

PEAK STORMWATER RUNOFF RATE STANDARD RATIONAL METHOD 100-YR STORM EVENT 1341 FLIGHTWAY AVE, ALBUQUERQUE NM			
Basin	Area (Acres)	Runoff Coeff (C)	*PEAK FLOW, Q ₁₀₀ (CFS)
PRE-DEVELOPMENT	0.72	0.57	2.85
POST-DEVELOPMENT (UNDETAINED)	0.72	0.65	3.16
POND VOLUME (Cu.Ft.)			
DETENTION POND (12" WIDE WEIR OUTLET)	481		2.82

PEAK STORMWATER RUNOFF RATE CALCULATION NOTES:
The Development Process Manual (DPM) Article 6-2(a) was utilized to for hydraulic calculations.
Precipitation Zone: 3
QP Values per Table 6.2.14

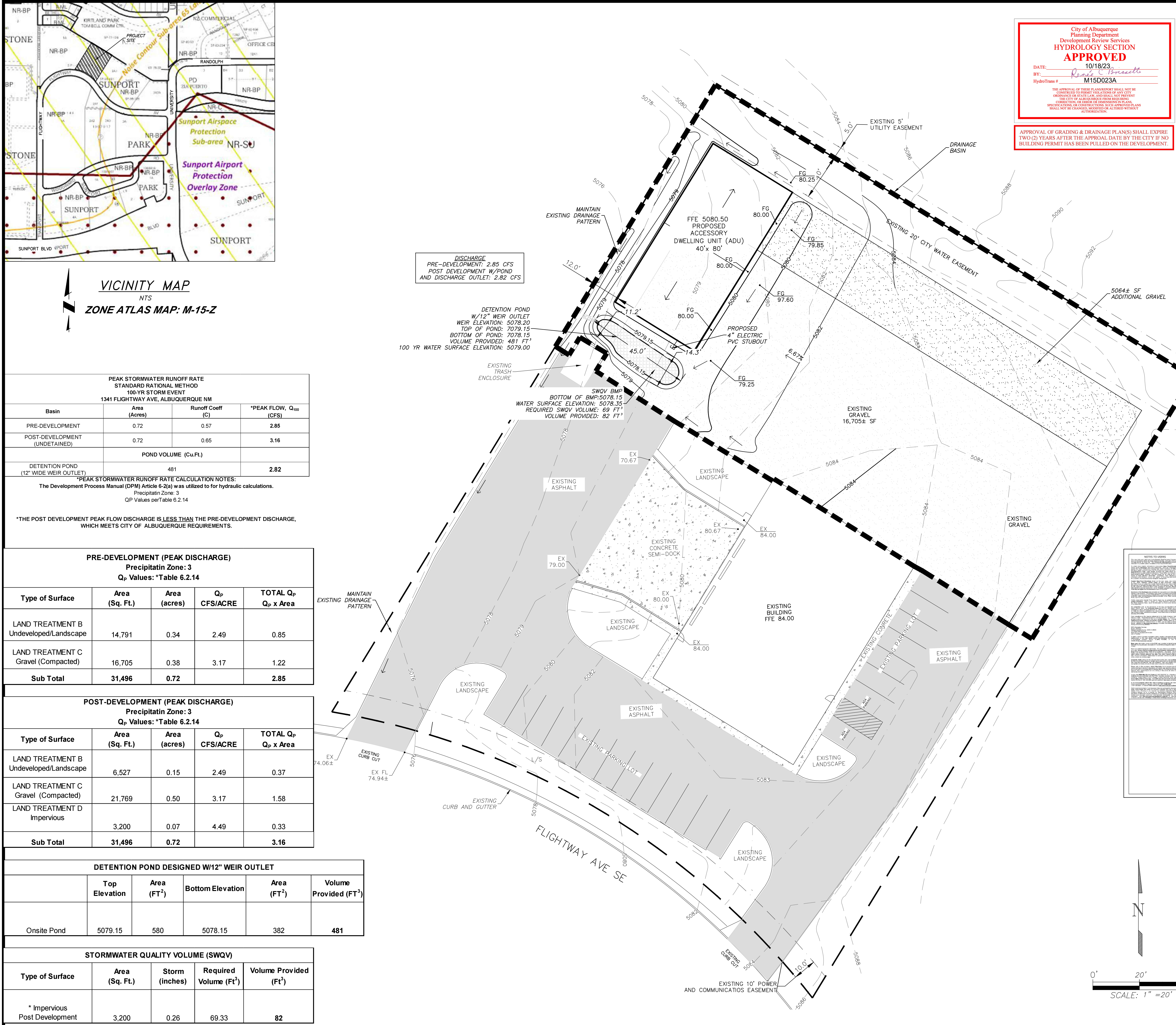
*THE POST DEVELOPMENT PEAK FLOW DISCHARGE IS LESS THAN THE PRE-DEVELOPMENT DISCHARGE,
WHICH MEETS CITY OF ALBUQUERQUE REQUIREMENTS.

