

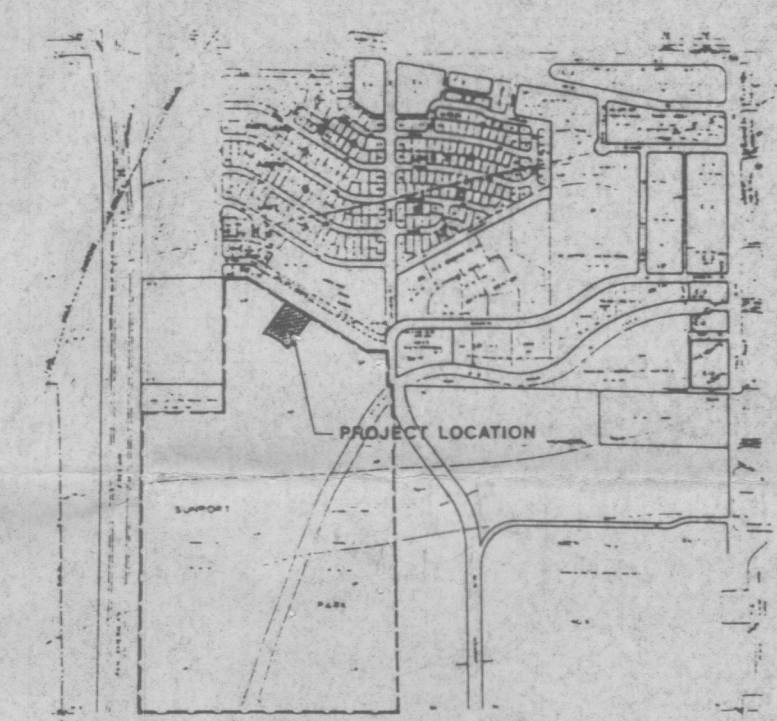
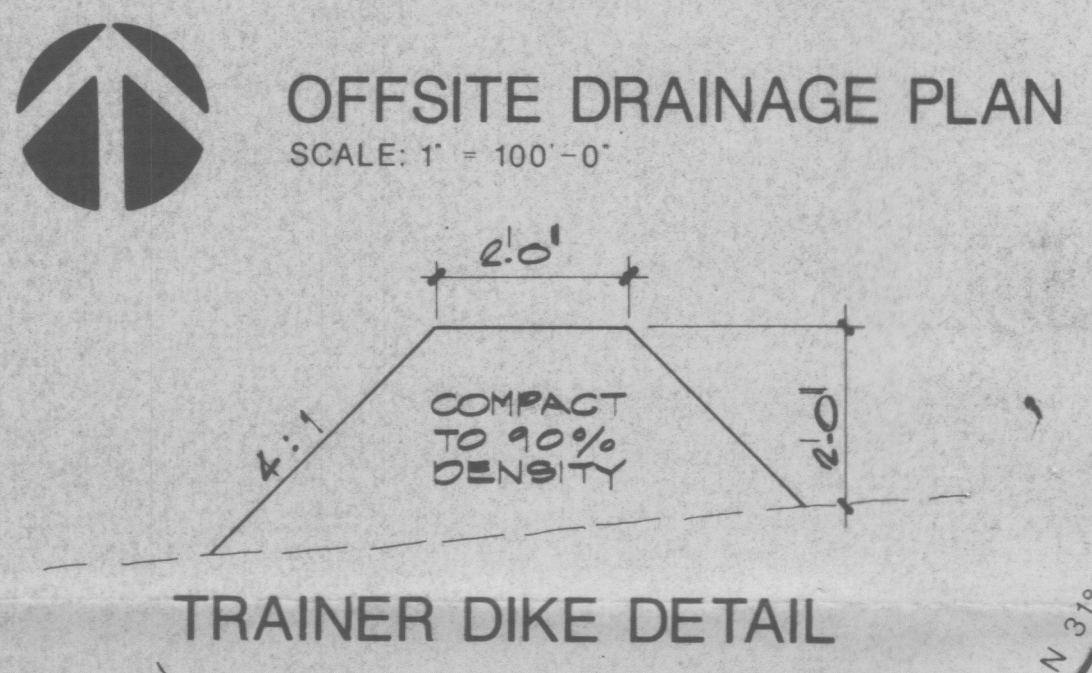
KIRTLAND PARK ADDITION

