

CITY OF ALBUQUERQUE



July 27, 2017

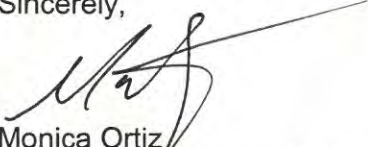
Robert Rayner
R2 Architectural Design and Consulting
730 San Mateo Blvd., SE
Albuquerque, NM 871108

**Re: Foods of New Mexico Warehouse - 3041 University Blvd.
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Architect's Stamp dated 5-08-17 Revised Plan (M15D023C)
Certification dated 07-24-17

Dear Mr. Rayner,

Based upon the information provided in your submittal received 07-26-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981.
Sincerely,


Monica Ortiz
Plan Checker Transportation Dept.
Development Review Services

C: CO Clerk, File



July 24, 2017

Project: 3041 University Blvd. SE

TRAFFIC CERTIFICATION

I, Robert Rayner, Architect, of the firm R² Architectural Design & Consulting, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 10/28/15. The record information edited onto the original design document has been obtained by David Santistevan of the firm R² Architectural Design & Consulting. I further certify that I have personally visited the project site on 7/11/17 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

Exceptions:

- None

Deficiencies:

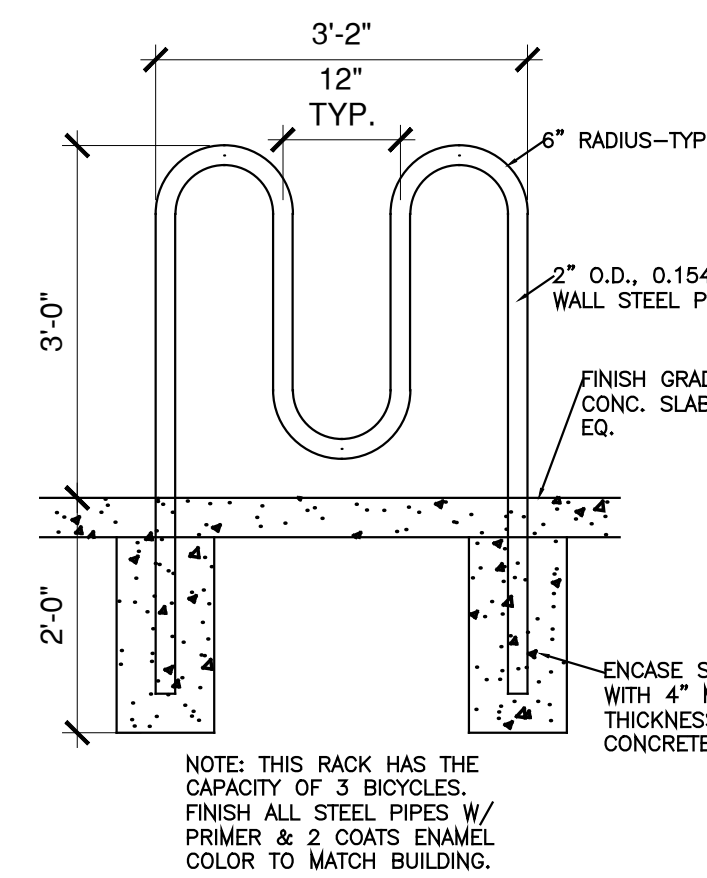
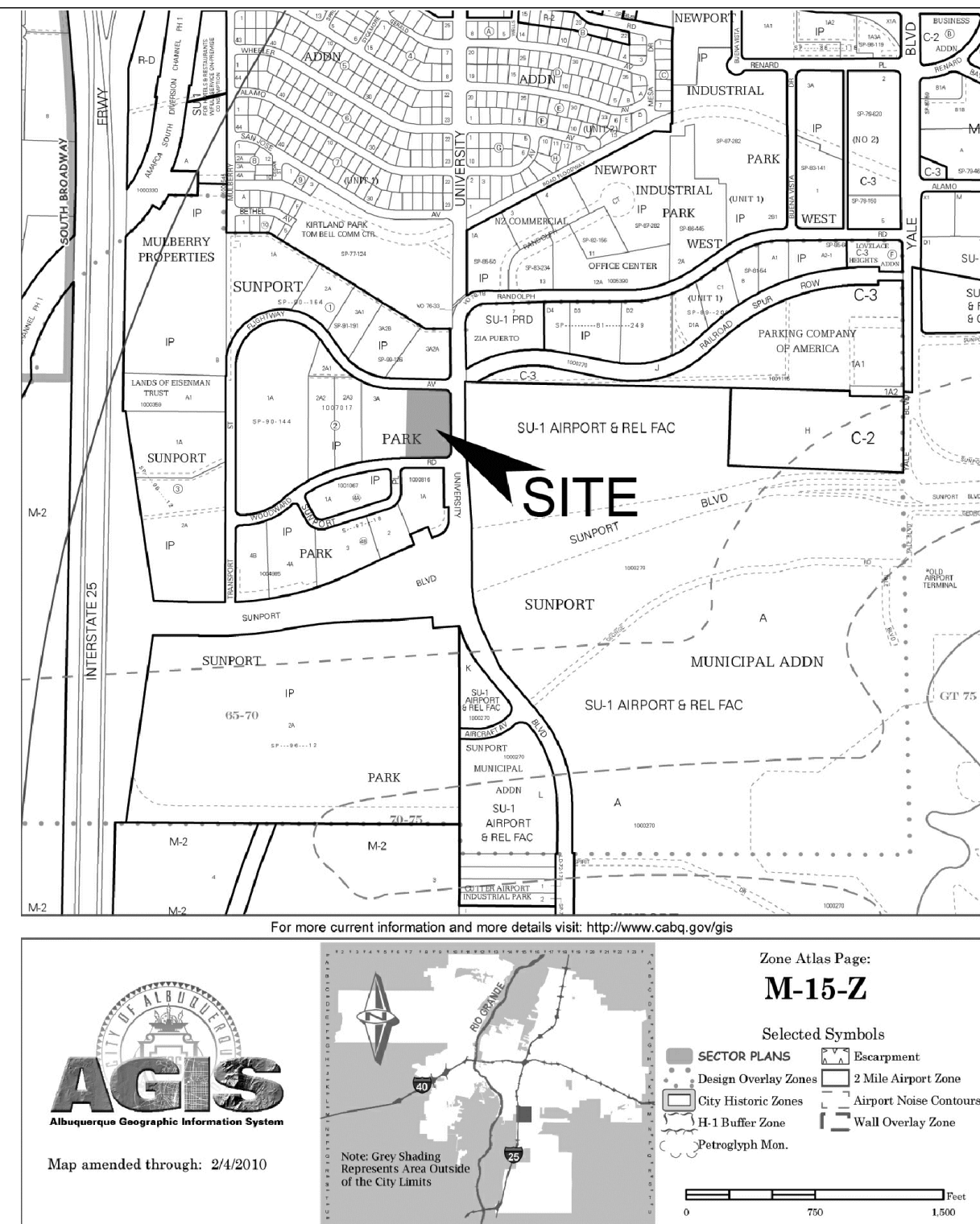
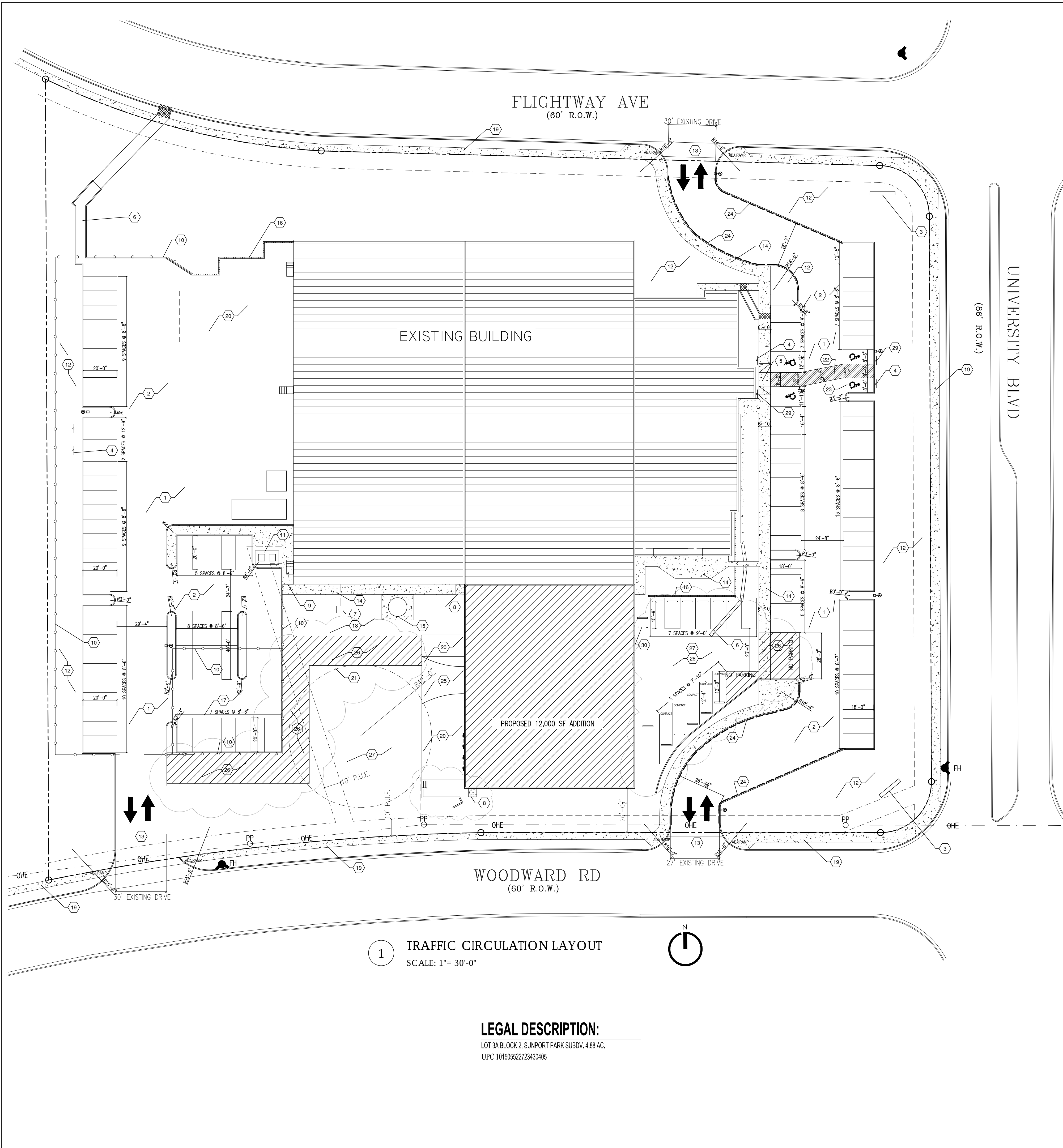
- None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

