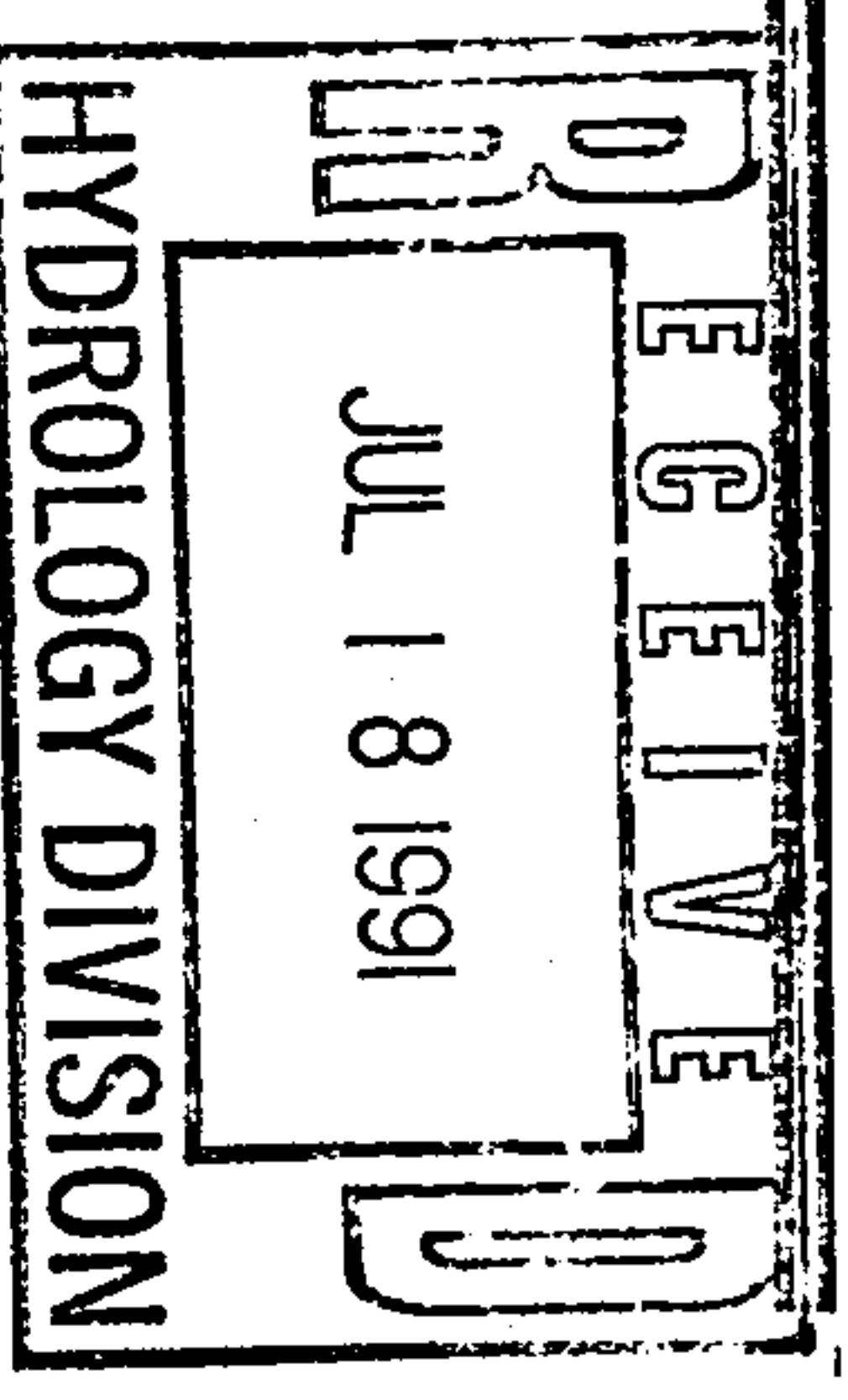


# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



July 17, 1991

## CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Wayne Hollowell  
W & W Freight, Inc.  
1341 Flightway Avenue S.E.  
Albuquerque, NM 87106

RE: PROJECT NO. 4224.90, W & W FREIGHT - FIRE HYDRANT, (MAP NO. M-15)

Dear Mr. Hollowell:

This is to certify that the City of Albuquerque accepts Project No. 4224.90 as being completed according to approved plans and construction specifications. The City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 4224.90.

The project is described as follows:

- Installed fire hydrant at 1341 Flightway Avenue, four blocks west of University.
- The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Brian L. Spelcher, P.E.  
Chief Construction Engineer  
Design/Construction Division  
Engineering Group  
Public Works Department

BLS:kt

LETTER OF ACCEPTANCE FOR PROJECT NO. 4224.90  
July 17, 1991  
Page Two (2)

xc: Andrews, Asbury & Robert, Inc.  
Sundance Mechanical

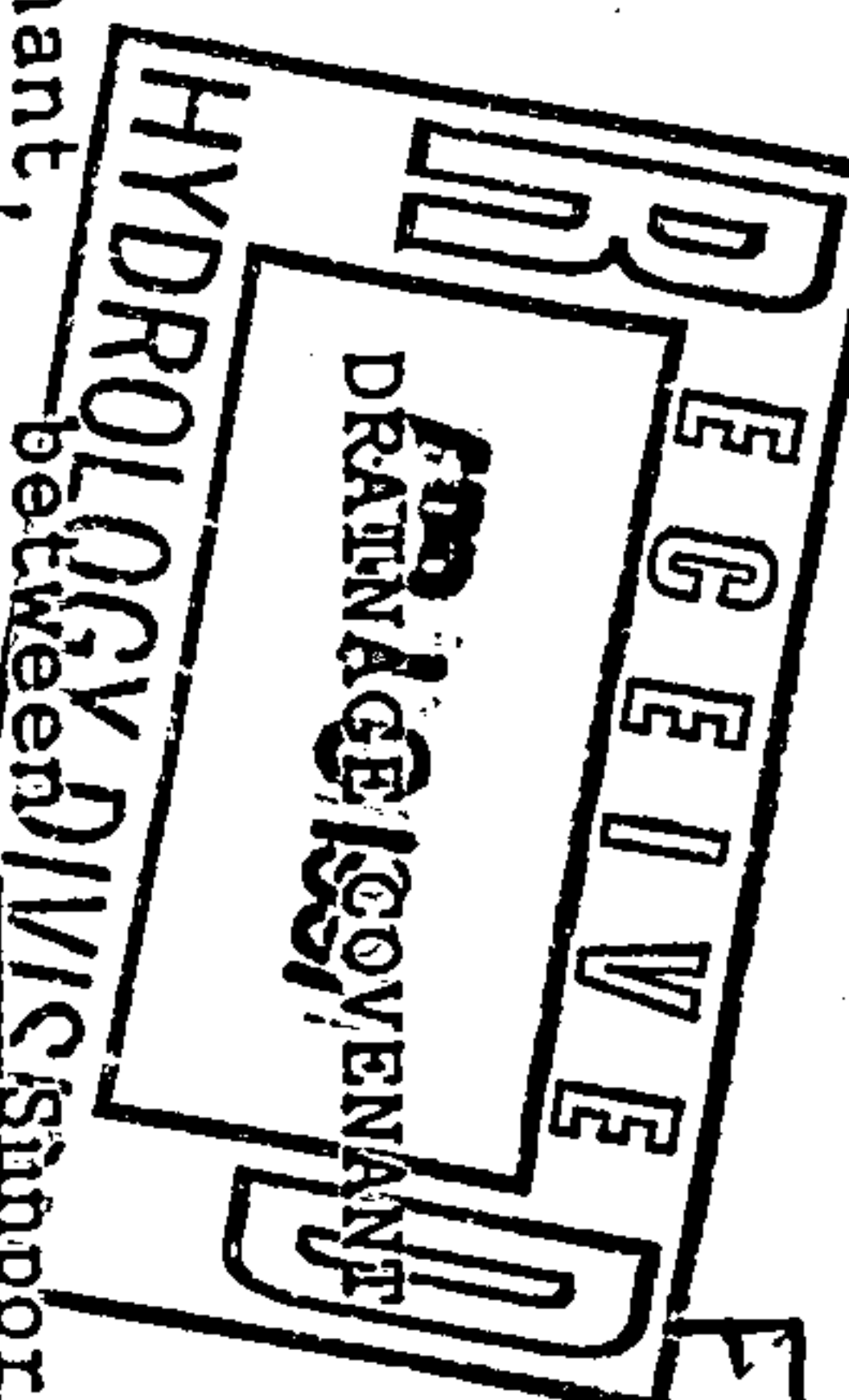
~~Fred Aguirre~~, Engineering Group, PWD  
Terri Martin, Engineering Group, PWD  
Steve Gonzales, Special Assessments  
Sam Hall, Operations Group, PWD  
A. N. Gaume, Operations Group, PWD  
Jim Fink, Operations Group, PWD  
Ray Chavez, Engineering Group, PWD  
Jon Ertsgaard, Water/Wastewater Group, PWD  
Dave Parks, Engineering Group, PWD  
Tom Kennerly, Engineering Group, PWD  
Josie Gutierrez, New Meter Sales, Finance Group, PWD  
Claudia Gallegos, Standby Clerk, Finance Group, PWD  
Lynda Michelle Devanti, Engineering Group, PWD  
Richard Zamora, Engineering Group, PWD  
Kelly Trujillo, Engineering Group, PWD  
f/Project 4224.90  
f/Warranty  
f/Readers

(INP 139975)



91028187

0004175



This Drainage Covenant, between Support Joint Venture ("Owner"), whose address is PO Box 26841, Albuquerque, NM 87125, and the City of Albuquerque, New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the owner of certain real property described as: Lot 3-A in Blk 1, Support Park, a replat of Lots 1 & 2 Blk 1, Albuquerque, NM, August 199 in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain Drainage Facilities on the Property, and the parties wish to enter into this Agreement to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage Facility" within the Property at Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. M-15/D23A:

A trainer dike and desilting basin as shown on the W&W Freight Drainage. To be maintained until the development of Lot 3-A changes the need for the trainer dike.