PRE-DEVELOPMENT (PEAK DISCHARGE) Precipitation Zone: 3 Q _p Values: *Table 6.2.14				
Type of Surface	Area (Sq. Ft.)	Area (acres)	Q _p CFS/ACRE	TOTAL Q _p Q _p x Area
LAND TREATMENT B Undeveloped/Landscape	14,791	0.34	2.49	0.85
LAND TREATMENT C Gravel (Compacted)	16,705	0.38	3.17	1.22
Sub Total	31,496	0.72		2.85

POST-DEVELOPMENT (PEAK DISCHARGE) Precipitation Zone: 3 Q _p Values: *Table 6.2.14				
Type of Surface	Area (Sq. Ft.)	Area (acres)	Q _p CFS/ACRE	TOTAL Q _p Q _p x Area
LAND TREATMENT B Undeveloped/Landscape	6,527	0.15	2.49	0.37
LAND TREATMENT C Gravel (Compacted)	21,769	0.50	3.17	1.58
LAND TREATMENT D Impervious	3,200	0.07	4.49	0.33
Sub Total	31,496	0.72		3.16

DETENTION POND DESIGNED W/12" WEIR OUTLET					
	Top Elevation	Area (FT ²)	Bottom Elevation	Area (FT ²)	Volume Provided (FT ³)
Onsite Pond	5079.15	580	5078.15	382	481

STORMWATER QUALITY VOLUME (SWQV)				
Type of Surface	Area (Sq. Ft.)	Storm (inches)	Required Volume (FT ³)	Volume Provided (FT ³)
* Impervious Post Development	3,200	0.26	69.33	82



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 10/18/23
BY: *Renee C. Brissette*
HydroTrans #: M15D023A

THE APPROVAL OF THESE PLANS DOES NOT BE
CONSIDERED A GUARANTEE OF ANY CITY
ENGINEER OR PLANNING DEPARTMENT. THE CITY
OF ALBUQUERQUE IS NOT RESPONSIBLE FOR
CORRECTION OR CONSTRUCTION OF THESE
PLANS. THE CITY OF ALBUQUERQUE IS NOT
RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION
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IS NOT RESPONSIBLE FOR THE DESIGN OR
CONSTRUCTION OF THESE PLANS.

APPROVAL OF GRADING & DRAINAGE PLANS(S) SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

SHEET INDEX:

SHEET NO. C-1 SHEET TITLE GRADING AND DRAINAGE PLAN

LEGAL DESCRIPTION:

LOT 2-A IN BLOCK 1, SUNPORT PARK
ALBUQUERQUE, NM

BENCHMARK NOTE:

STA. "1-25-31" ELEVATION 5062.528

KEY NOTES:

IDO ZONING: NR-BP
PURPOSE OF ADU: TO STORE PROPERTY OWNERS CAR
COLLECTION.
NO MECHANICAL OR PLUMBING WILL BE INSTALLED IN THE
PROPOSED ADU.

EXISTING CONDITIONS:

THE EXISTING CONDITIONS FOR THIS SITE IS WITHIN THE SUNPORT
PARK PHASE 1 MASTER DRAINAGE PLAN AND HAS AN ALLOWABLE
DISCHARGE OF 3.2 CFS TO FLIGHTWAY AVE.

DRAINAGE NOTE:

