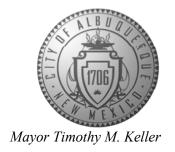
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



September 21, 2023

Amanda M. Atencio, P.E. Atencio Engineering 4434 Valverde Ct. P.O. Box 20364 Colorado City, CO 81019

RE: 1341 Flightway Ave. SE

Grading and Drainage Plan Engineer's Stamp Date: 08/07/23 Hydrology File: M15D023A

Dear Ms. Atencio:

PO Box 1293

Based upon the information provided in your submittal received 09/13/2023, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.

NM 87103

- a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
- b. Please provide the full FIRM Map and flood plain note with effective date.

www.cabq.gov

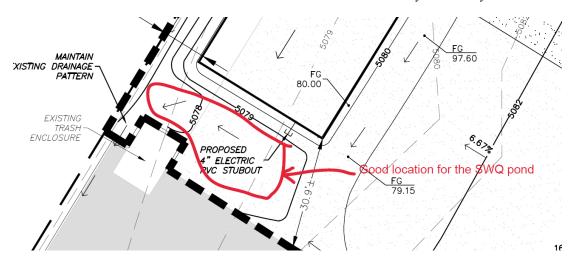
- 2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
- 3. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the new impervious area (Square feet) draining to the BMP by 0.26 inches for redevelopment sites divided by 12 to get the required volume in cubic feet. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation.

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller



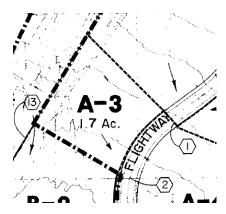
4. Please include under the Existing Conditions, "This site is within the Sunport Park Phase 1 Master Drainage Plan. This site has an allowable discharge of 3.2 cfs to Flightway Ave."

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



City of Albuquerque

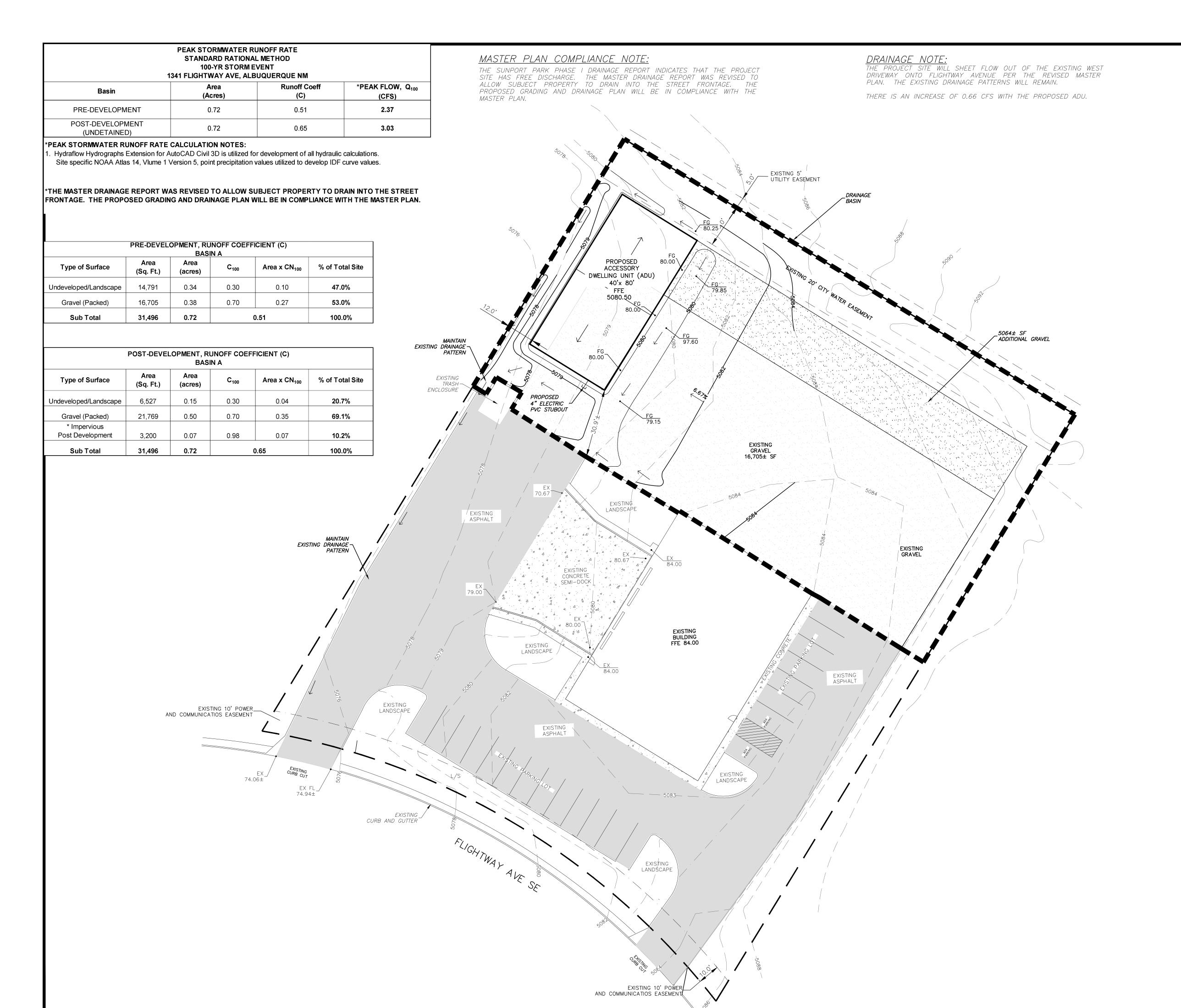
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