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within 30 days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

(Approved by Legal Dept.  
as to form only 06/90)



7. Liability of City for Repair after Notice or as a Result of Emergency.

The City shall not be liable to the Owner for any damages resulting from the City's repair or maintenance following notice to the Owner as required in this agreement or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City.

8. Indemnification.

Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Agreement may

be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer, or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this agreement shall be construed to relieve the Owner, his heirs, assigns, and successors from an assessment against Owner's Property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of given formal written notice to the Owner, Owner's address is:

Sunport Joint Venture  
 PO Box 26841  
 Albuquerque, NM 87125

Notice may be given to the Owner either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three days after the notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by given written notice of the change by Certified Mail, return receipt requested, to the City Public Works Department, P.O. Box 1293, Albuquerque, New Mexico, 87103.

12. Term. This Agreement shall continue until terminated by the City pursuant to Section 9 above.

(Approved by Legal Dept.  
 as to form only 06/90)

13. Binding on Owner's Property. The covenants and obligations of the Owner said forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running the Owner's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supercedes any and all other agreements or understanding, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

OWNER:

By: [Signature]  
 Its: General Partner  
 Dated: 4-9-91

STATE OF New Mexico )  
 ) ss  
 COUNTY OF Bernalillo )

The foregoing instrument was acknowledged before me this 9 day of April, 1991, [by name of person:] J. Howard Mock [title or capacity, for instance "president" or "owner":] General Partner of [Subdivider:] Support Joint Venture.

Glenn Whitwell  
 Notary Public

My Commission Expires:  
12/7/93

CITY OF ALBUQUERQUE:

Approved: [Signature]  
 By: [Signature]  
 Title: City Engineer  
 Dated: 4-11-91

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO  
 FILED FOR RECORD

91 APR 15 PM 3: 52

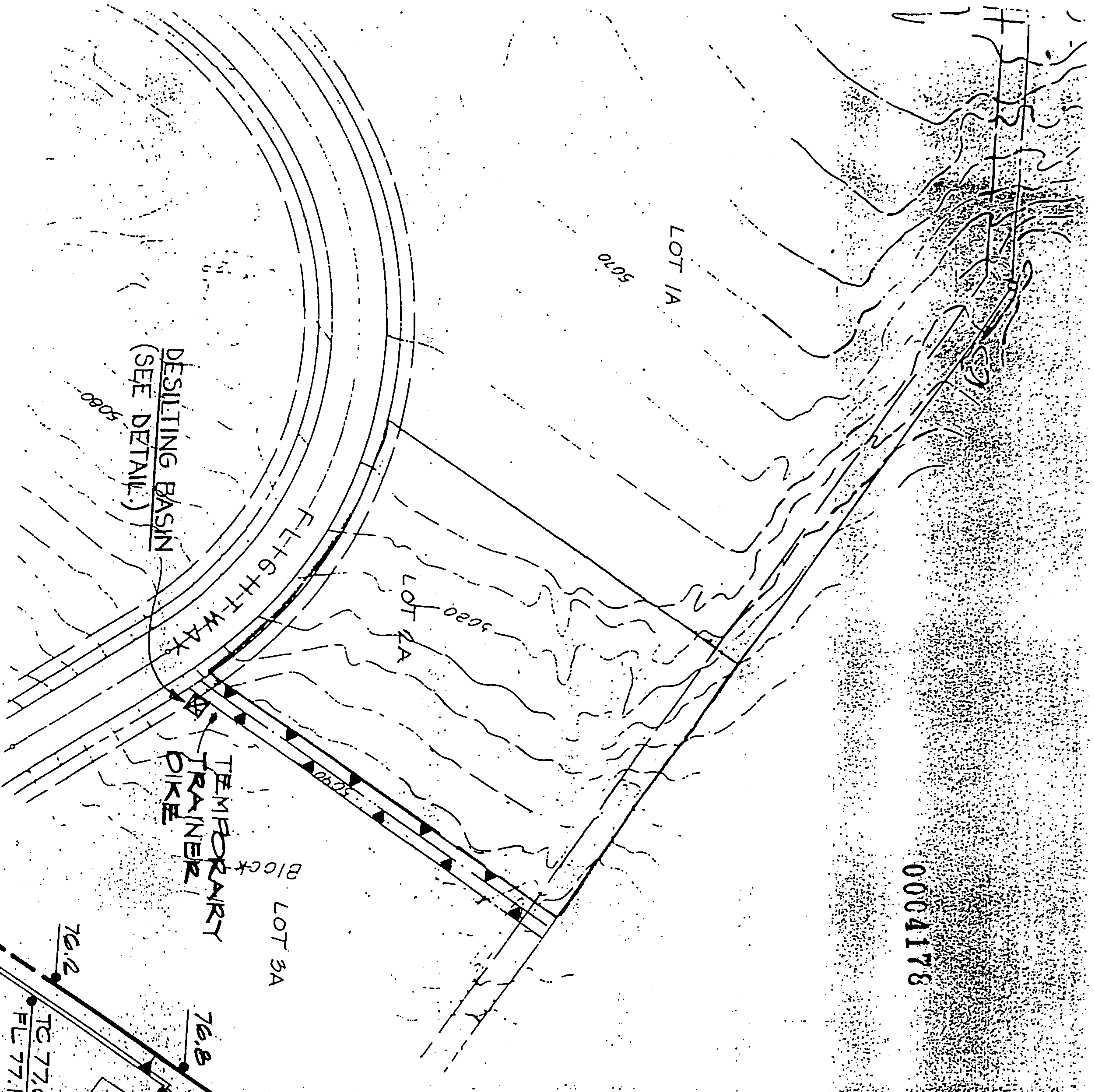
BK BCR PG 4125-4179  
 GLADYS M. DAVIS  
 CO CLERK & RECORDER  
[Signature] DEPUTY

(EXHIBIT A ATTACHED)

(Approved by Legal Dept.  
 as to form only 06/90)



