

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 15, 2022

Ron Hensley, P.E.  
THE Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

**RE: Avid Hotel**  
**1441 Woodward Rd. SE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 10/12/20**  
**Hydrology File: M15D023B**

Dear Mr. Hensley:

PO Box 1293

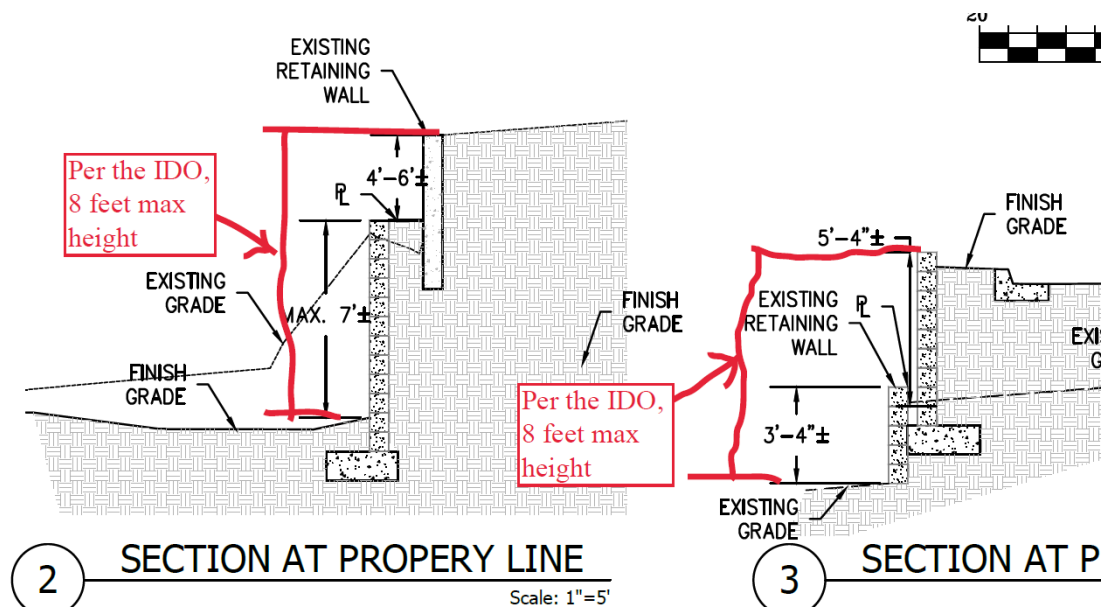
Based upon the information provided in your submittal received 06/27/2022, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Per the IDO 14-16-5-7(D)(1), the maximum height for a retaining wall is 8 feet for Non-residential NR-BP Zone. This site has two proposed retaining walls adjacent to an existing retaining wall. The total height of the two cannot exceed 8 feet.

NM 87103

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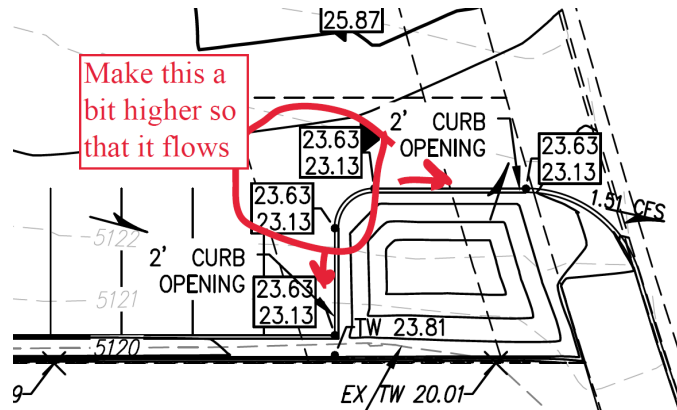
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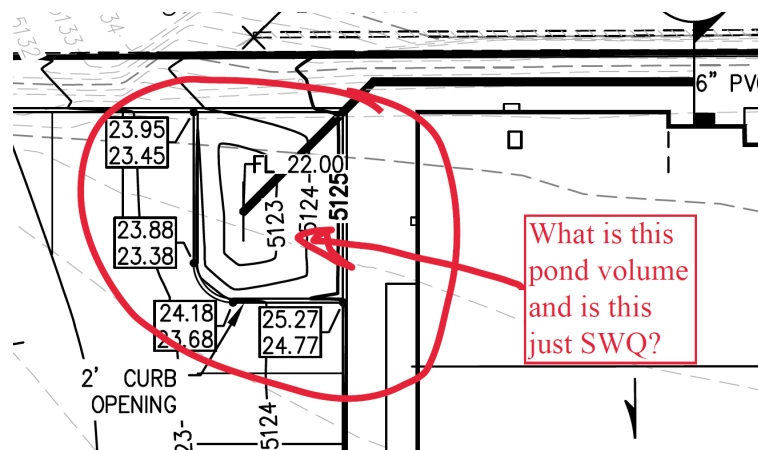


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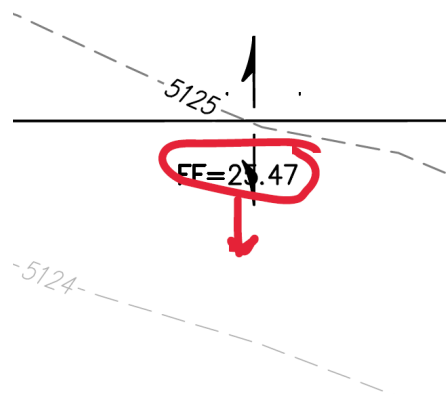
- Please make a minor adjustment to the flowline/TC to make this flow.