		0023-18029 Hydrology File #: Work Order#:
Legal Description Lot 2-A In E		· · · · · · · · · · · · · · · · · · ·
City Address: 1341 Flig		
		LLC. Contact: James Padilla
Address: 7125 (lalla	. '	NN 8/105
Phone#: 505 550-952	3 Fax#: O	NN 87105 E-mail: Jamos Padella 432 ya
Other Contact: 1/A		Contact:
Address:		
Phone#:	Fax#:	E-mail:
TYPE OF DEVELOPMENT:Y TS THIS A RESUBMITTAL?Y		NCE DRB SITE ADMIN SITE COM Net cla
DEPARTMENT:TRAFFIC/T	RANSPORTATION $\sqrt{}$ HYD	PROLOGY/DRAINAGE
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CER PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMEN ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAY TRAFFIC IMPACT STUDY (TO OTHER (SPECIFY) PRE-DESIGN MEETING?	TIFICATION T PERMIT APPLIC OUT (TCL)	PE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)
DATE SUBMITTED: 9.130	23 BY: JAME	35 PADICUA

FEE PAID:_____



GRADING AND DRAINAGE PLAN

THIS DRAWING SET IS THE PROPERTY OF THE REFERENCED PROFESSIONAL AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT AND SITE NAMES HEREIN, AND CANNOT BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE PROFESSIONAL. REPRODUCTION OF

LOT 2-A IN BLOCK 1, SUNPORT PARK ALBUQUERQUE, NM

KEY NOTES:

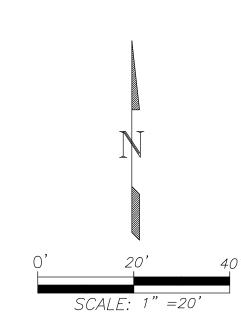
PURPOSE OF ADU: TO STORE PROPERTY OWNERS CAR COLLECTION.

NO MECHANICAL OR PLUMBING WILL BE INSTALLED IN THE PROPOSED ADU.

STA. "I-25-31" ELEVATION 5062.528

STANDARD NMSHC BRASS TABLET SET IN CONCRETE POST LOCATED AT THE NORTHEAST CORNER OF HIGHWAY 1-25 BRIDGE CROSSING OVER AN ABANDONED RAILROAD SPRUR LINE APPROXIMATELY 1.15 MILES NORTH OF RIO BRAVO BOULEVARD

THE PROJECT SITE DOES NOT LIE WITHIN ANY 100 YEAR FLOOD HAZARD AREA AS SHOWN ON FEMA FIRM PANEL 0342G.



LEGEND				
	PROPERTY LINE			
	DRAINAGE BASIN			
<i>— 7901 — —</i>	EXISTING CONTOUR MAJOR			
<i> 7900</i>	EXISTING CONTOUR MINOR			
<i> 7901</i>	PROPOSED CONTOUR MINOR			
<i> 7901</i>	PROPOSED CONTOUR MAJOR			
	EXISTING GRAVEL			
	EXISTING CONCRETE			
	EXISTING ASPHALT			
	PROPOSED GRAVEL			
FG 40.50	PROPOSED SPOT ELEVATION EG: EXISTING GRADE FG: FINISHED GRAGE			
\longrightarrow	FLOW DIRECTION			
FFE	FINISHED FLOOR ELEVATION			

SHEET INDEX:

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LEGAL DESCRIPTION:

IDO ZONING: NR-BP

BENCHMARK NOTE:

FLOODPLAIN NOTE:

LEGEND		
	PROPERTY LINE	
	DRAINAGE BASIN	
—— — 7901 —— —	EXISTING CONTOUR MAJOR	
7900	EXISTING CONTOUR MINOR	
7901 ———	PROPOSED CONTOUR MINOR	
7901 ———	PROPOSED CONTOUR MAJOR	
	EXISTING GRAVEL	
· · · · · · · · · · · · · · · · · · ·	EXISTING CONCRETE	
	EXISTING ASPHALT	
	PROPOSED GRAVEL	
FG 40.50	PROPOSED SPOT ELEVATION EG: EXISTING GRADE FG: FINISHED GRAGE	
<u>→</u>	FLOW DIRECTION	
FFE	ENJOYED FLOOR ELEVATION	

Gro sign

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ATENCIO ENGINEERING, INC. CONSULTING CIVIL ENGINEERS

4434 VALVERDE COURT P.O. BOX 20364 COLORADO CITY, CO 81019

57 VENTERO RD P.O. BOX 143 AMALIA, NM 87512 OFFICE: (719) 676-2551

REVISIONS				
DATE	DESCRIPTION			



		DATE		
DESIGN:	PLB	08/07/23		
DRAFTED:	PLB	08/07/23		
APPROVAL:	AMA	08/07/23		
SCALE: AS SHOWN				
SHEET SIZE:	24	x 36		
FILE: 1000—23—002 1341 Flightway Ave_GRADE.dwg				

PROJECT NUMBER: 1000-23-00

JAMESPADILLA43@YAHOO.COM 505-550-9528

CLIENT CONTACT INFO: KJ ENTERPRISE & DEVELOPMENT 7125 CECILIA DR SW ALBUQUERQUE, NM 87105

SITE LOCATION:

1341 FLIGHTWAY AVE. ALBUQUERQUE, NM 87106

PROJECT NAME:

GARCIA & GARCIA AIR CARGO TRANSPORT 1341 FLIGHTWAY AVE. ALBUQUERQUE, NM 87106

SHEET TITLE: GRADING AND DRAINAGE PLAN

SHEET NO:

C - 1