A handwritten signature in black ink, appearing to read 'Robert C. Rayner', is written over a horizontal line.

Robert Rayner, AIA, R2 Architectural Design & Consulting, LLC





DESIGN STANDARDS

- ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430.
- ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431.
- ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450.
- ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING.
- ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES.

KEYED NOTES (TCL)

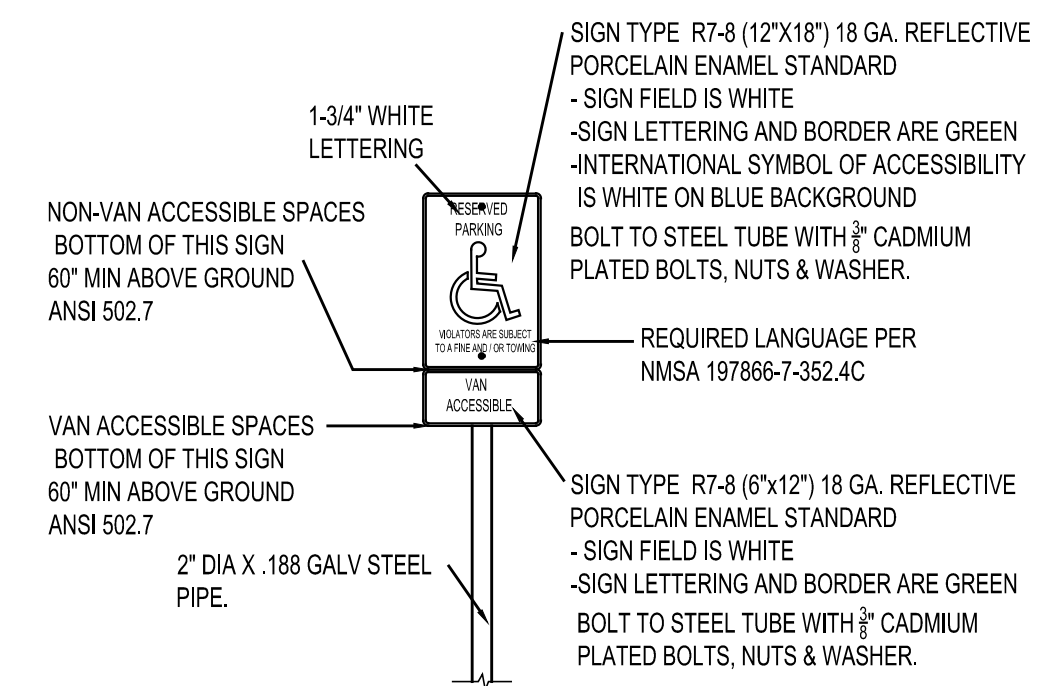
- | | |
|--|---|
| 1. EXISTING PARKING AREA | 17. EXISTING SECURE STORAGE AREA |
| 2. EXISTING ASPHALTIC PAVING | 18. EXISTING GRAVEL |
| 3. EXISTING MONUMENT SIGN | 19. EXISTING SIDEWALK |
| 4. EXISTING H.C. PARKING SIGN SEE DETAIL | 20. LOADING DOCK AREA |
| 5. EXISTING H.C. RAMP | 21. T RUCK TURNING RADIUS |
| 6. EXISTING CONCRETE DRAIN | 22. 6' WIDE ACCESS ISLE |
| 7. EXISTING GREASE INTERCEPTOR | 23. "NO PARKING" CAP LETTERS 1" HIGH 2" WIDE AS SHOWN |
| 8. NEW CONCRETE STOOP | 24. FIRE LANE |
| 9. EXISTING PEDESTRIAN GATE | 25. FORKLIFT RAMP |
| 10. EXISTING CHAINLINK FENCE | 26. RED STRIPED ON PARKING AREA |
| 11. EXISTING TRANSFORMER PAD | 27. NEW ASPHALTIC PAVING |
| 12. EXISTING LANDSCAPE AREA | 28. NEW PARKING AREA |
| 13. EXISTING DRIVE PAD | 29. H.C. PARKING SIGN WITH ADDITIONAL SIGN STATING (VAN ACCESSIBLE) |
| 14. EXISTING CONCRETE WALK | 30. BIKE RACK |
| 15. EXISTING EQUIPMENT PAD | |
| 16. EXISTING CMU WALL | |