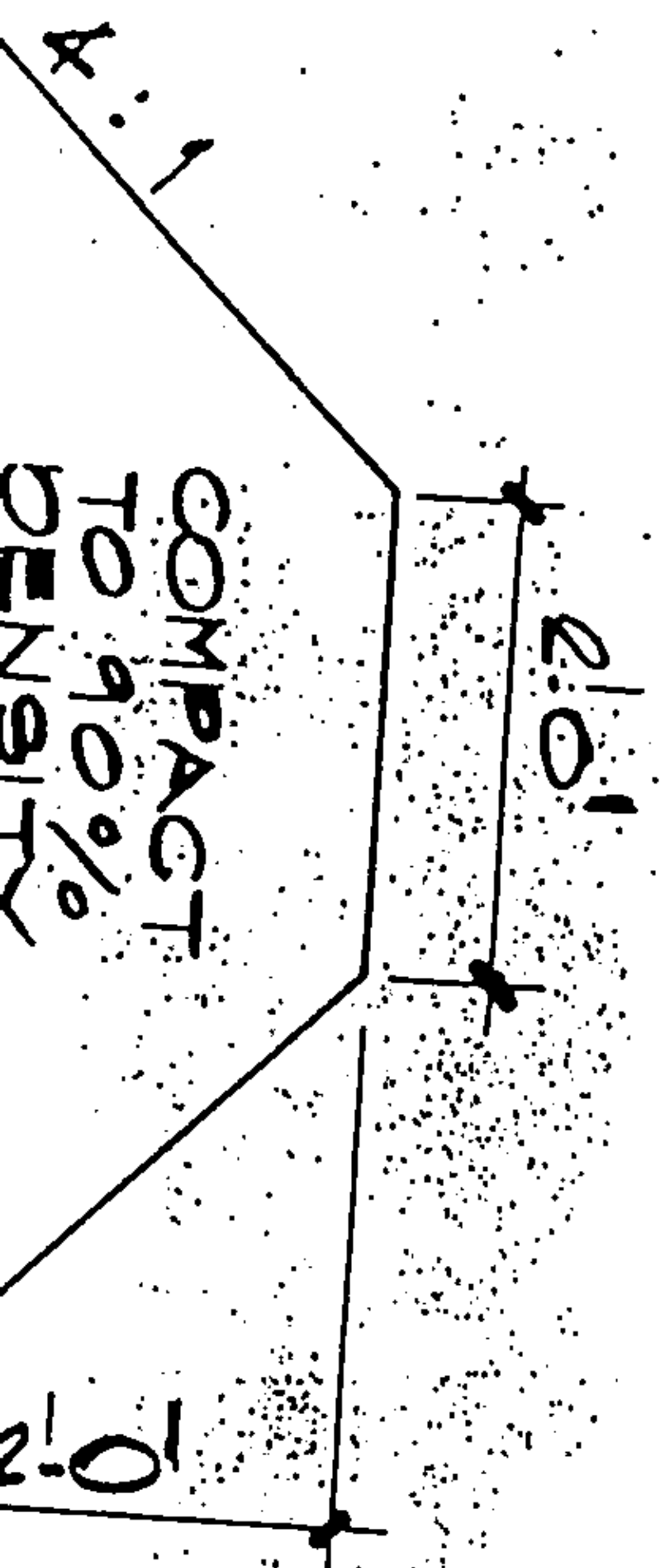
0004173



# OFFSITE DRAINAGE PLAN

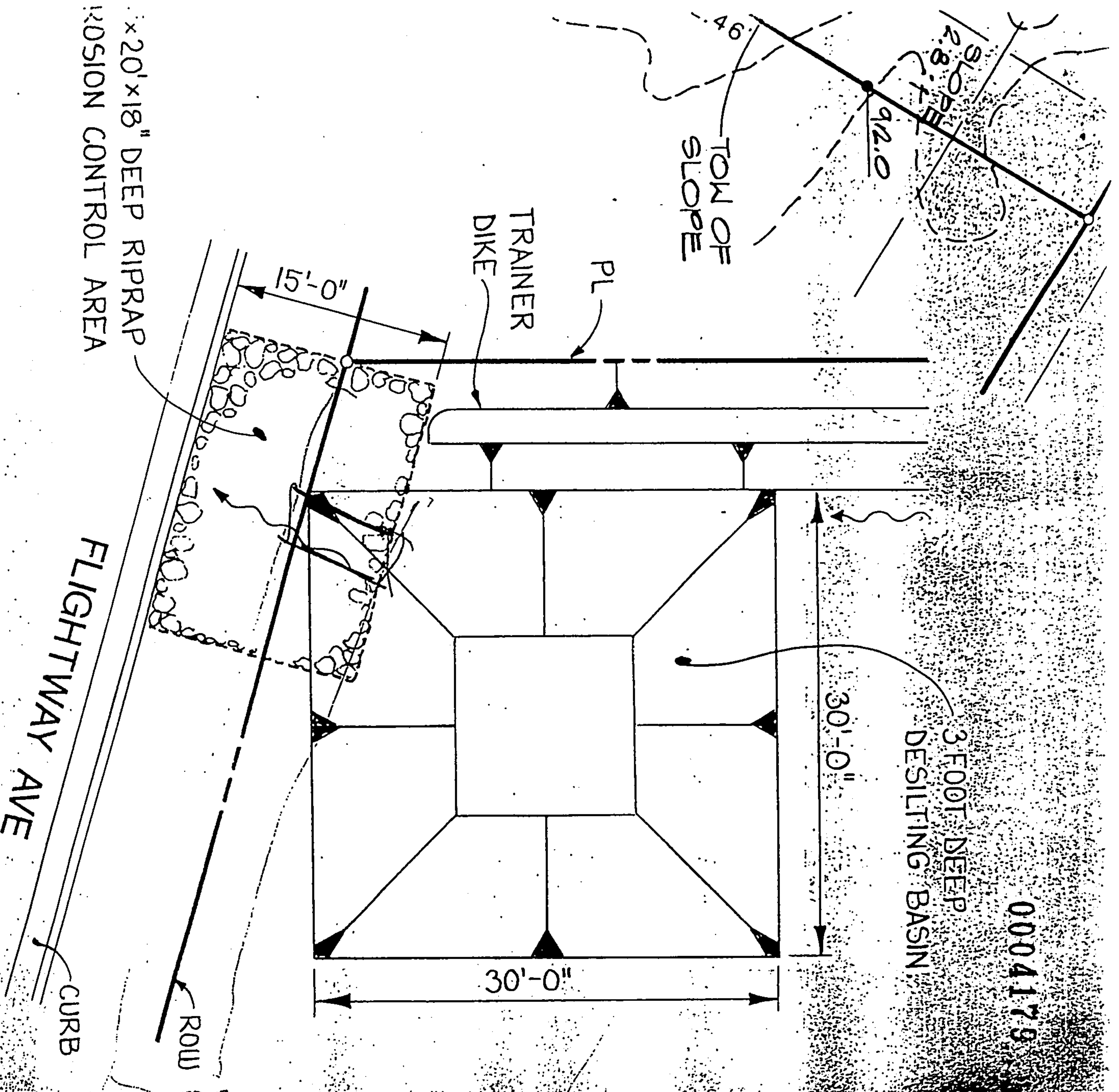
SCALE: 1" = 100'-0"

Exhibit "A"





0004173



## DESILTING BASIN DETAIL

Exhibit "A"

### GENERAL PLAN

1. The project site does not lie within any 100 year flood hazard areas shown on FEMA FIRM Community Panel #0035. The site's soils are Bluepoint and Wink (WAB) Association and are classified by the SCS as hydrologic group "A" and "B" respectively.

2. Plan Compliance: The revised (1990) Sunport Park Phase I Drainage indicates that the project site has free discharge into Flightway Ave. The sites grading and drainage will be in compliance with the master



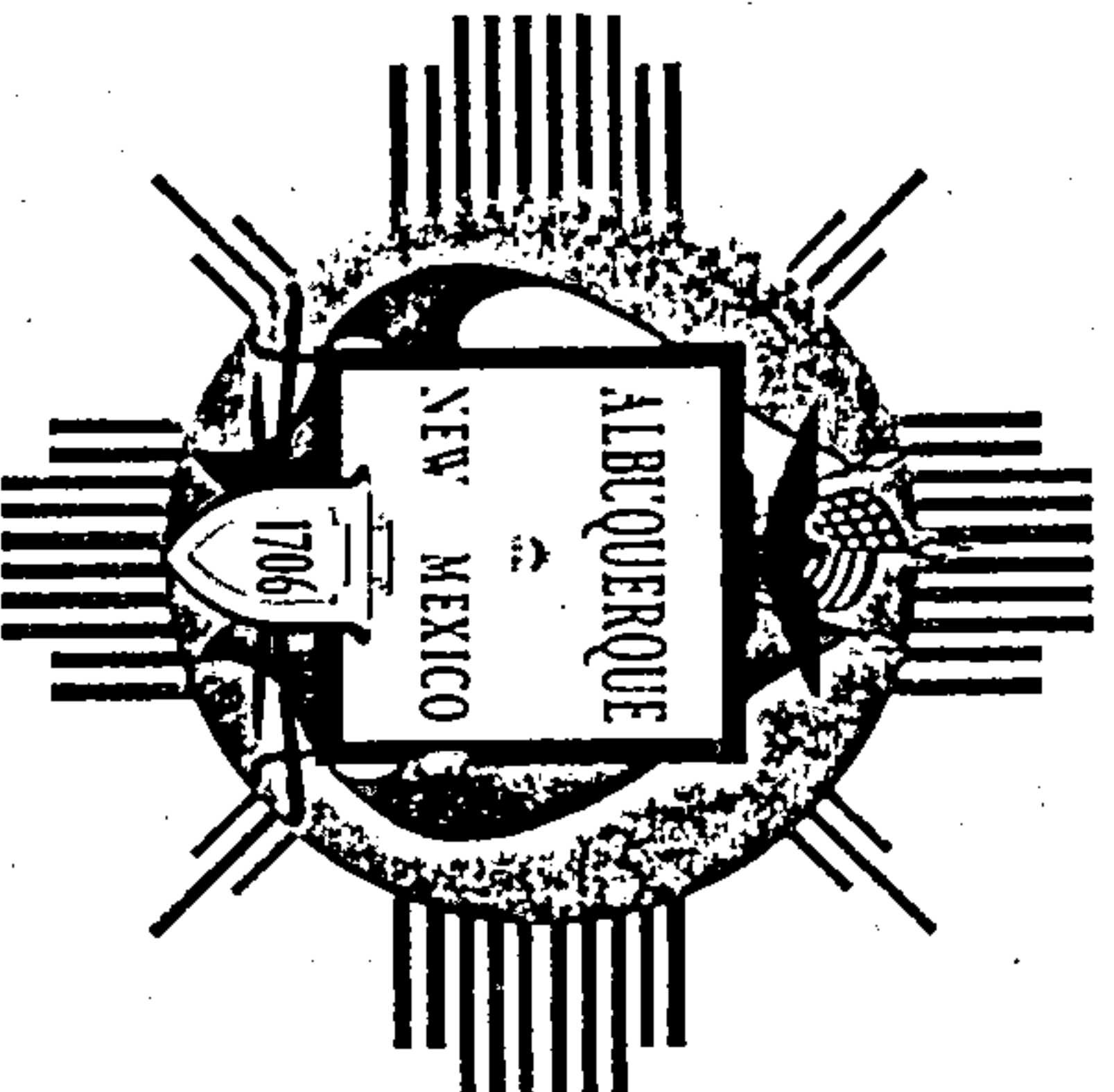
Rev

FL

TA

TC





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 2, 1991

Stephen L. Crawford, P.E.  
BPLW Engineers/Architects  
2400 Louisiana Boulevard, NE Suite 400  
Albuquerque, New Mexico 87110

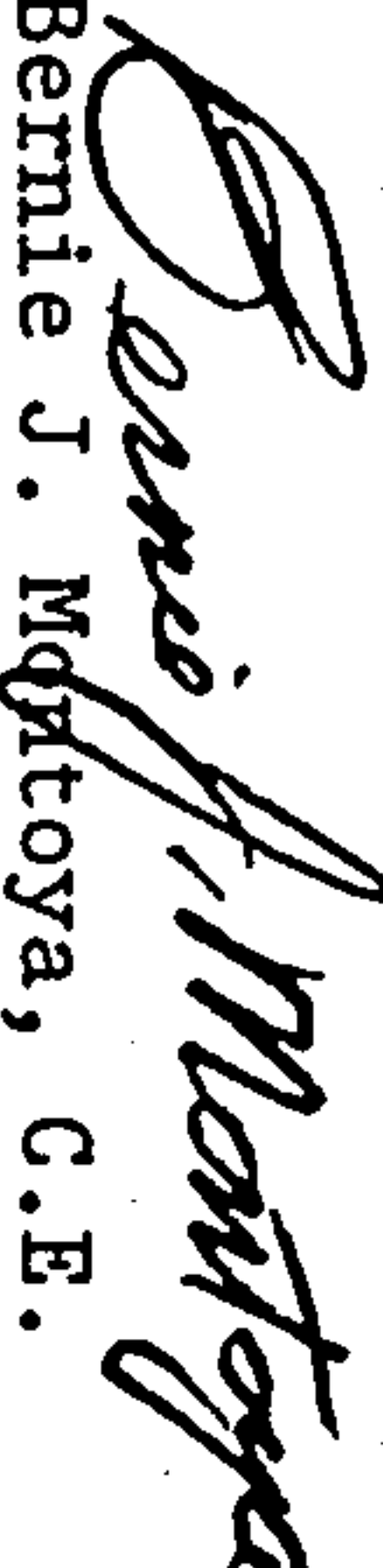
RE: ENGINEER'S CERTIFICATION FOR W.W. FREIGHT (M-15/D23A)  
ENGINEER'S STATEMENT DATED MARCH 27, 1991

Dear Mr. Crawford:

Based on the information provided on your submittal of March 28, 1991, the Certification for the referenced site is acceptable.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

