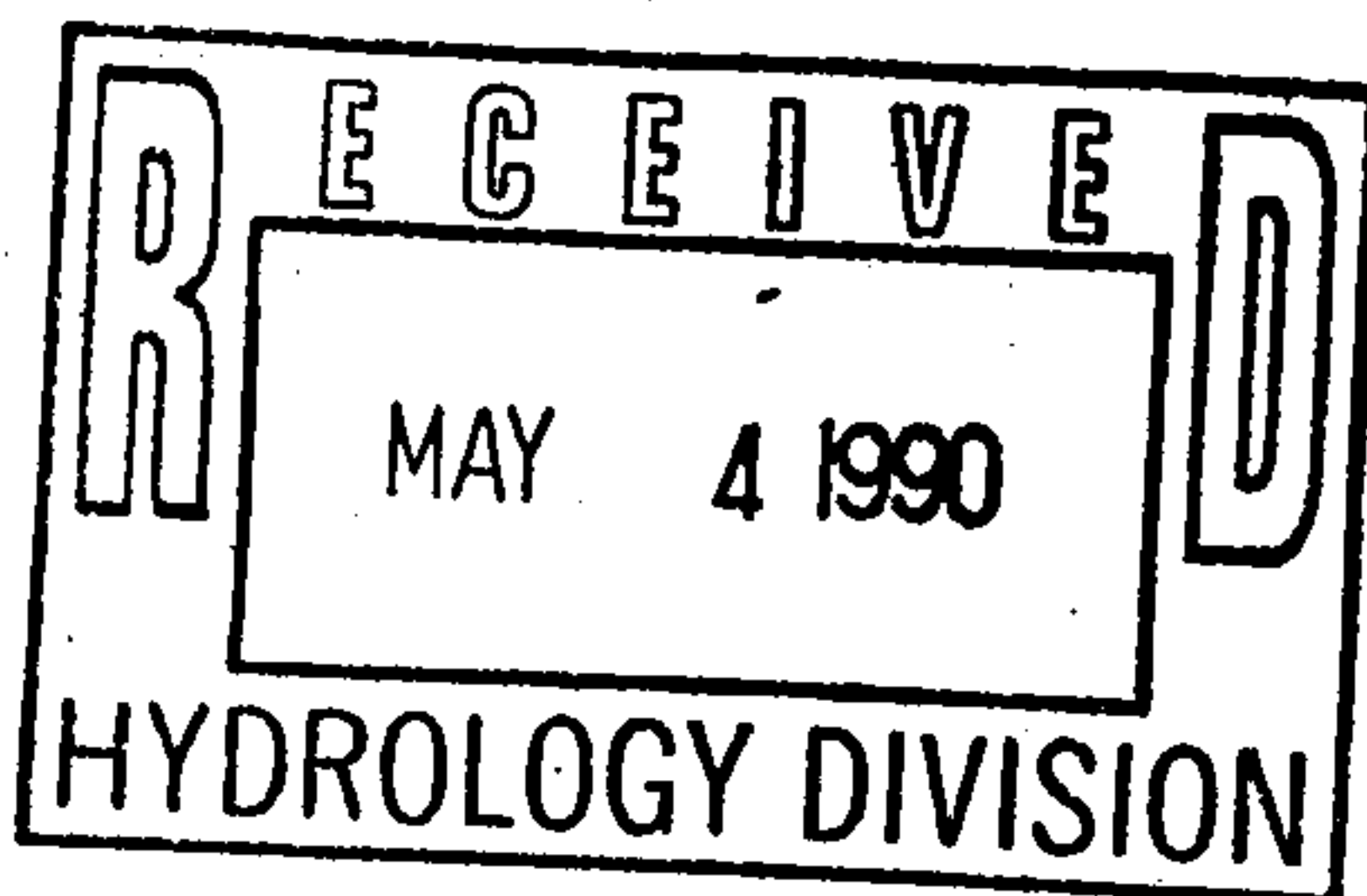
PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____
 EPC NO. Z-85-98-2
 PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION



CHECK TYPE OF APPROVAL SOUGHT:

☒ SKETCH PLAT APPROVAL
☒ PRELIMINARY PLAT APPROVAL
☒ SITE DEVELOPMENT PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: May 4, 1990

BY: [Signature]