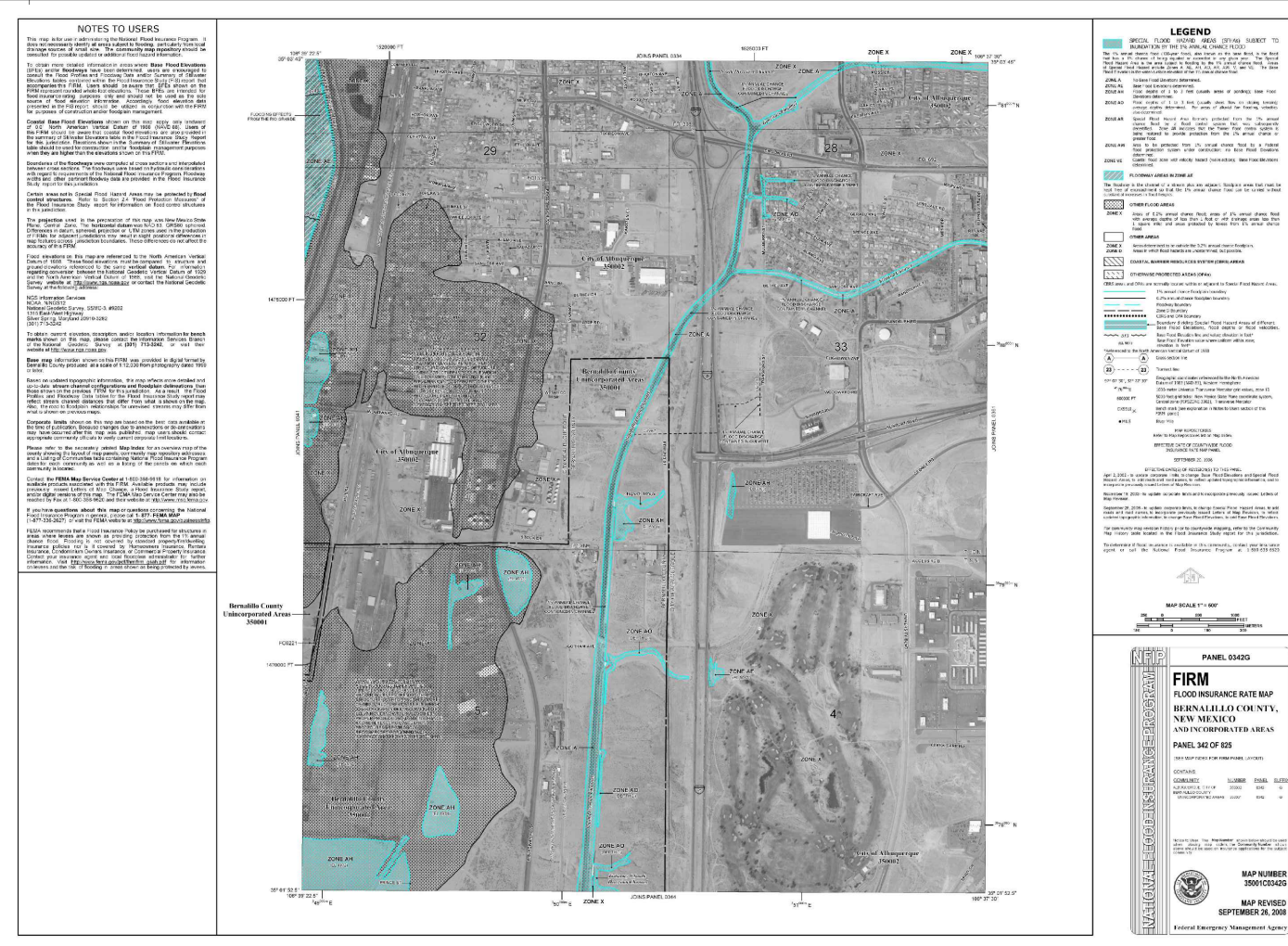
THE RUNOFF FROM THE IMPROVEMENTS WILL SHEET FLOW TO THE
PROPOSED POND LOCATED SOUTH OF THE PROPOSED ADU TO
DETAINE THE INCREASE OF RUNOFF OF POST DEVELOPMENT
CONDITIONS. THE POND IS DESIGNED WITH A 12" WEIR OUTLET
TO CONTROL THE DISCHARGE OF POST DEVELOPMENT CONDITIONS.
THERE IS NO INCREASE IN DISCHARGE. THE EXISTING DRAINAGE
PATTERNS WILL REMAIN TO THE WEST DRIVEWAY ONTO FLIGHTWAY
AVENUE PER THE REVISED MASTER PLAN.

FLOODPLAIN NOTE:

THE PROJECT SITE DOES NOT LIE WITHIN ANY 100 YEAR
FLOOD HAZARD AREA AS SHOWN ON FEMA FIRM PANEL 0342G.

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FIRM MAP

MAP #35001C0342G

PANEL 342 OF 825

EFFECTIVE DATE: SEPTEMBER 26, 2008

LEGEND	
---	PROPERTY LINE
---	DRAINAGE BASIN
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	EXISTING GRAVEL
---	EXISTING CONCRETE
---	EXISTING ASPHALT
---	PROPOSED GRAVEL
---	PROPOSED ASPHALT
---	PROPOSED SPOT ELEVATION
---	EXISTING GRADE
---	FINISHED GRADE
---	FLOW DIRECTION
---	FINISHED FLOOR ELEVATION

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AMALIA, NM 87512
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REVISIONS	
DATE	DESCRIPTION

Renee C. Brissette
Professional Engineer
19213
10/10/23

DESIGN:	DATE
PLB	10/10/23
DRAFTED:	PLB
APPROVAL:	AMA
SCALE:	AS SHOWN
SHEET SIZE:	24 x 36
FILE:	100-23-002 1341 Flightway Ave_GRADE.dwg
PROJECT NUMBER:	1000-23-002
CLIENT CONTACT INFO:	KJ ENTERPRISE & DEVELOPMENT 7125 CECILIA DR SW ALBUQUERQUE, NM 87105 JAMESPADILLA43@YAHOO.COM 505-550-9528

SITE LOCATION:
1341 FLIGHTWAY AVE.
ALBUQUERQUE, NM 87106

PROJECT NAME:
GARCIA & GARCIA
AIR CARGO TRANSPORT
1341 FLIGHTWAY AVE.
ALBUQUERQUE, NM 87106

SHEET TITLE:
GRADING AND
DRAINAGE PLAN

SHEET NO:
C - 1