  
Bernie J. Montoya, C.E.  
Engineering Assistant

xc: Alan Martinez

BJM/bsj  
(WP+1850)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



## DRAINAGE INFORMATION SHEET

023A

PROJECT TITLE: WLD EREIGHT ZONE ATLAS/DRNG. FILE #: M-15-2

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 24, BLOCK 1, SWANPORT ADDITIONCITY ADDRESS: 1341 ELIGHTWAY AVE SEENGINEERING FIRM: BDLW ARCH & ENGR CONTACT: ANNA HARRIS  
APC 2400 LOUISIANAADDRESS: SUITE 4000 ABO, WA 87112 PHONE: 881-2759

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: BDLW CONTACT: DADE ELLERH

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

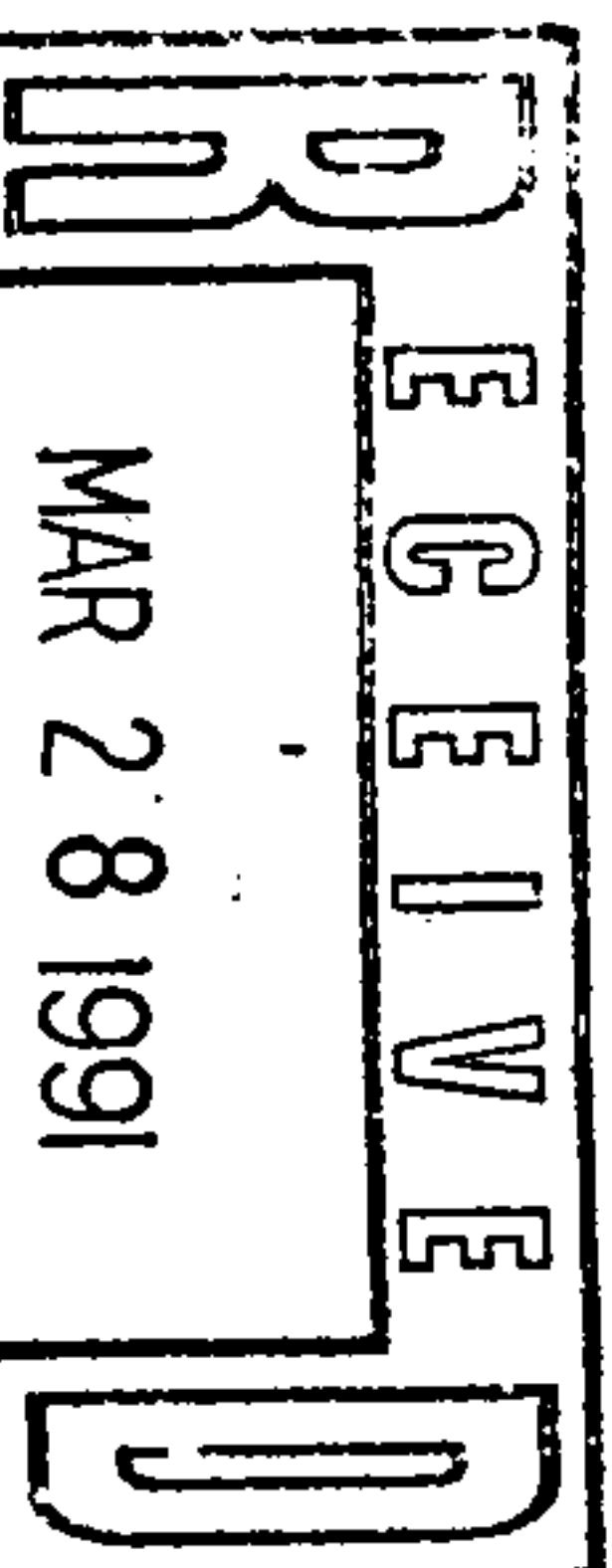
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☒ ENGINEER'S CERTIFICATION☐ OTHER \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ BUILDING PERMIT APPROVAL☒ CERTIFICATE OF OCCUPANCY APPROVAL☐ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☐ OTHER \_\_\_\_\_ (SPECIFY)PRE-DESIGN MEETING:  
☐ YES  
☐ NO  
☐ COPY PROVIDEDDATE SUBMITTED: 3-28-91 DIVISION \_\_\_\_\_BY: Anna Harris

Date: March 28, 1991

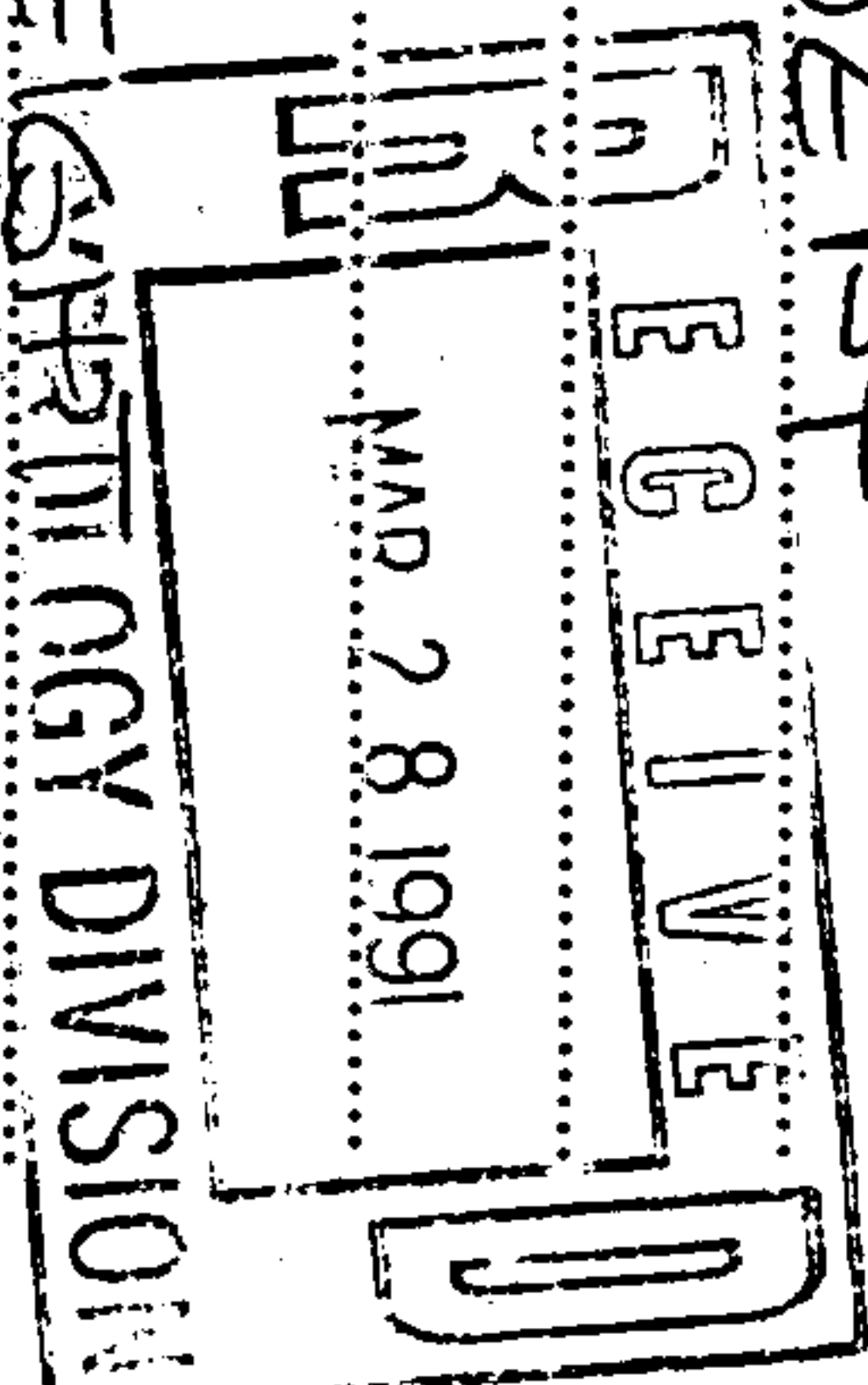


Architects & Engineers, Inc.

American Financial Center #5  
2400 Louisiana Blvd NE  
Suite 400  
Albuquerque, New Mexico 87110  
(505) 881-2759 FAX (505) 881-1230

ATTN: GILBERT ALDEZ

HYDROLOGY DEPT



PROJECT: (name, address)

WW FREE STATIONARY DIVISION

1391 ELIZABETH WAY AVE SE

ATLANTA, GA

PROJECT NO:

If checked below, please:  
☐ Acknowledge receipt of enclosures.  
☐ Return enclosures to us

We Transmit the Following:

Copies

Description

1 GRABINGS + PAIDING PLAN (AS-BUILTS)

If enclosures are not as noted, please inform us immediately.