BPLW
 Architects & Engineers, Inc.
 American Financial Center #5
 Suite 400
 2400 Louisiana Blvd. NE
 Albuquerque, New Mexico 87110
 505/881-BPLW

Designing to Shape the Future

BENCH MARK:
 STA. "1-25-31" ELEVATION 5062.528
 STANDARD NMSHC BRASS TABLET SET IN CONCRETE POST LOCATED AT THE NORTHEAST CORNER OF THE HIGHWAY I-25 BRIDGE CROSSING OVER AN ABANDONED RAILROAD SPUR LINE APPROXIMATELY 1.15 MILES NORTH OF RIO BRAVO BOULEVARD

LEGAL DESCRIPTION: A PORTION OF LOT 1, BLOCK 1, SUNPORT PARK ADDITION AS SHOWN AND DESIGNATED ON THE REPEAT OF SUNPORT PARK RECORDED ON JANUARY 25, 1989 IN PLAT BOOK C38, FOLIO 102



VICINITY MAP
 ZONE ATLAS MAP NO. M-15-Z

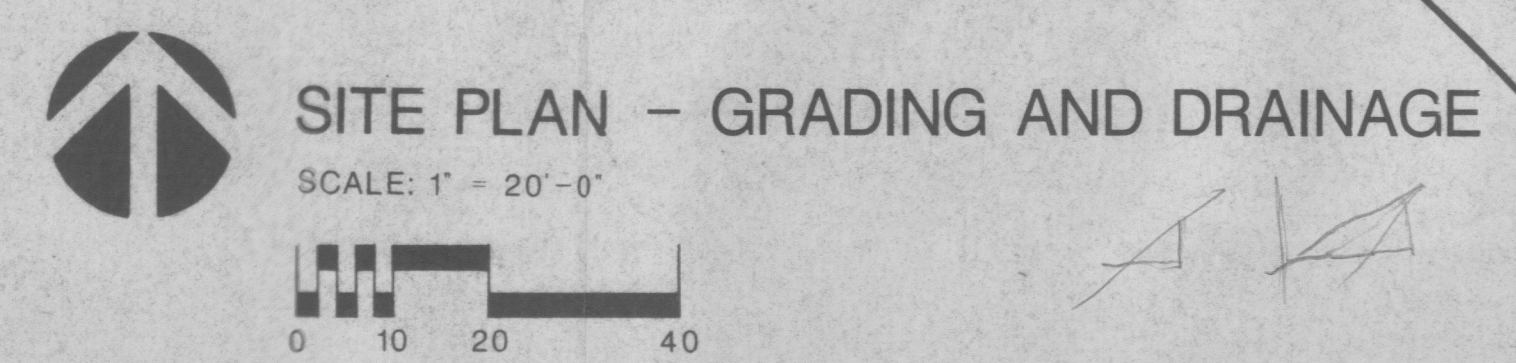
SYMBOL LEGEND

	NEW ELEVATION
	TOP OF CURB
	TOP OF ASPHALT
	FLOW LINE
	WATERBLOCK

TB	
CA	CA
GB	
2	2

DRAINAGE PLAN

- General:** The project site does not lie within any 100 year flood hazard areas as shown on FEMA FIRM Community Panel #0035. The site's soils are Bluepoint (BC) and Wink (Wb) Association and are classified by the SCS as hydrologic soil group "A" and "B" respectively. A small amount of off-site flow enters the site from the east (about 1.4 cfs).
- Master Plan Compliance:** The Sunport Park Phase I Drainage Report indicates that the project site has free discharge. The Master Drainage Report is being revised to allow the subject property to drain into its street frontage. The proposed grading and drainage will be in compliance with the master plan.
- Hydrology:**
 - A = 1.64 acres
 - P100 - 2.3 inches (NOAA Atlas)
