

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 21, 2023

Amanda M. Atencio, P.E.
Atencio Engineering
4434 Valverde Ct.
P.O. Box 20364
Colorado City, CO 81019

RE: 1341 Flightway Ave. SE
Grading and Drainage Plan
Engineer's Stamp Date: 08/07/23
Hydrology File: M15D023A

Dear Ms. Atencio:

PO Box 1293

Based upon the information provided in your submittal received 09/13/2023, the Grading & Drainage Plan **is not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.

NM 87103

- a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
- b. Please provide the full FIRM Map and flood plain note with effective date.

www.cabq.gov

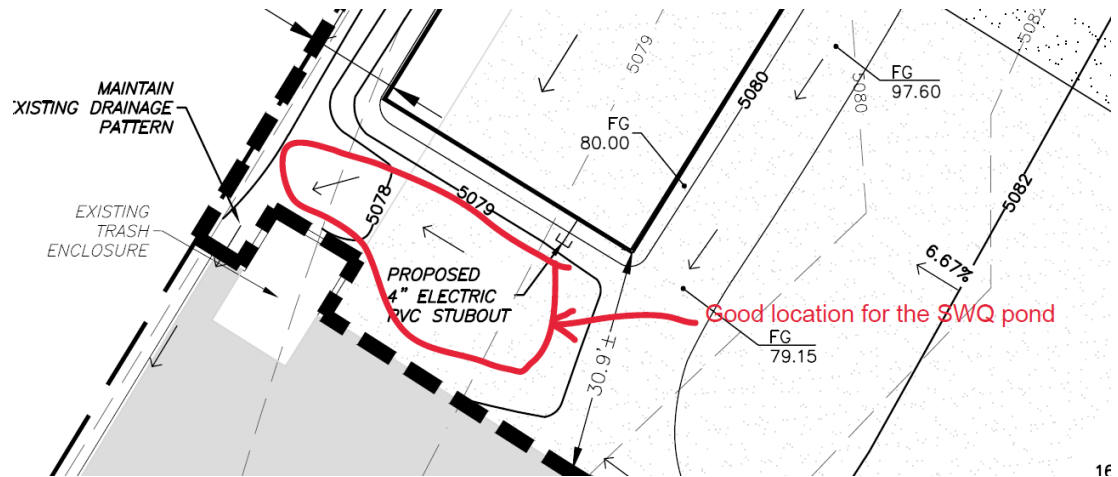
2. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
3. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the new impervious area (Square feet) draining to the BMP by 0.26 inches for redevelopment sites divided by 12 to get the required volume in cubic feet. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation.

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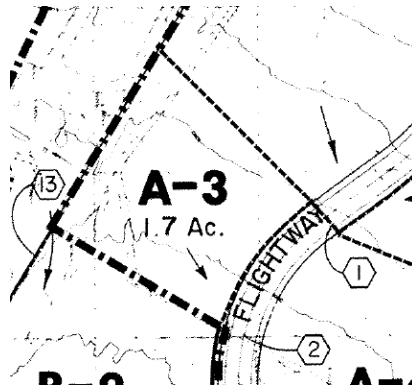


4. Please include under the Existing Conditions, "This site is within the Sunport Park Phase 1 Master Drainage Plan. This site has an allowable discharge of 3.2 cfs to Flightway Ave."

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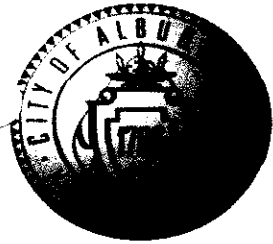
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: Garcia & Garcia ^{STORAGE} Building Building Permit #: BP-2023-18029 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 2-A in Block 1, Sunport Park Albuquerque, NM

City Address: 1341 Flightway Ave SE

Applicant: KJ Enterprise & Development LLC Contact: James Padilla

Address: 7125 Cecilia Dr SW Albuq. NM 87105

Phone#: 505 550-9528 Fax#: _____ E-mail: James.padilla43@yahoo.com

Other Contact: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes ☒ No ☒ commercial

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☒ PAD CERTIFICATION

☒ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

☐ ELEVATION CERTIFICATE

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☒ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ FLOODPLAIN DEVELOPMENT PERMIT

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9.13.23 By: JAMES PADILLA

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