Remarks:

MAINTENANCE COVENANT FOR RESIDUALS  
BASIN AND TRAINER DIKE FROM  
OWNERS OF LOT 3A WILL FOLLOW  
IN A FEW DAYS

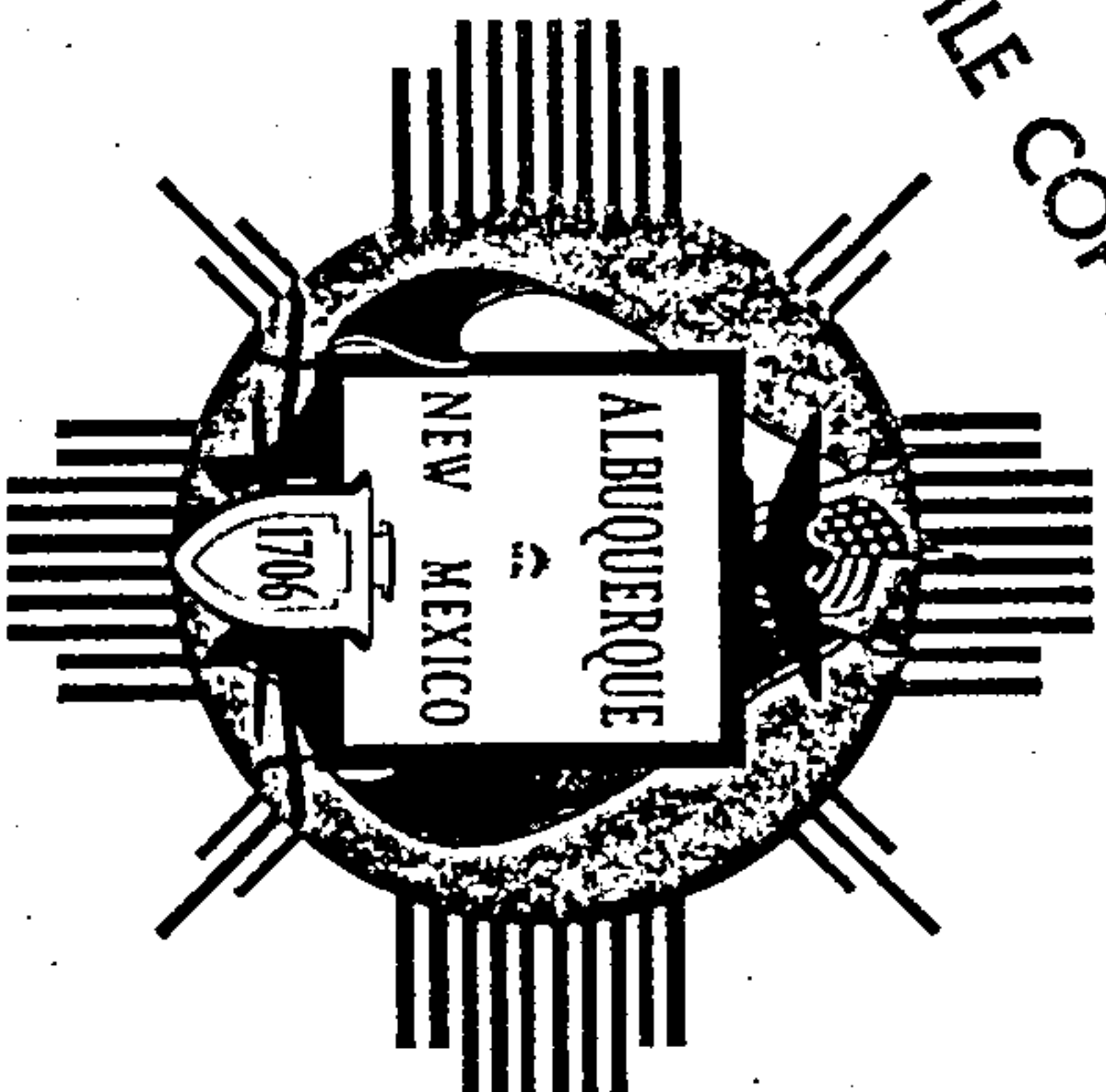
Copies to:

By

Ann Stolar



FILE COPY



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 7, 1991

Stephen L. Crawford  
BPLW Engineers/Architects  
2400 Louisiana Boulevard, NE Suite 400  
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR W & W FREIGHT  
(M-15/D23A) REVISION DATED DECEMBER 28, 1990

Dear Mr. Crawford:

Based on the information provided on your submittal of January 4, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, please be advised that prior to Certificate of Occupancy release the following must be completed:

1. Engineer's Certification per the DPM Certification Checklist.
2. The executed Maintenance Covenant for the dike and sediment pond.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Bernie J. Montoya*  
for Fred J. Aguirre, P.E.  
Hydrologist

xc: Dave Zoladz, Jaynes Corporation

BJM:FJA/bsj

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.

Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

## DRAINAGE INFORMATION SHEET

3rd floor

PROJECT TITLE: W W Freight ZONE ATLAS/DRNG. FILE #: M-15/D234

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: lot 2A, Block 1, Sunport AdditionCITY ADDRESS: 1341 Flightway Ave, SEENGINEERING FIRM: BPLN Arch & Engineers CONTACT: Steve CrawfordADDRESS: 2400 Louisiana Blvd Suite 400 PHONE: 881-2759

APR 87

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

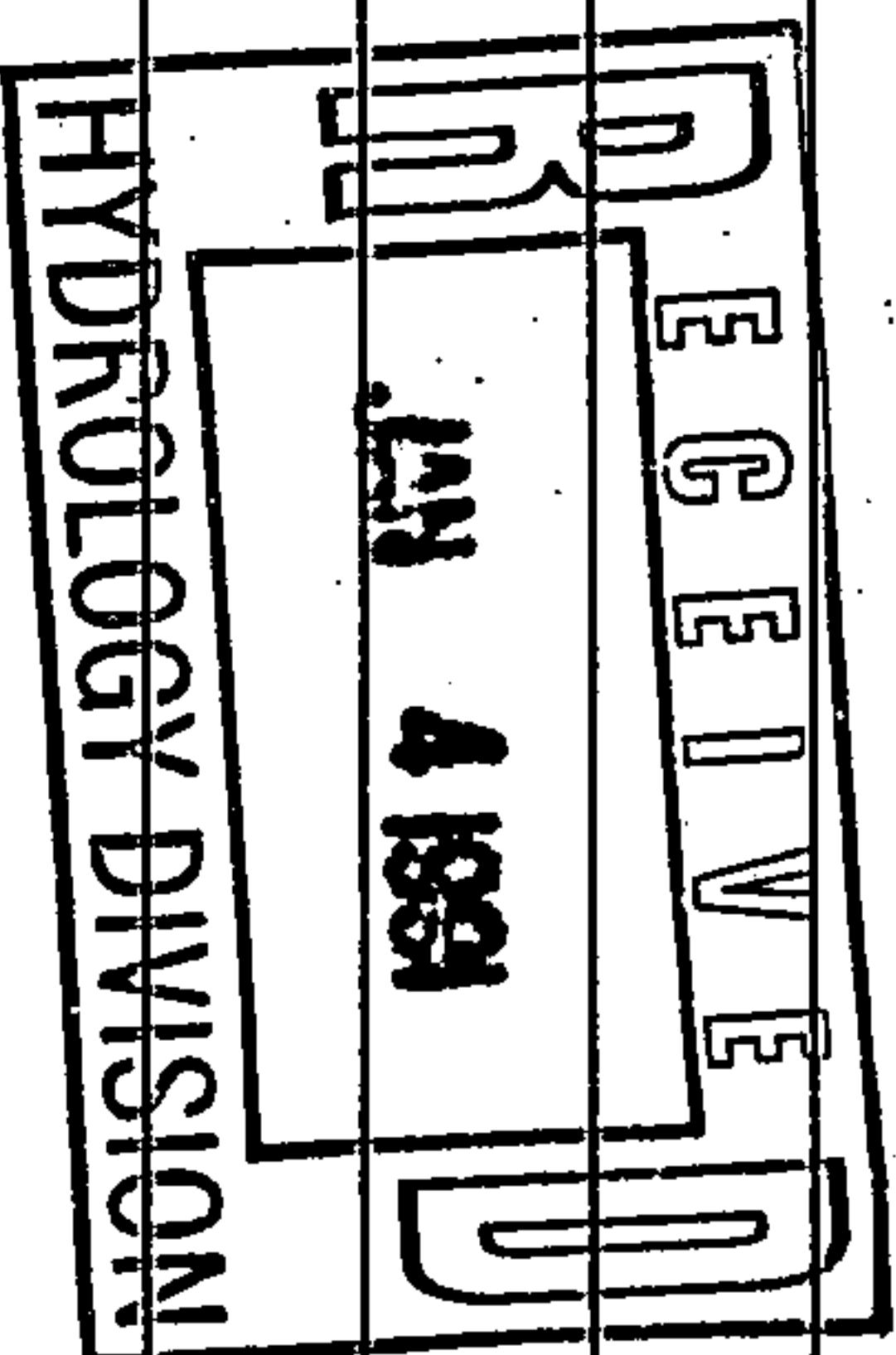
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_



## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☐ OTHER \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ BUILDING PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☐ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY PROVIDEDDATE SUBMITTED: Jan 3, 1990BY: [Signature]



01-3-91

Date: ~~12-18-90~~

BPLW



ATTN: City Hydrology

Mr. Bernie Montoya

Architects & Engineers, Inc.

American Financial Center #5

Suite 400

2400 Louisiana Blvd. NE  
Albuquerque, New Mexico 87110  
505/861-8PLW

PROJECT: (name, address)

WW Freight (M-15/D234)

PROJECT NO:

If checked below, please:

( ) Acknowledge receipt  
of enclosures.

( ) Return enclosures to us.

We Transmit the Following:

Copies

Description

1 Drainage Plan

If enclosures are not as noted, please inform us immediately.

Remarks:

Bernie, I would like to defer submitting the drainage covenant for maintenance of the offsite ditch & basin to the Certificate of Occupancy stage. The owners need a building permit immediately & the maintenance covenants take time to prepare and sign and record.

