



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 8, 1992

Mark Goodwin
Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: REVISED-ENGINEER CERTIFICATION FOR FUSION, INC. (M15-D23D)
CERTIFICATION STATEMENT DATED 9/24/92.

Dear Mr. Goodwin:

Based on the information provided on your September 28, 1992 resubmittal, Engineer Certification for the above referenced site is acceptable for Engineer Certification.

Please be advised that if the adjacent site is not developed in the near future, the required berm will need to be upgraded to provide protection to Fusion Inc.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Assistant

BJM/d1/WPHYD/3671

xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 22, 1992

Mark Goodwin
D. Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR FUSION, INC. (M-15/D23D) CERTIFICATION
STATEMENT DATED SEPTEMBER 7, 1992

Dear Mr. Goodwin:

Based on the information provided on your September 9, 1992 submittal, Engineer Certification for the above referenced site is not acceptable for the following reasons:

1. Swale on the east side of the property which intercepts the off-site flows is not adequate to handle the flows. A field survey indicated that there exists a low point within the berm which will allow the runoff to be routed towards the west and not the asphalt rundown.
2. Large erosion cuts are evident on the north side from the downspout. The erosion problem must be addressed.
3. Downspout on the northwest corner of building has already caused erosion and sediment onto the swale along the west side of the building.
4. Original approved plan indicates a wall on the northeast corner of the building, wall does not exist.

If I can be of further assistance, please feel free to contact me at 768-3667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Assistant