 - TC = 10 minutes
 - I100 = 4.86 inch/hour
 - Composite C = 0.72
 - Building - .15 acres
 - Paving/Gravel - .90 acres
 - Landscape - .27 acres
 - Natural - .32 acres
 - Q = 5.74 CFS
- Hydraulics:** The project site will surface drain out of the proposed east drive way and into Flightway Avenue as per the revised Master Drainage Plan. To comply with the Sunport Park Plan, a temporary trainer dike must be constructed along the west edge of Lot 2 to direct the upstream waters into Flightway Avenue.
- Summary:** The proposed grading and drainage will comply with the areas master drainage concept as revised and off-site drainage infrastructure is required as part of the drainage solution.



<p>STEPHEN L. CRAIN PROFESSIONAL ENGINEER ENGINEER 6-29-90</p>	<p>CHARLIE M. OTERO REGISTERED ARCHITECT ARCHITECT</p>
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W & W FREIGHT OFFICE/WAREHOUSE
 JUL 13 1990
 HYDROLOGY DIVISION

PROJECT NO. 90016-02 DATE 29 JUNE 1990

GRADING AND DRAINAGE PLAN

DRAWING NO. **2** OF SHEET

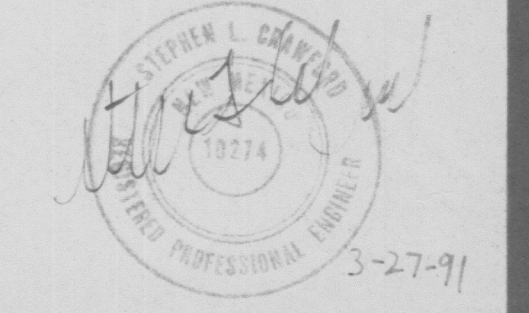
Designing to Shape the Future

BENCH MARK:
STA. "1-25-31" ELEVATION 5062.528
STANDARD NMSHC BRASS TABLET SET IN CONCRETE POST LOCATED AT THE NORTHEAST CORNER OF THE HIGHWAY 1-25 BRIDGE CROSSING OVER AN ABANDONED RAILROAD SPUR LINE APPROXIMATELY 1.15 MILES NORTH OF RIO BRAVO BOULEVARD

TBM: AN "X" CHISELED IN THE TOP OF CURB IN FLIGHTWAY, NEXT TO THE WEST PROPERTY LINE. ELEV = 5074.43

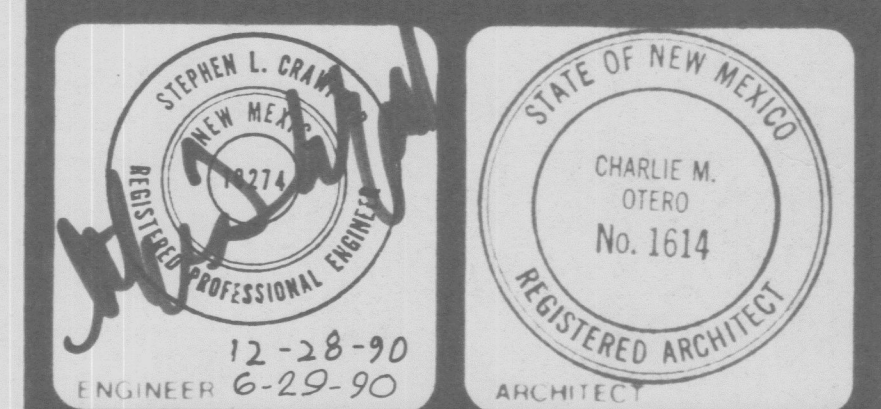
LEGAL DESCRIPTION:
LOT 2A, BLOCK 1, SUNPORT ADDITION.