Thank

By

Copies to:

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W FREIGHT ZONE ATLAS/DRNG. FILE #: M-15/0234

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: PORTON LOT 1, BLOCK 1, REPT OF SUBPOT MK

CITY ADDRESS: 1341 FLIGHTWAY AVE

ENGINEERING FIRM: BDW CONTACT: STEVE CRABER

ADDRESS: 2400 LOUISIANA PHONE: 801-2769

OWNER: W & W FREIGHT CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: BDW CONTACT: \_\_\_\_\_

ADDRESS: 2400 LOUISIANA PHONE: CITRICE OFFICE

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: JAYNES CORP. CONTACT: DAVID ZOUADZ

ADDRESS: 2906 BROADWAY NE PHONE: 345-8591

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

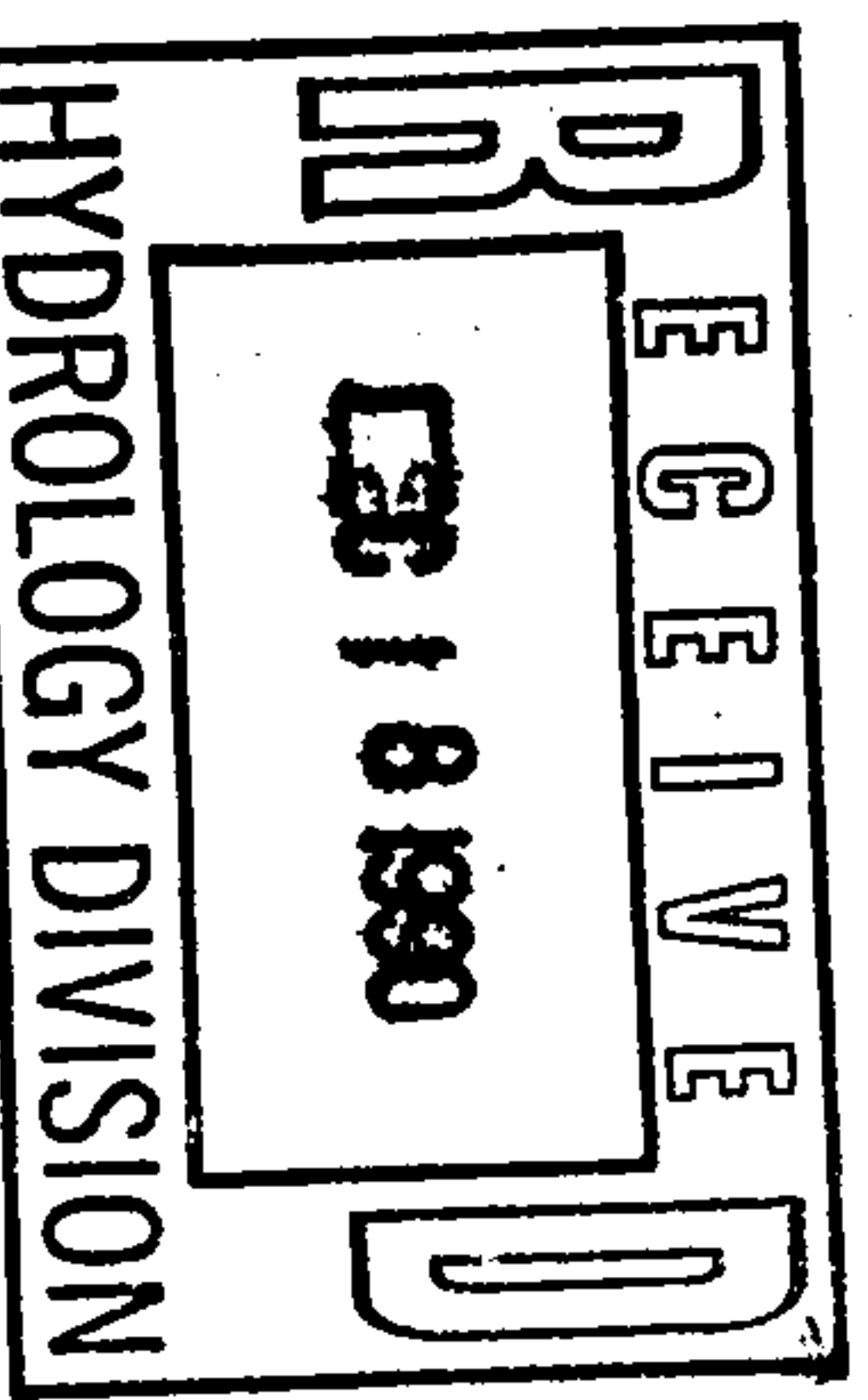
☐ YES

☐ NO

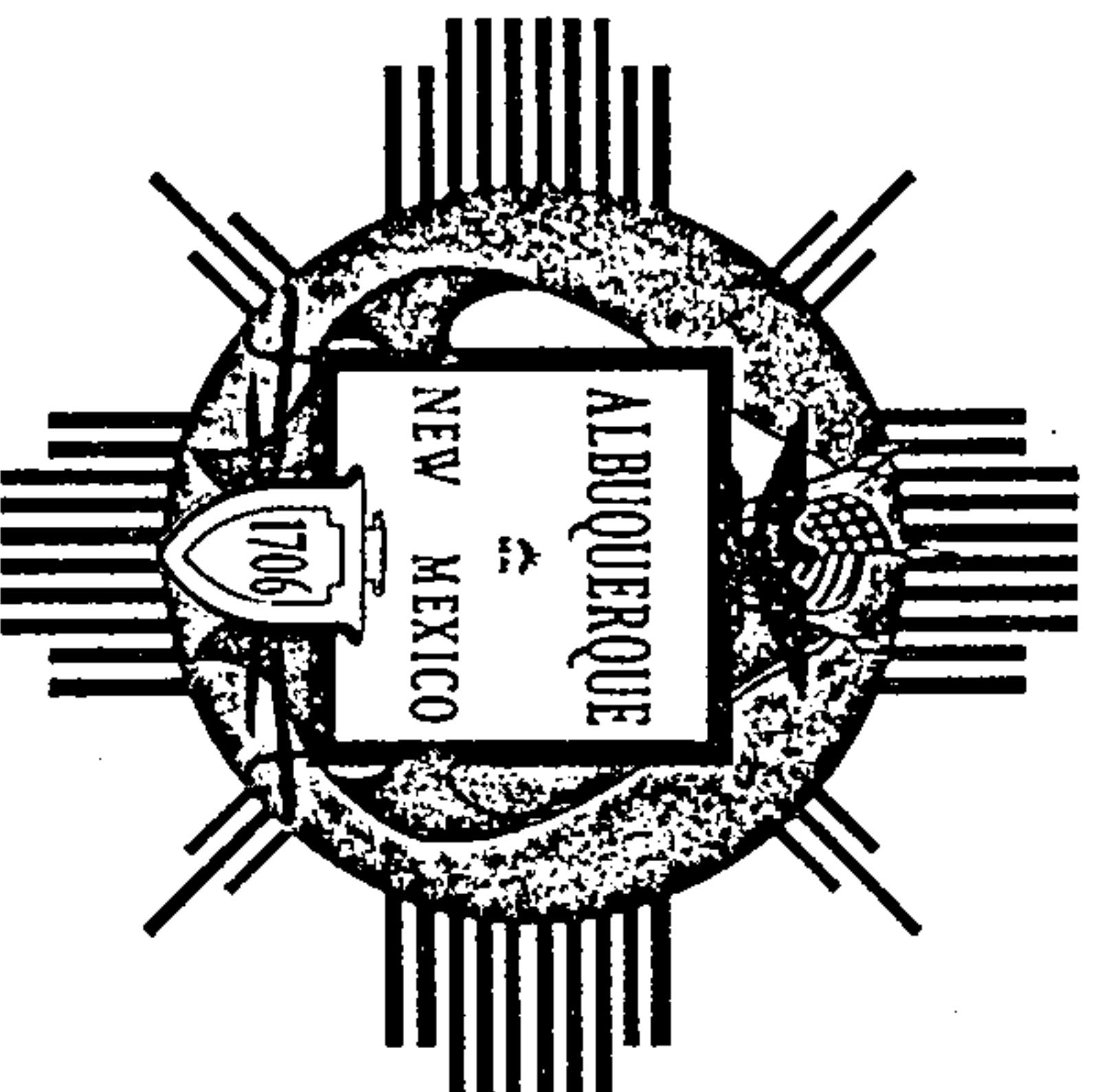
☐ COPY PROVIDED

DATE SUBMITTED: 12-19-90

BY: David A. Steel







# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 2, 1990

Stephen L. Crawford  
BPLW Engineers/Architects  
2400 Louisiana Boulevard, NE Suite #400  
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR W & W FREIGHT  
(M-15/D23A) REVISION DATED JUNE 29, 1990

Dear Mr. Crawford:

Based on the information provided on your resubmittal of July 13, 1990, the referenced drainage plan is approved for site development.

Prior to building permit release, the following will need to be addressed:

1. Revised master plan must identify street capacity prior to building permit release. One foot water block may not be sufficient.
2. The temporary trainer dike is located within Lot 2, which means that the following concerns apply.
  - a. Permission to grade within Lot 2 from the appropriate land owner.
  - b. Maintenance agreement between the property owners identifying who is charged with the maintenance of the dike.
  - c. What type of sediment control do you propose for the runoff being routed towards Flightway Avenue, SE from the proposed dike?
3. Finish floor elevation must be to full mean sea level.
4. Erosion control plan must be submitted for review and must be implemented immediately due to the rainy season and also because of the sediment problems experienced already.
5. Please show all calculations for computing the composite C using the Emergency Rule.
6. Please indicate the undeveloped flows.