PROJECT DATA

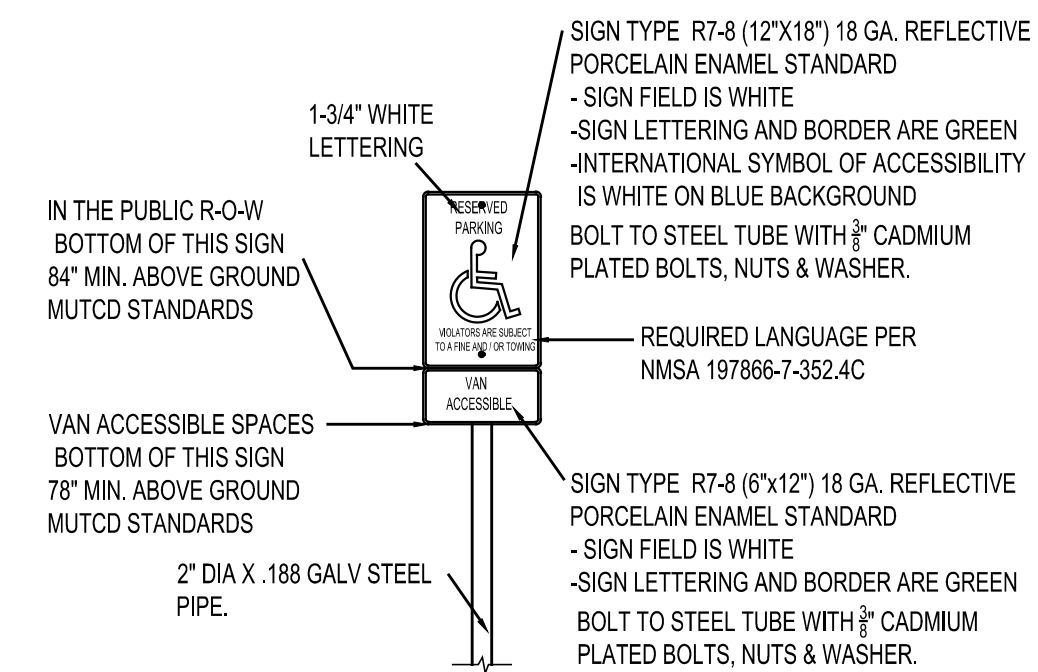
PROJECT:	FOODS OF NEW MEXICO WARHOUSE 3041 UNIVERSITY BLVD SE ALBUQUERQUE, NM 87106 505-888-0104
OWNER:	NEW MEXICO FOOD DIST. INC. 3041 UNIVERSITY BLVD SE ALBUQUERQUE, NM 87106 505-888-0104
ARCHITECT:	ROBERT RAYNER, ARCHITECT NM REG. #4948 730 SAN MATEO BLVD SE, STE-1 ALBUQUERQUE, NM 87108 505-884-9694
CONTRACTOR:	NM FOOD DISTRIBUTORS INC. 3041 UNIVERSITY BLVD SE ALBUQUERQUE, NM 87106 NM LIC # 378198
ZONING:	IP
PROPERTY UPC:	101505522723430405
LEGAL DESC.:	LOT 3A BLOCK 2, SUNPORT PARK SUBDV, 4.88 AC.
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2009 NEW MEXICO BUILDING CODE (COMMERCIAL), 2009
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-2009
SEISMIC DESIGN CATEGORY:	D
SEISMIC FACTOR:	CAT III, (IE) 1.25
CONST. TYPE:	I-B (SPRINKLED)
OCCUPANCY:	EXISTING: F-1 ADDITION: S-2
BUILDING AREA:	EXISTING: 49,683 SF ADDITION: 12,000 SF 61,683 SF
ALLOWABLE AREA:	69,750 SF W/ INCREASE DUE TO SPRINKLER SYSTEM AND FRONTAGE.
PARKING REQD:	EXISTING: 51 SPACES-4 OF WHICH ARE H.C. ACCESSIBLE ADDITION: 11 SPACES
PARKING PROVIDED:	112 SPACES-4 OF WHICH SHALL BE H.C. ACCESSIBLE

PROJECT SUMMARY

PROJECT CONSISTS OF THE CONSTRUCTION OF A 12,000 SF FREEZER/WAREHOUSE ADDITION ON THE SOUTH SIDE OF THE EXISTING BUILDING. THE ORIGINALLY APPROVED SITE PLAN INDICATES A FUTURE EXPANSION OF 17,000 SF. THIS ADDITION WILL BE CONSTRUCTED IN AN AREA OF EXISTING GRAVEL AND WILL NOT IMPACT THE EXISTING PARKING IN ANY WAY (WHICH IS EXISTING AND UNCHANGED).



PARKING LOT SIGN

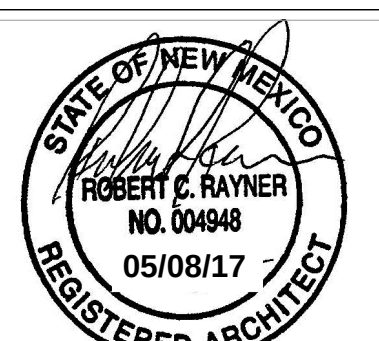


ON-STREET PARKING SIGN

H.C. SIGN

PARKING LOT SIGN

N.T.S.



R² ARCHITECTURAL DESIGN
730 SAN MATEO BLVD. SE STE-1
ALBUQUERQUE, NEW MEXICO 87108
TEL: 505.884.9694 FAX: 888.892.5814

COMMENTS

NO.	DATE	REVISIONS

DRAWN BY: RR / JA

CHECKED BY: RR

DATE: 10/28/15

SCALE: AS SHOWN

FOODS OF NEW MEXICO

3041 UNIVERSITY BLVD SE
ALBUQUERQUE, NM 87106

TRAFFIC CIRCULATION LAYOUT

-SHEET-

T-100

c:\clients\FOODS\TCL.dwg