- What is this pond volume and is this just SWQ?



- Please move the FF elevation down a little so that it can be readable.



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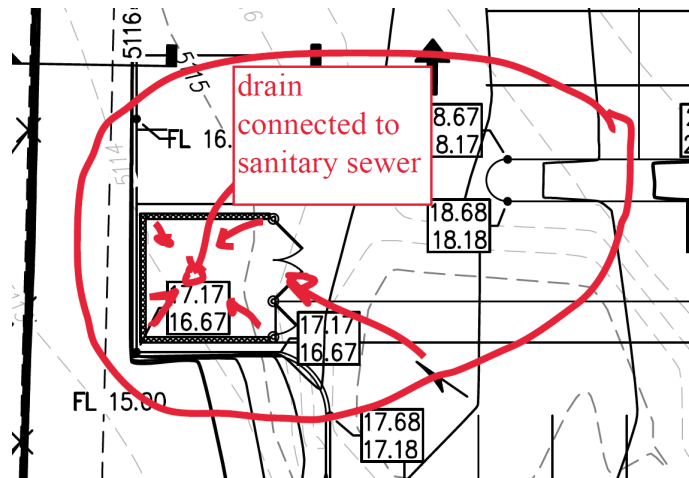
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5. Please add the note, "Side slopes need to be stabilized with Native Grass Seed per the City Specification with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".
6. Please provide the weir calculations, per DPM Article 6-16(A), for the 2 ft curb cuts and 4 ft concrete swale. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ .
7. It appears that there are flows going into the dumpster enclosure. This is not allowed. Also, trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer.

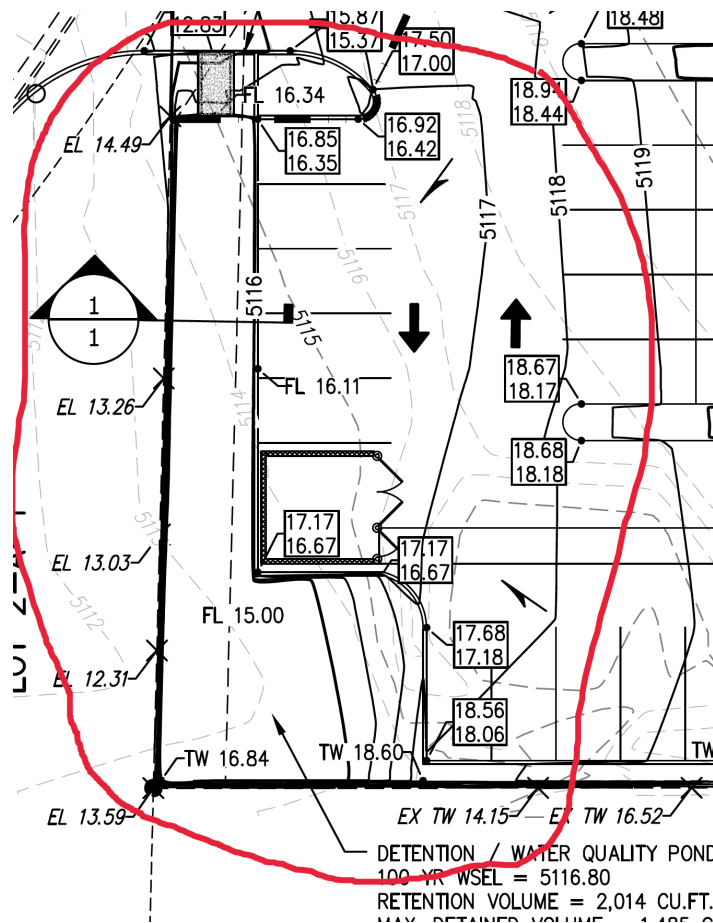


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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Avid Hotel **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 2-A-3, BLOCK 2, SUNPORT PARK  
**City Address:** 1441 WOODWARD RD. SE

**Applicant:** THE Group **Contact:** Ron Hensley  
**Address:** 300 Branding Iron Rd. SE, Rio Rancho, NM 87124  
**Phone#:** 505-410-1622 **Fax#:** \_\_\_\_\_ **E-mail:** ron@thegroup.cc  
**Owner:** Sunport Lodging LLC **Contact:** Vinodh Perumal  
**Address:** 4509 Atherton Way NW, ALBUQUERQUE, NM 87120  
**Phone#:** 505-897-7168 **Fax#:** \_\_\_\_\_ **E-mail:** vinodh@vertimgt.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 6/27/22 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