BJM:jc
WP+3097

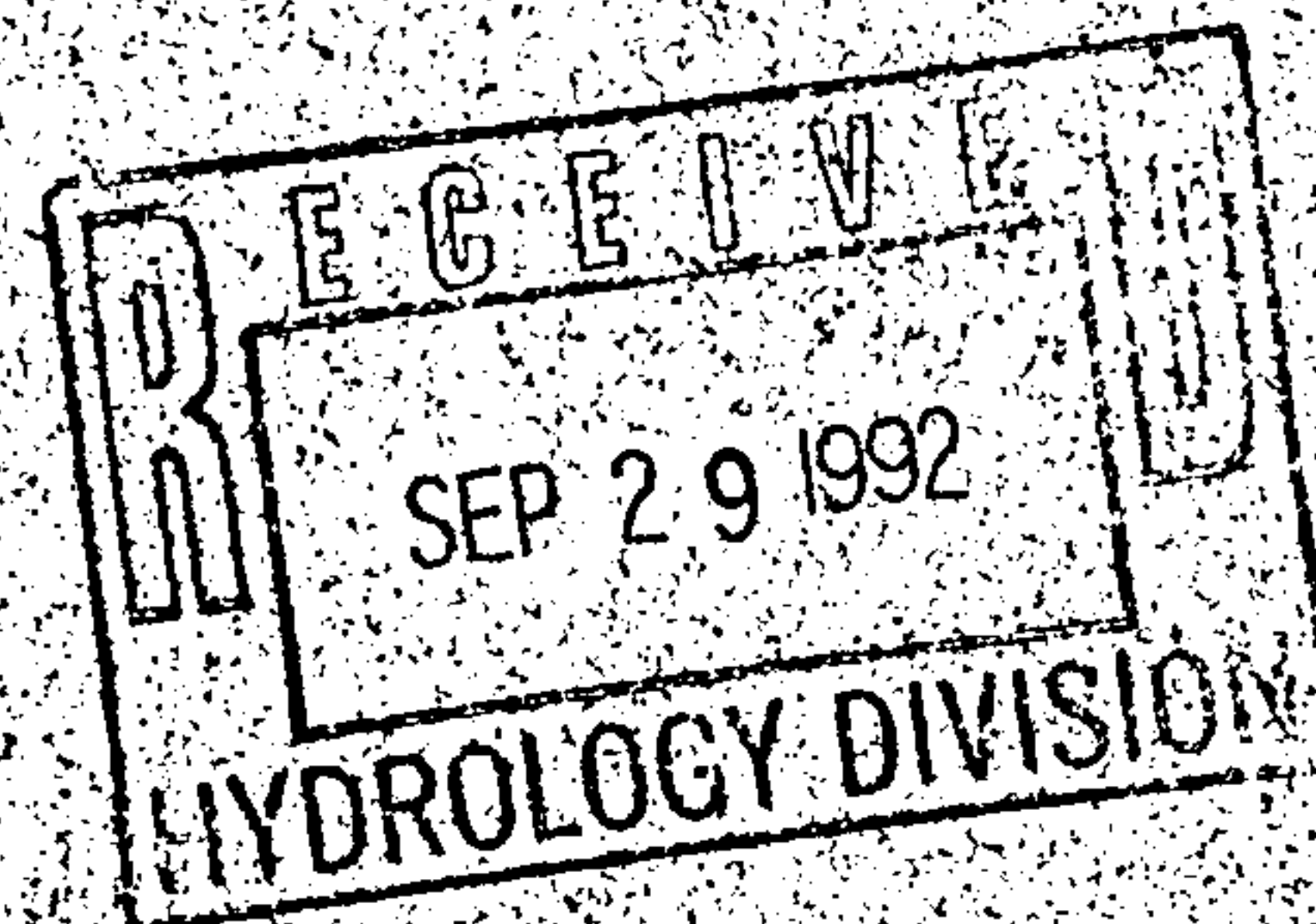
PUBLIC WORKS DEPARTMENT

PARTNERS

PROPERTIES

P.O. Box 26841

Albuquerque, NM 87125



September 22, 1992

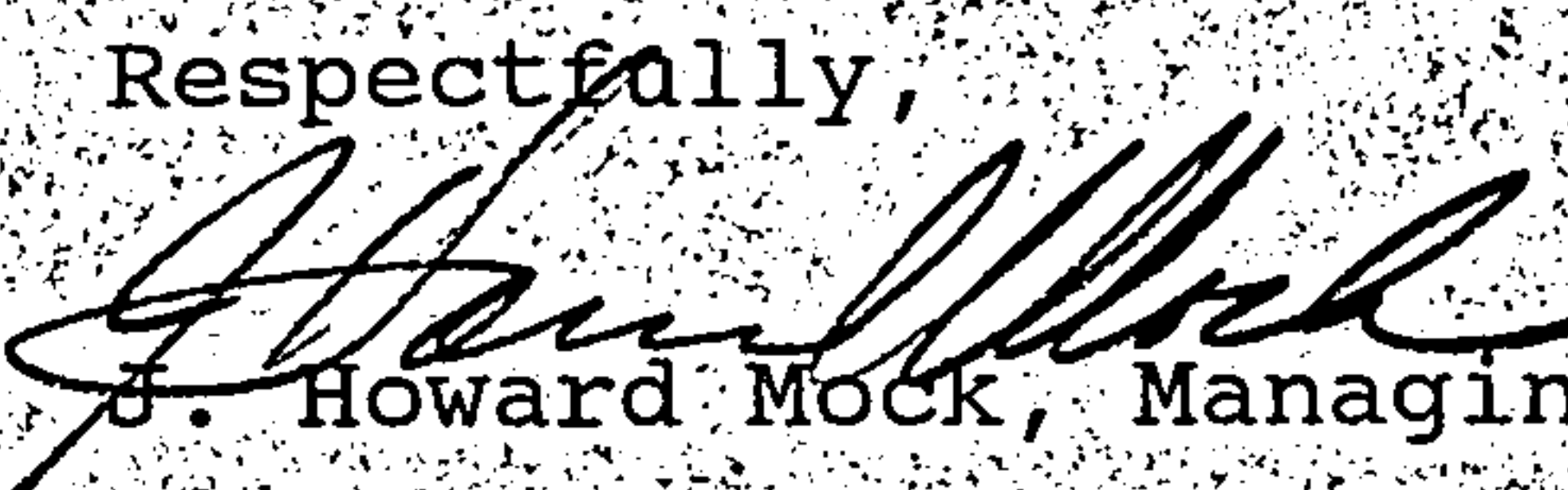
Mr. Bernie Montoya
Hydrology Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Fusion, Inc. File (M15/D23D)

Dear Mr. Montoya:

As the owner of the property immediately adjacent to Fusion, Inc. to the east, I am aware that the temporary drainage swale to the east may not contain off site flows from entering the Fusion Inc. site. This will be a temporary situation since a design of the property to the east will be accomplished in the near future. In the interim, if flows enter the Fusion, Inc. site, I agree to not hold the City of Albuquerque responsible.