ENGINEER'S CERTIFICATION:
THE SITE CONSTRUCTION IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.



SYMBOL LEGEND

	NEW ELEVATION
	TOP OF CURB
	TOP OF ASPHALT
	FLOW LINE
	WATERBLOCK
	AS-BUILT
	Rev grade notes for clarity



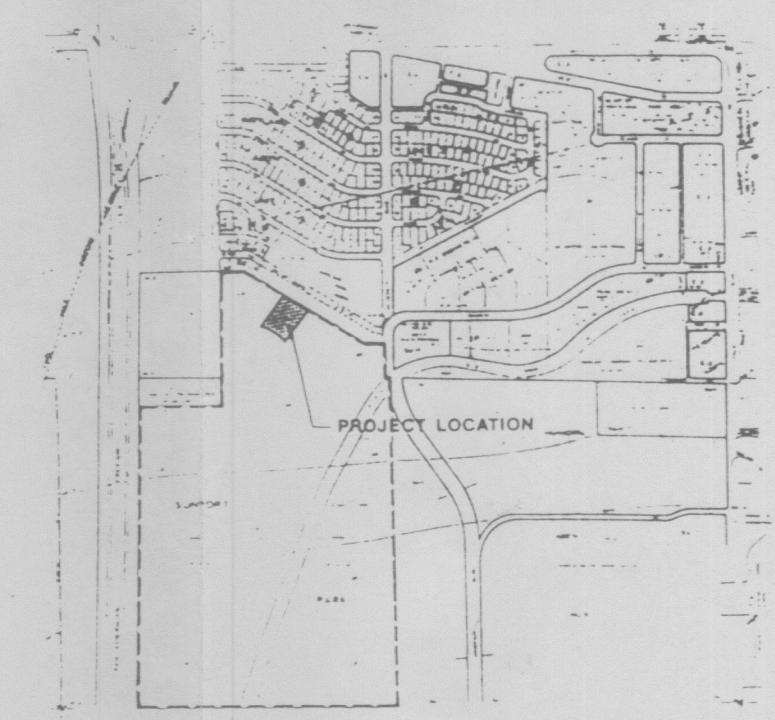
W & W FREIGHT OFFICE/WAREHOUSE
1341 FLIGHTWAY AVENUE SE
ALBUQUERQUE, NEW MEXICO

PROJECT NO. 90016-03 DATE 1 NOV., 1990

GRADING AND PAVING PLAN

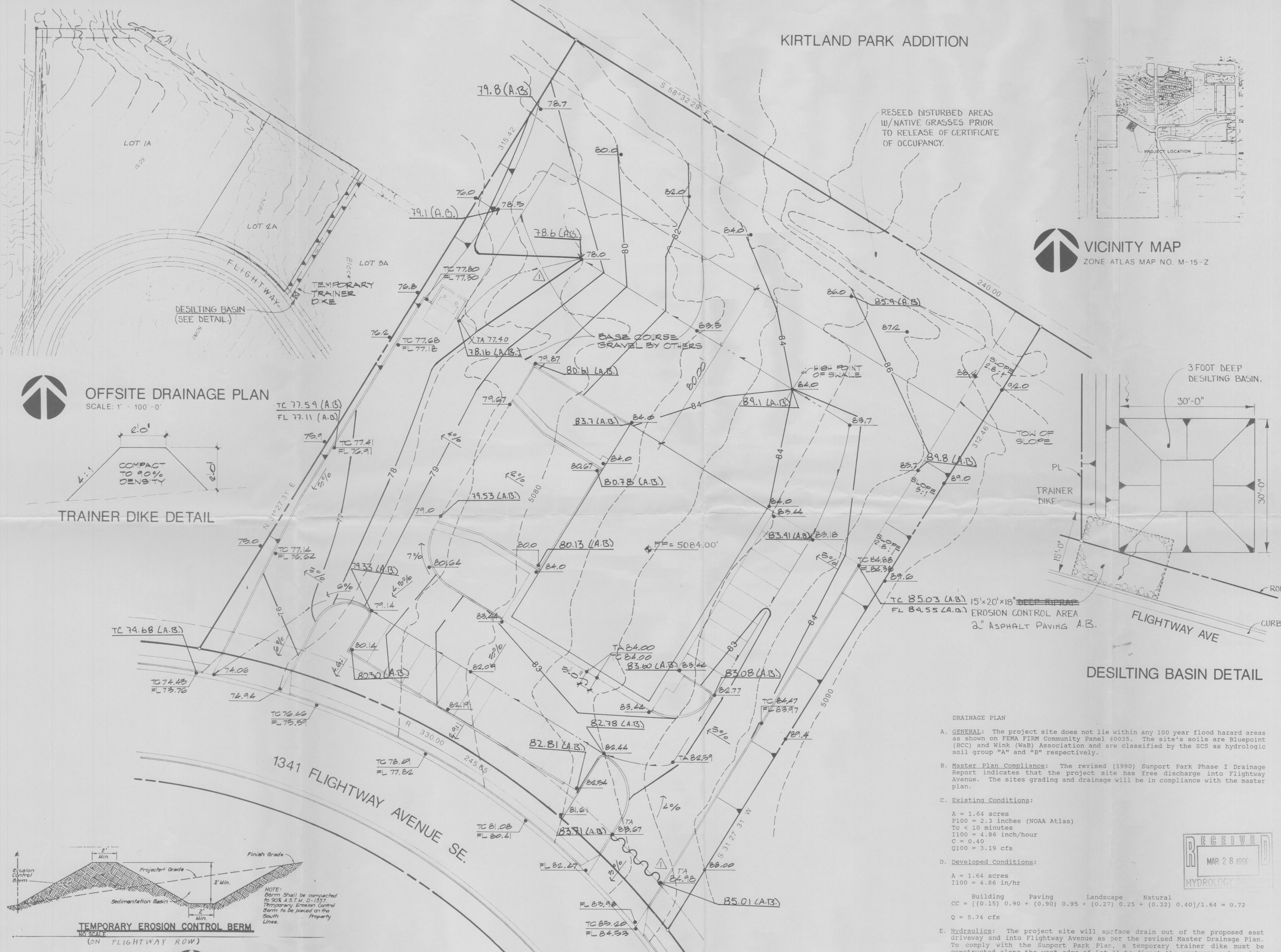
DRAWING NO. **C2**
SHEET OF