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500


AN EQUAL OPPORTUNITY EMPLOYER

Stephen L. Crawford  
August 2, 1990  
Page 2

7. The offsite flows of 1.4 cfs shown on the east side of the project. How will the sediment be controlled from that area?
8. Reseeding schedule must also be submitted.
9. Please include a permanent T.B.M. within the site area.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

  
~~for~~ Fred J. Aguirre, P.E.  
Hydrologist

BJM:FJA/bsj  
(WP+1850)



145

[illegible]

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W Freight ZONE ATLAS/DRNG. FILE #: M-15/D23A

LEGAL DESCRIPTION: Portion Lot 1, Block 1, Replat of Support Park

CITY ADDRESS: Flightway Ave, SE

ENGINEERING FIRM: BPLW Arch & Engineers CONTACT: Steve Crawford

ADDRESS: 2400 Louisiana, Suite 400 PHONE: 881-2759  
Ave, NW, 87110

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: BPLW Arch & Eng CONTACT: Charlie Otero

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: Jaynes Construction CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES

DRB NO. 90-205

☒ NO

EPC NO. \_\_\_\_\_

☐ COPY OF CONFERENCE RECAP  
☐ SHEET PROVIDED

PROJ. NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SKETCH PLAT APPROVAL

☒ DRAINAGE PLAN

☐ PRELIMINARY PLAT APPROVAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ SITE DEVELOPMENT PLAN APPROVAL

☐ GRADING PLAN

☐ FINAL PLAT APPROVAL

☐ EROSION CONTROL PLAN

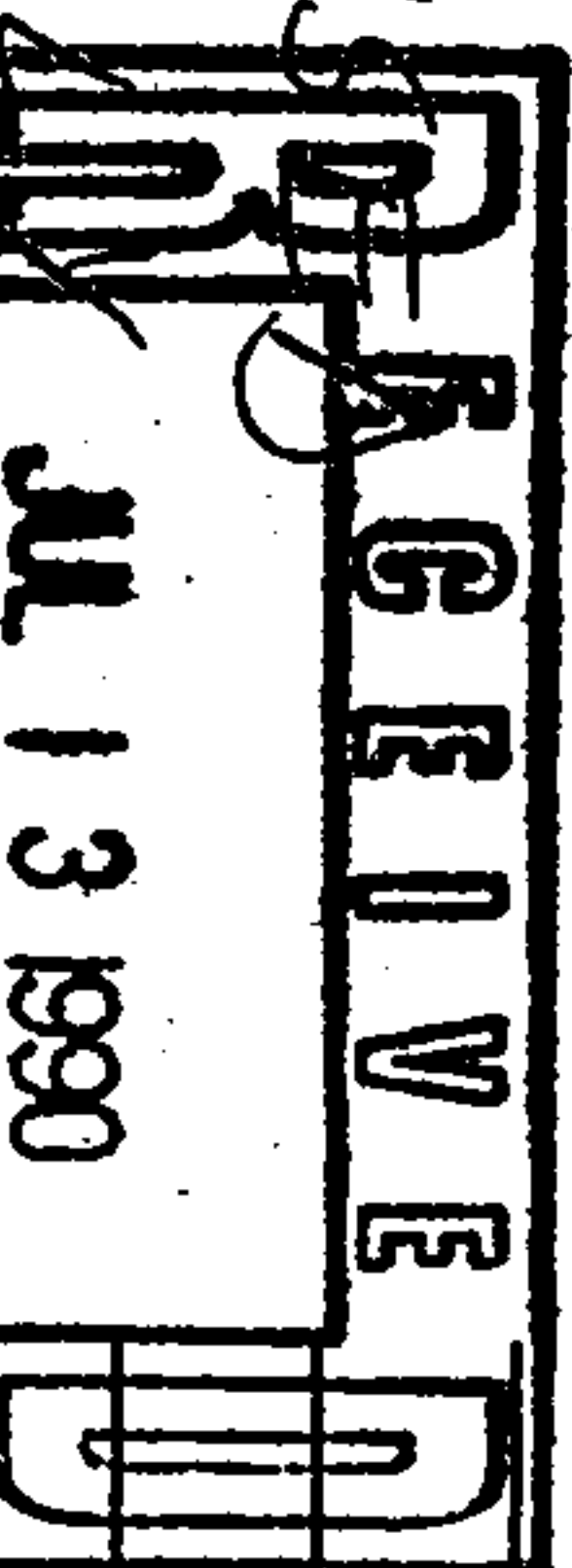
☒ BUILDING PERMIT APPROVAL

☐ ENGINEER'S CERTIFICATION

☐ FOUNDATION PERMIT APPROVAL

NOTE: REVIEW

COMPLETE



CERTIFICATE OF OCCUPANCY APPROVAL  
ROUGH GRADING PERMIT APPROVAL  
GRADING/PAVING PERMIT APPROVAL  
OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_

William J. Crawford



Date: July 2, 1990



ATTN: City of ALB

Architects & Engineers, Inc.

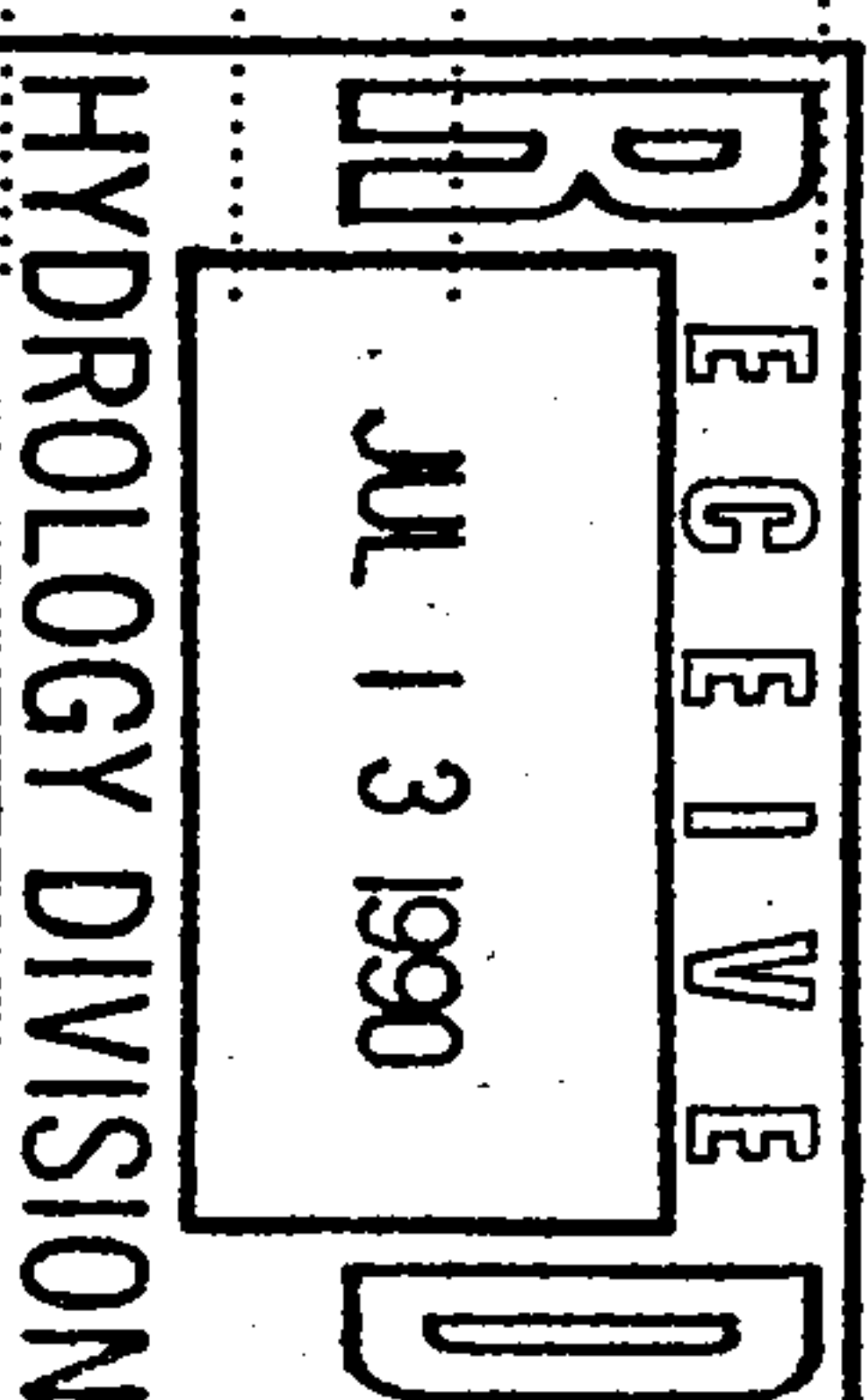
Hydrology Dept

Attn: Bernie Mantoya

American Financial Center #5  
2400 Louisiana Blvd NE  
Suite 400  
Albuquerque, New Mexico 87110  
(505) 881-2759 FAX (505) 881-1230

PROJECT: (name, address) W W Freight

in Sanport Park



PROJECT NO: City File M-15/D234

(DAB 90-205)

( ) Acknowledge receipt of enclosures.  
( ) Return enclosures to us

We Transmit the Following:

Copies

Description

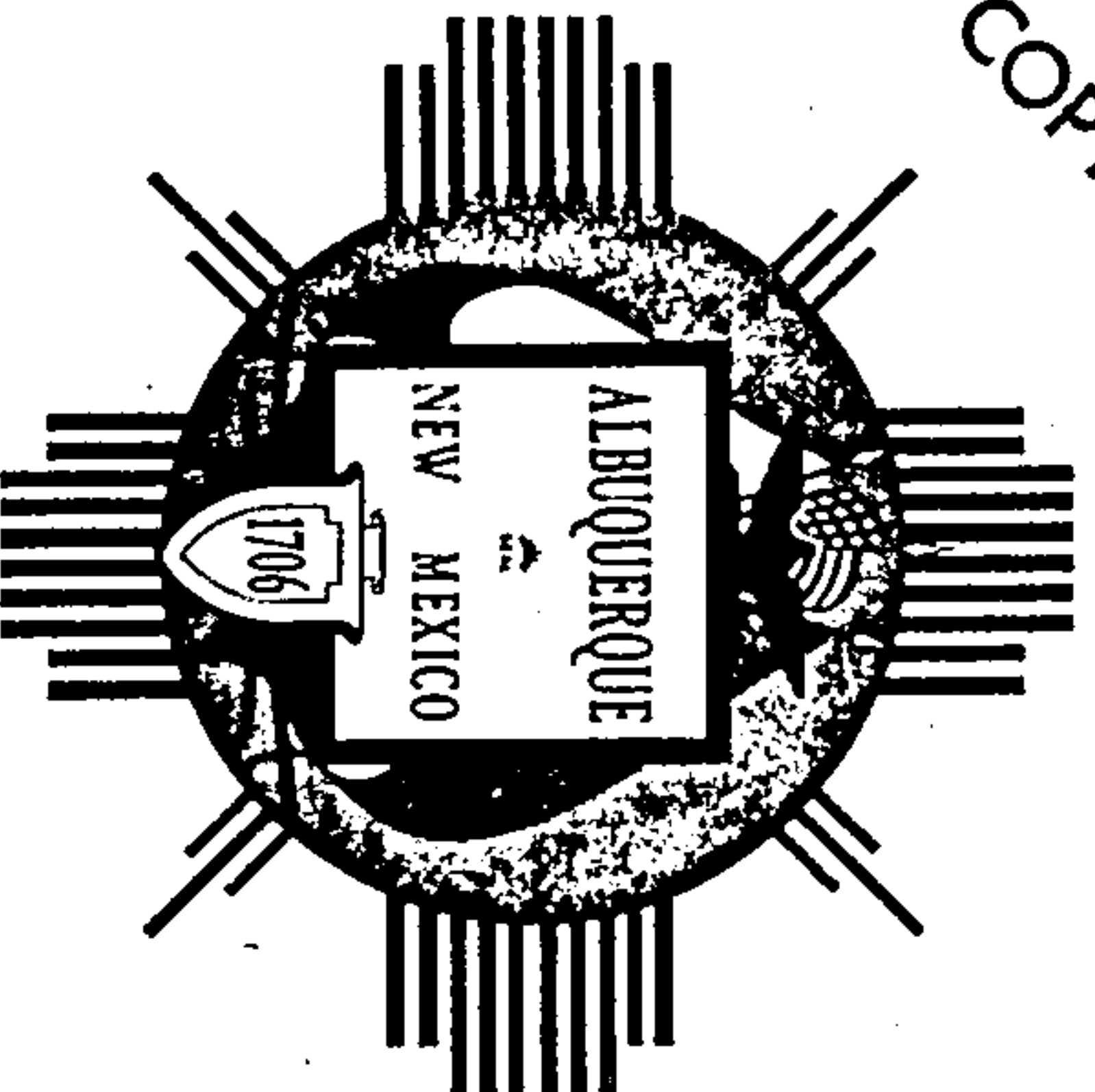
2 Drainage Plan

If enclosures are not as noted, please inform us immediately.

Remarks: This site drainage plan has been completely revised. The revision was based on an agreement by the developers of Sanport Park to revise the area Master Drainage Plan to allow this site to drain into the street. This plan should not be reviewed until the master plan revision is submitted by Andrews-Asbury.

Copies to:

By STEPHEN L CRAWFORD, PE.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 14, 1990

Stephen L. Crawford, P.E.  
BPLW Engineers/Architects  
2400 Louisiana Boulevard, NE Suite 400  
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR W & W FREIGHT (M-15/D23A)  
ENGINEER'S STAMP DATED MAY 27, 1990

Dear Mr. Crawford:

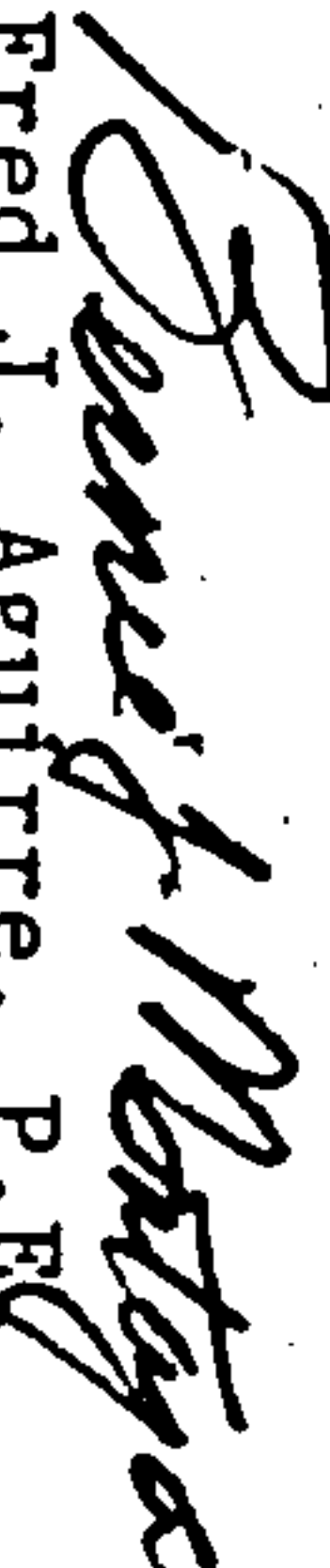
Based on the information provided on your submittal of May 4, 1990, the referenced drainage plan is approved for Site Development.

Prior to Building Permit release, the following will need to be addressed.

1. If your proposed asphalt drainage swale is going to be over graded or fill material, please indicate the engineered specifications that will be required within the plan drawing.
2. Is the desilting basin existing or proposed? If proposed, you will need to provide a detail as to how it will function. IF it is existing, we will need certification that it will function.
3. If the temporary trainer dike is located within Lot 2, permission to grade outside the property boundaries must be obtained.
4. Finish floor elevation must be to full mean sea level designation.
5. What is the purpose of the trainer dike? You are not allowed to block offsite flows. Existing contours indicate you have offsite flows entering from the east.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

  
Fred J. Aguirre, P.E.  
Hydrologist

BJM:FJA/bsj  
(WP+1850)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: W & W Freight ZONE ATLAS/DRNG. FILE #: M-15/D23A

LEGAL DESCRIPTION: Portion Lot 1, Block 1, Support Park Addition

CITY ADDRESS: Flightway Ave, SE

ENGINEERING FIRM: BPLW Architects & Engineers CONTACT: Stephen L. Crawford

ADDRESS: 2400 Louisiana, Suite 400, B7110 <sup>ABQ</sup> PHONE: 881-2759

OWNER: ~~W & W~~ James Corp CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: Same as Engineer CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

YES

☒ NO

COPY OF CONFERENCE RECAP  
SHEET PROVIDED

## TYPE OF SUBMITTAL:

DRAINAGE REPORT

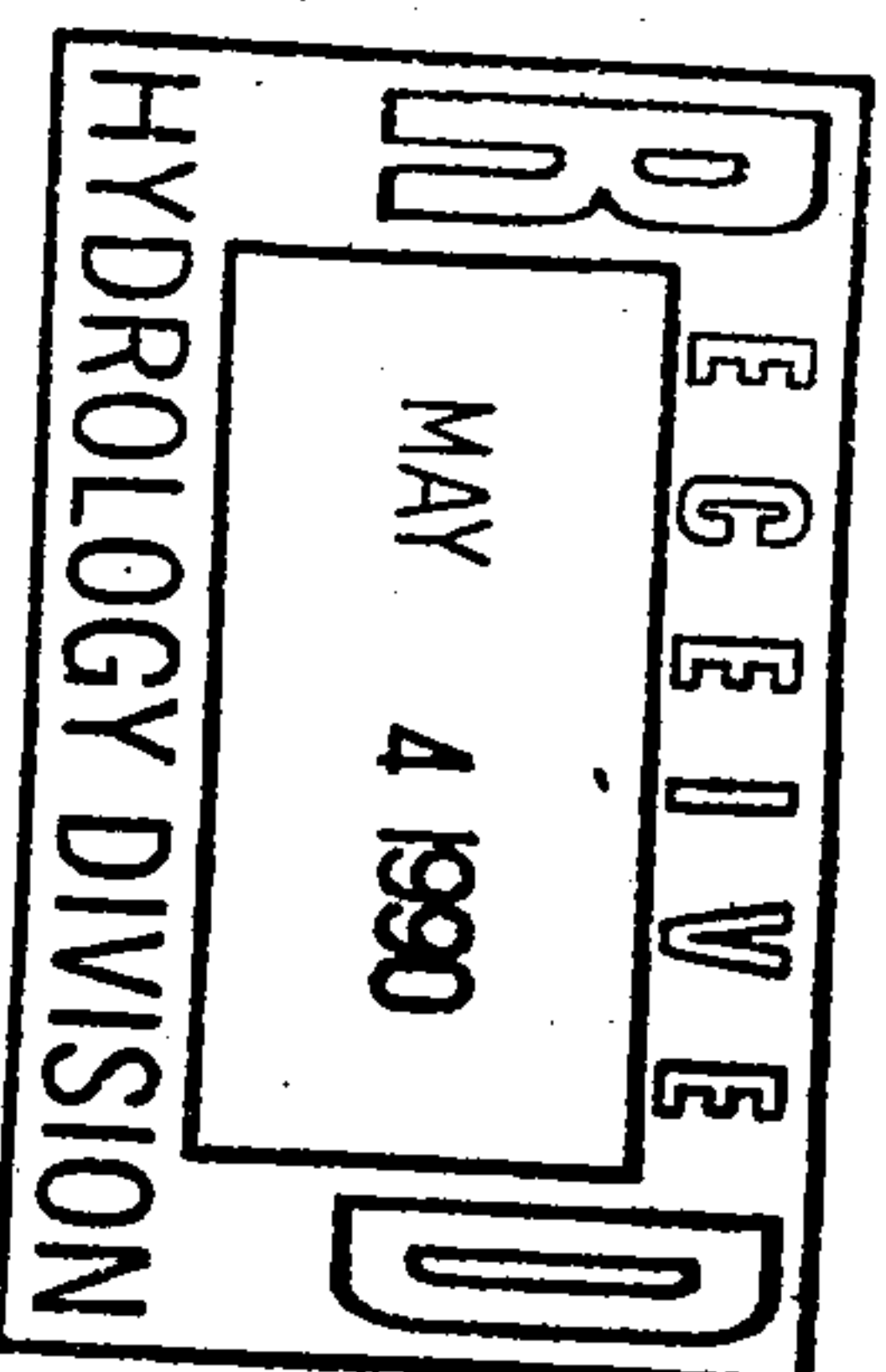
☒ DRAINAGE PLAN

CONCEPTUAL GRADING & DRAINAGE PLAN

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION



## CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

☒ PRELIMINARY PLAT APPROVAL

☒ SITE DEVELOPMENT PLAN APPROVAL

FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

FOUNDATION PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

ROUGH GRADING PERMIT APPROVAL

GRADING/PAVING PERMIT APPROVAL

OTHER \_\_\_\_\_ (SPECIFY)

DRB NO.

EPC NO.

Z-85-98-2

PROJ. NO.

DATE SUBMITTED: May 4 1990

BY:

Steve S. Mulford