Respectfully,


J. Howard Mock, Managing Partner

cc: Mr. Al Vaio
Claudio Vigil



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 29, 1992

Mark Goodwin
D. Mark Goodwin & Assoc.
P.O. Office Box 90606
Albuquerque, New Mexico 87199

RE: REVISED DRAINAGE PLAN FOR FUSION, INC. (M-15/D23D) ENGINEER'S STAMP WITH
REVISION DATE APRIL 3, 1992

Dear Mr. Goodwin:

Based on the information provided on your April 6, 1992 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

Construction within City Right-Of-Way requires a separate permit. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

Bernie J. Montoya, CE
Engineering Assistant

cc: Darlene Saavedra
Alan Martinez, Drainage Inspector

BJM:jc
WP+3097

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fusion, Inc. ZONE ATLAS/DRNG. FILE #: M-15 /D23d
LEGAL DESCRIPTION: A portion of Lot 3-A, Block 1, Sunport Park
CITY ADDRESS: 1361 Flightway Ave SE
ENGINEERING FIRM: D. Mark Goodwin & Assoc. P.A. CONTACT: Mark Goodwin, P.E.
ADDRESS: PO Box 90606 87199 PHONE: 828-2200
OWNER: Fusion Inc. CONTACT: Claudio Vigil
ADDRESS: 4658 E. 355th St. Willoughby, OH PHONE: 265-3000
ARCHITECT: Claudio Vigil Architects CONTACT: Claudio Vigil
ADDRESS: 825 Pennsylvania NE PHONE: 265-3000
SURVEYOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591
CONTRACTOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591