KIRTLAND PARK ADDITION

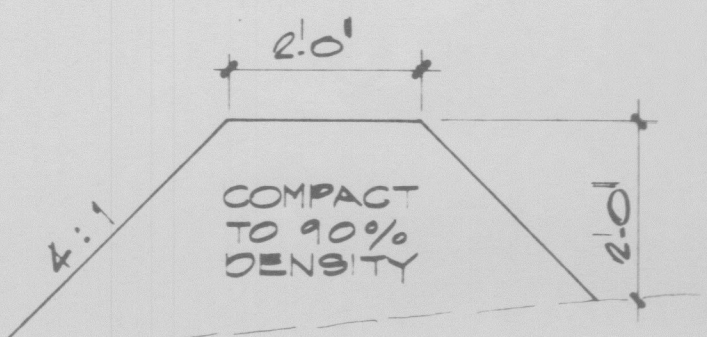


VICINITY MAP
ZONE ATLAS MAP NO. M-15-Z

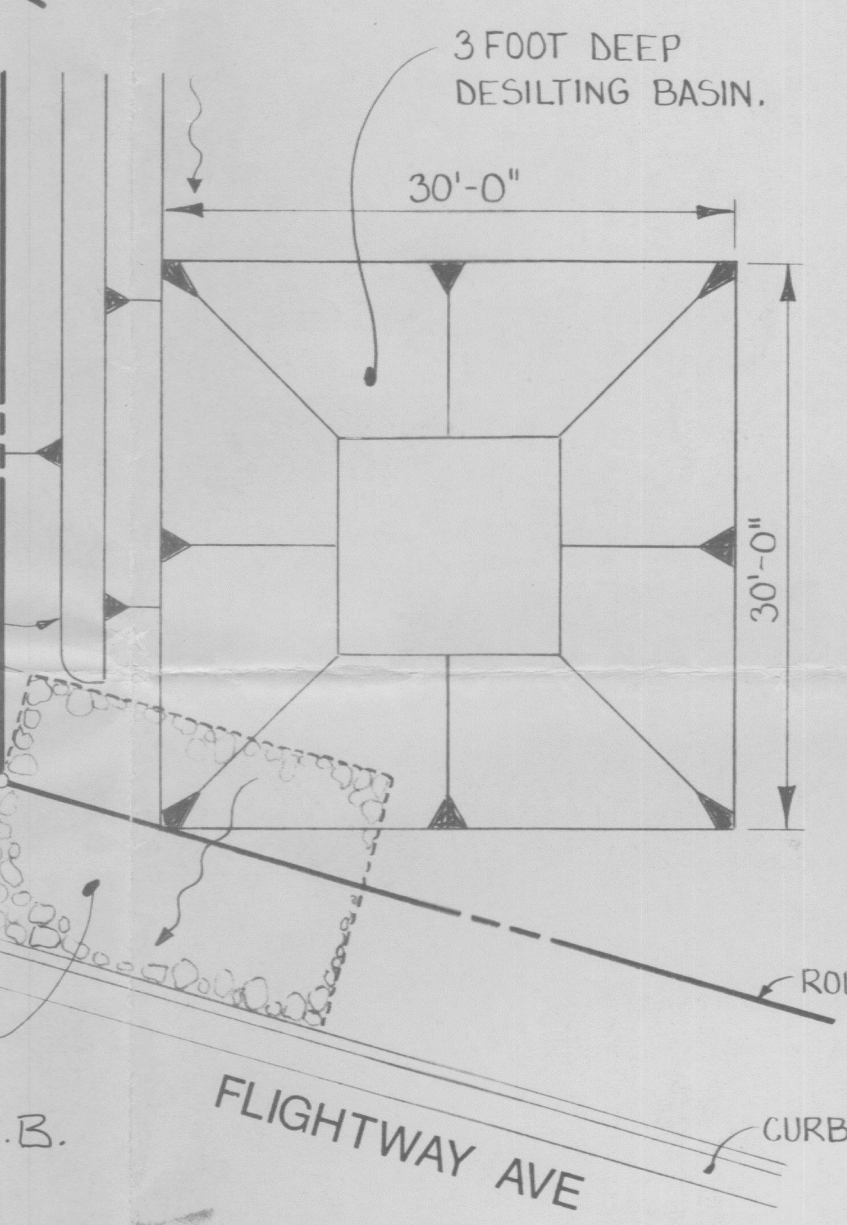
RESEED DISTURBED AREAS W/ NATIVE GRASSES PRIOR TO RELEASE OF CERTIFICATE OF OCCUPANCY.