PRE-DESIGN MEETING

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

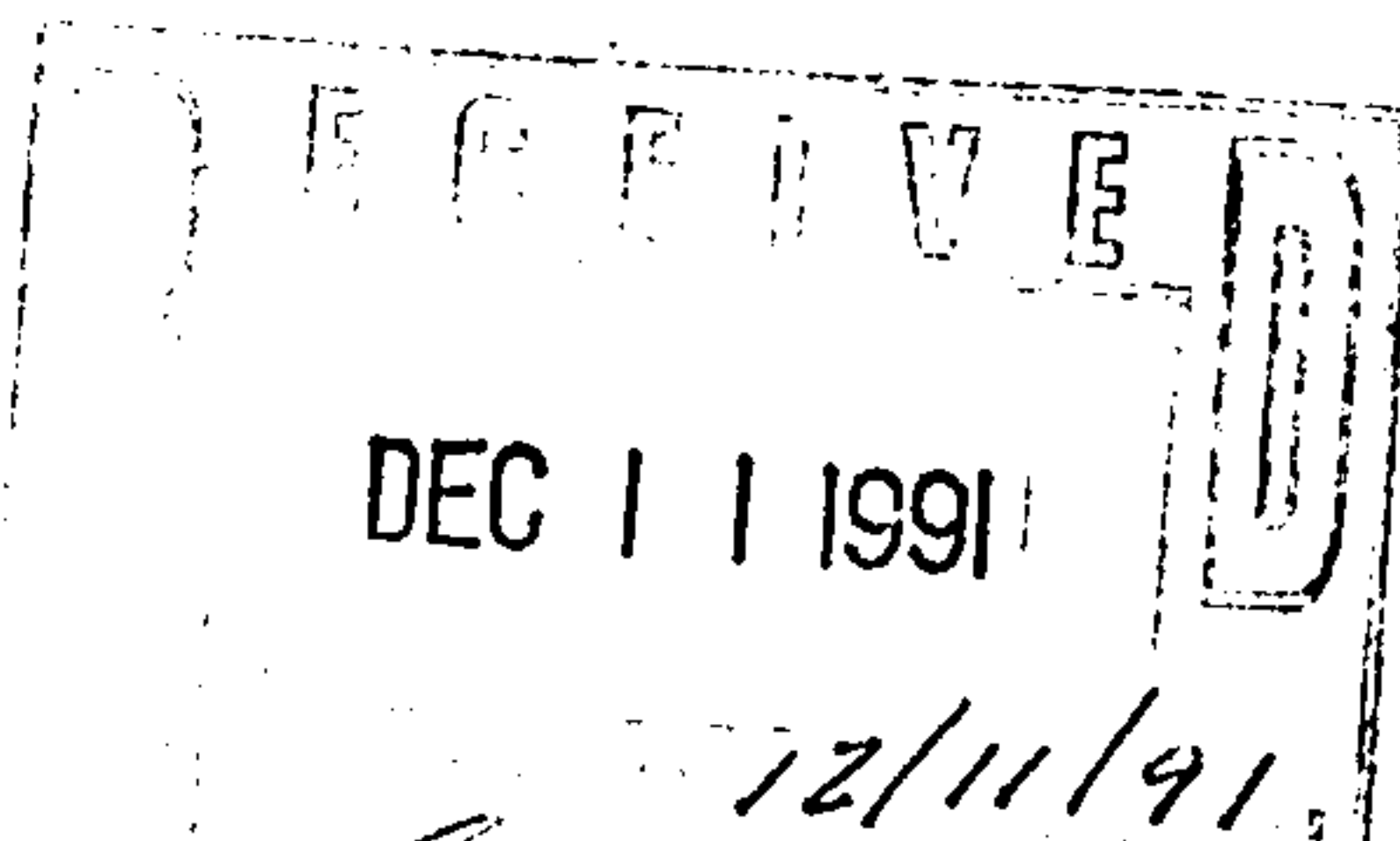
DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ SPECIFY



DATE SUBMITTED: _____

BY: Mark Goodwin

Mark Goodwin, P.E.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-15

DATE: 12/6/91 for 12/10/91

EPC NO.: _____

DRB NO.: _____

ZONE: M-15

SUBJECT: _____

STREET ADDRESS: _____

LEGAL DESCRIPTION: Lot 3-A Block 1 Sunport Park

APPROVAL REQUESTED: _____ PRELIMINARY PLAT
_____ SITE DEVELOPMENT PLAN
_____ GRADING/PAVING PERMIT

☒ FINAL PLAT
☒ BUILDING PERMIT
_____ OTHER

ATTENDANCE: ^{WHO}
Bernie J. Montoya
Mark Goodwin

^{REPRESENTING}
City of Albuquerque
D. Mark Goodwin & Ass.

FINDINGS:

1. Drainage plan per D.P.M. guidelines required prior to Building Permit release
2. Follow the master Drainage Plan prepared by John Andrews MIS-D23
3. Site discharge will be to Flightway Avenue S.E.
4. Site is not located within a designated floodzone nor does it contribute to downstream flooding.
5. Proposed site will be taking in off-site flows from East until a decent site is developed.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Bernie J. Montoya

SIGNED: Mark Goodwin

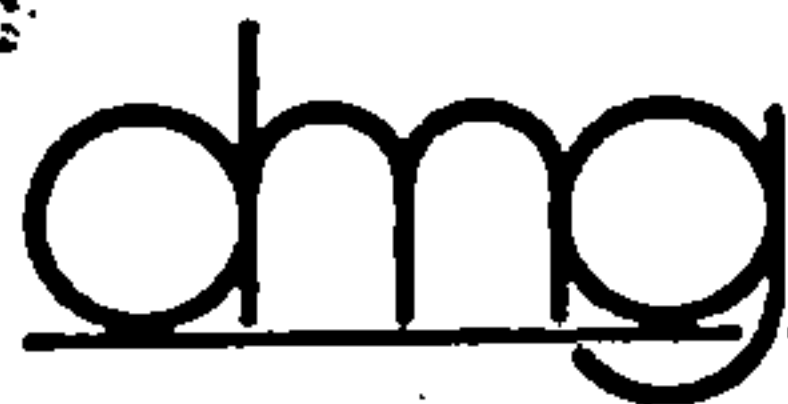
TITLE: Engineering Assistant

TITLE: _____

DATE: 12/10/91

DATE: 12/10/91

****NOTE** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.**

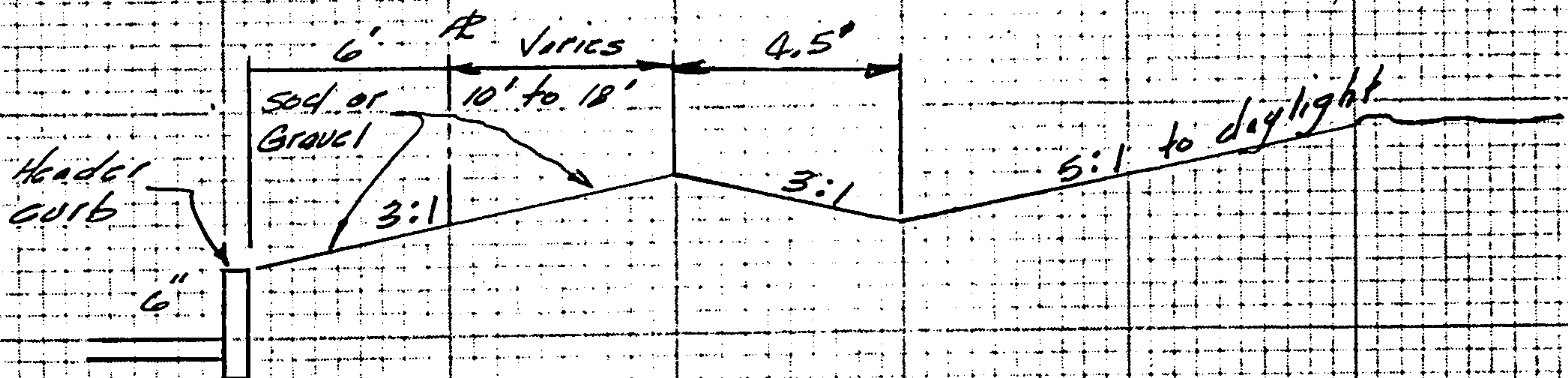


D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

JOB Fusion, Inc.
SUBJECT Drainage
JOB NO. _____ SHEET 1 OF _____
BY MG DATE 12/20/91
CHECKED _____ DATE _____

DEC 23 1991

With owner permission, we are going to eliminate retaining wall and grade a swale on east side adjacent property:



$$Q_{REQ} = 17 \text{ cfs} \quad n = 0.040 \quad S = 0.5\%$$

$$Area_{MAX} = 9.50 \text{ Ft.} \quad WP = 11'$$

$$V = \frac{1.486}{.04} \left(\frac{9}{11} \right)^{2/3} (.005)^{1/2} = 2.30 \text{ fps}$$