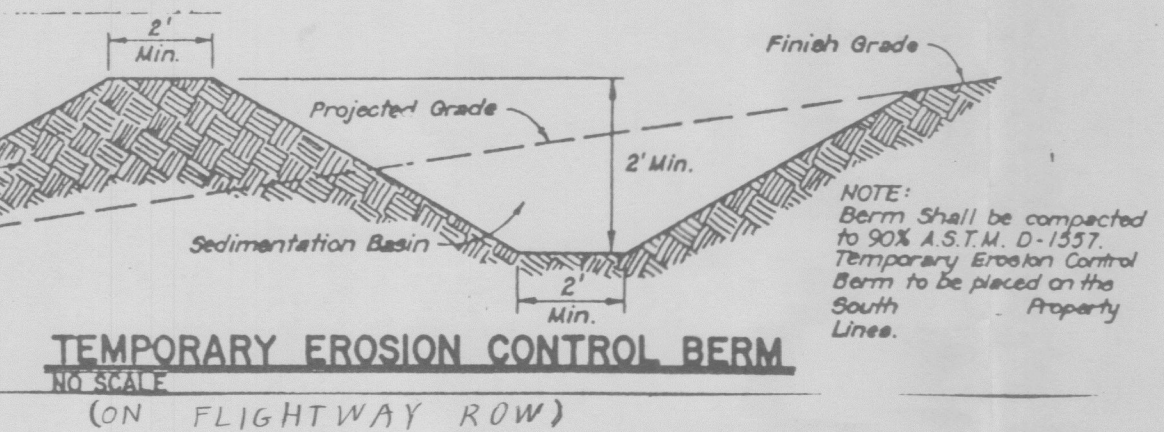
OFFSITE DRAINAGE PLAN
SCALE: 1" = 100'-0"



TRAINER DIKE DETAIL

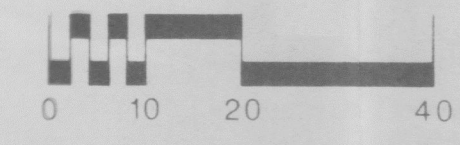


DESILTING BASIN DETAIL

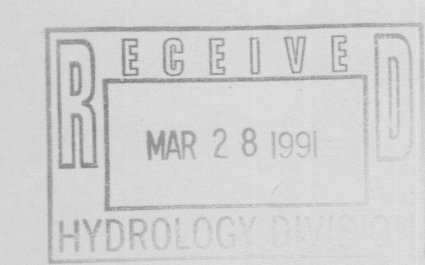


TEMPORARY EROSION CONTROL BERM
NO SCALE
(ON FLIGHTWAY ROW)

SITE PLAN - GRADING AND PAVING
SCALE: 1" = 20'-0"



- DRAINAGE PLAN**
- A. **GENERAL:** The project site does not lie within any 100 year flood hazard areas as shown on FEMA FIRM Community Panel #0035. The site's soils are Bluepoint (BCC) and Wink (Wab) Association and are classified by the SCS as hydrologic soil group "A" and "B" respectively.
- B. **Master Plan Compliance:** The revised (1990) Sunport Park Phase I Drainage Report indicates that the project site has free discharge into Flightway Avenue. The sites grading and drainage will be in compliance with the master plan.
- C. **Existing Conditions:**
A = 1.64 acres
P100 = 2.3 inches (NOAA Atlas)
Tc < 10 minutes
I100 = 4.86 inch/hour
C = 0.40
Q100 = 3.19 cfs
- D. **Developed Conditions:**
A = 1.64 acres
I100 = 4.86 in/hr
Building Paving Landscape Natural
CC = ((0.15) 0.90 + (0.90) 0.95 + (0.27) 0.25 + (0.32) 0.40)/1.64 = 0.72
Q = 5.74 cfs
- E. **Hydraulics:** The project site will surface drain out of the proposed east driveway and into Flightway Avenue as per the revised Master Drainage Plan. To comply with the Sunport Park Plan, a temporary trainer dike must be constructed along the west edge of Lot 3A to direct the upstream waters into Flightway Avenue. A small desilting basin will be required in the southwest corner of Lot 3A to prevent runoff carried sediment from entering the public ROW. The upstream area is about 6 acres and assuming a sediment yield of 5 to 6 tons/acre/year (erosive soils) with an average density of 80 lbs/cf, this will produce about 880 cf of sediment annually. A desilting basin which is twenty feet square and three feet deep will store over a years accumulation.
- F. **Summary:** The proposed grading and drainage will comply with the area's master plan and offsite drainage infrastructure is required as part of the drainage solution. All disturbed areas must be reseeded with native seeding and a crimped hay mulch per City standards.



TB
CA CA
GB GB
C2 C2