$$Q = AV = 21 \text{ cfs} > 17 \quad \text{size 0.6.}$$

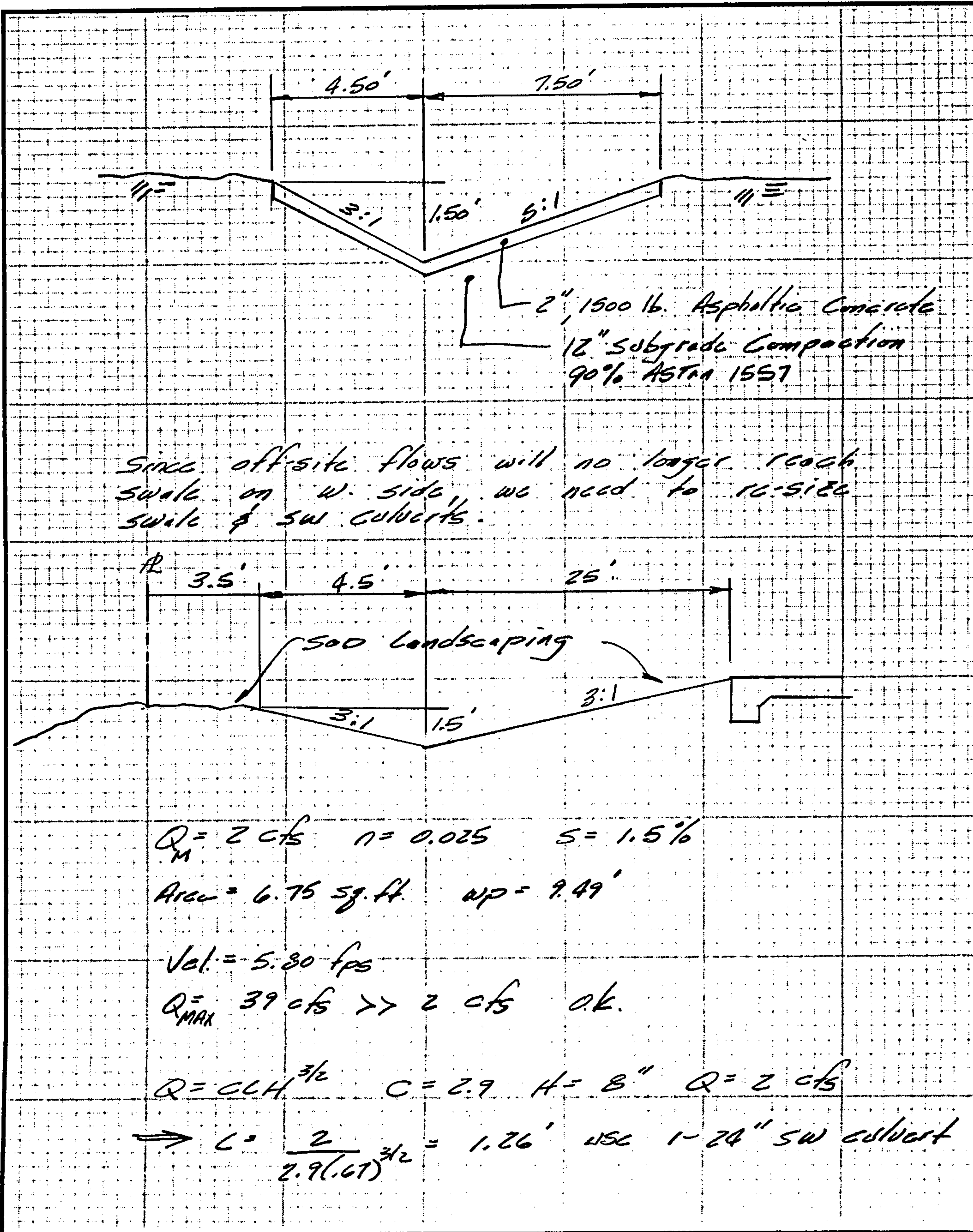
⇒ Since vel. of 2.30 is non-erosive ⇒ no lining

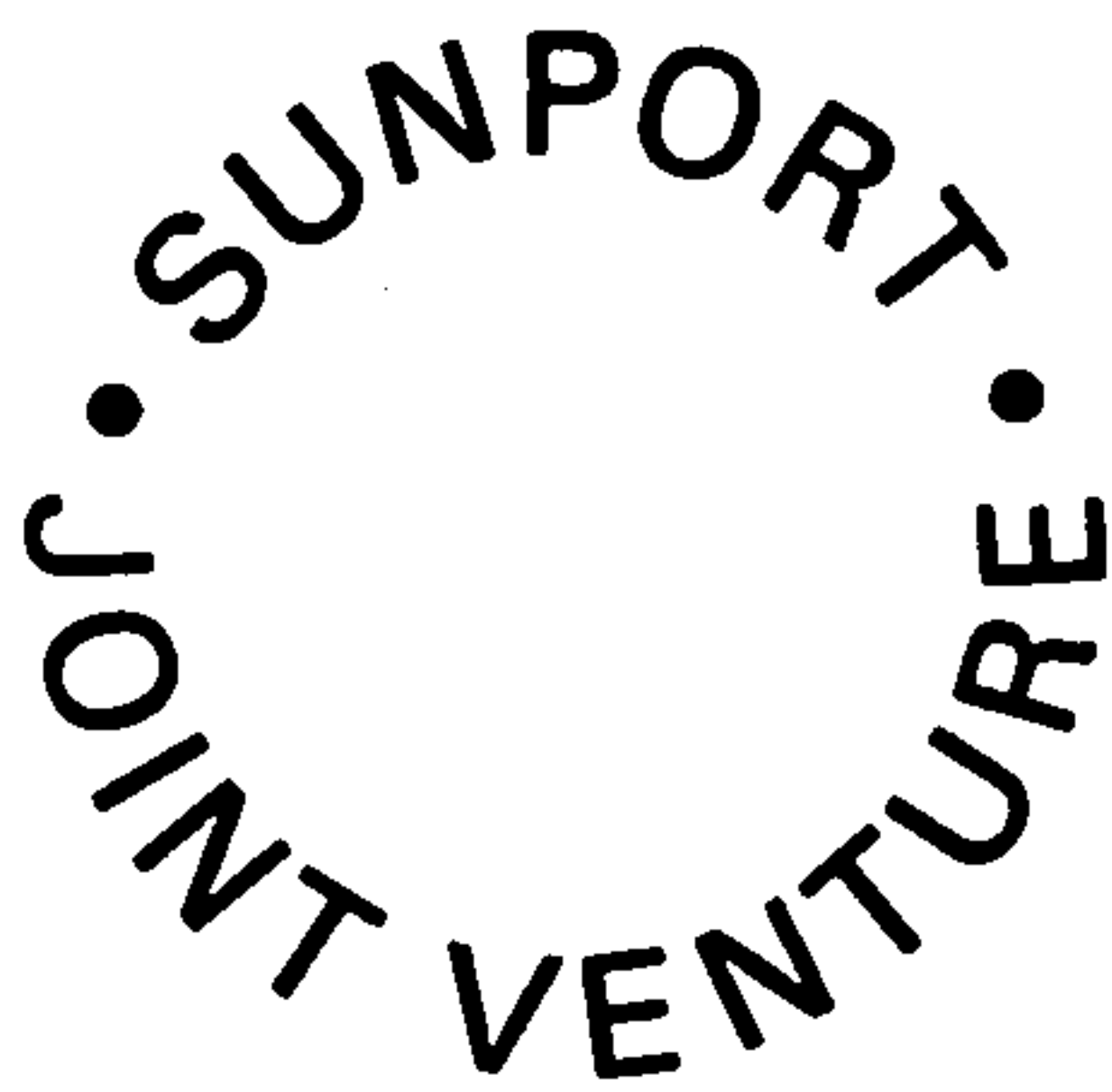
Need to size Asphalt Rundown @ the end of this swale: Since $n = 0.018$ for asphalt, we can use same section as swale



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

JOB Fusion, Inc.
SUBJECT Drainage
JOB NO. _____ SHEET 2 OF _____
BY MG DATE 12/20/91
CHECKED _____ DATE _____





2906 BROADWAY, N.E. P.O. BOX 26841, ALBUQUERQUE, NM 87125 505/345-8591

December 18, 1991

Mr. Bernie Montoya
Hydrology Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Fusion, Inc.
A portion of Lot 3-A, Block 1, Sunport Park, Map No. M-15

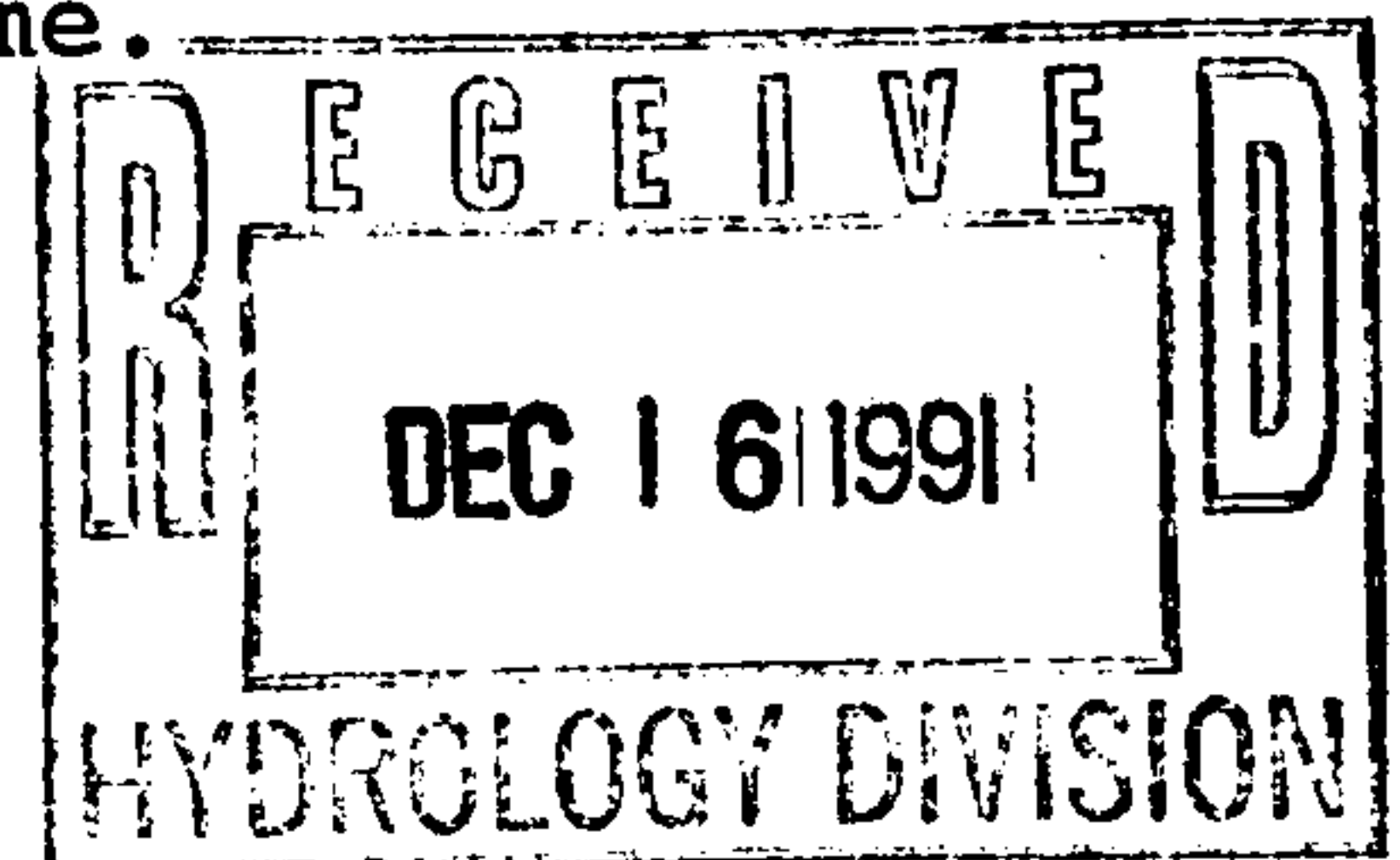
Dear Mr. Montoya:

As the owner of the Fusion, Inc. property and the property immediately adjacent to the east, I hereby grant permission for grading of a temporary drainage swale to the east of the Fusion, Inc. project outside their project limits on my adjacent parcel.

If you should have any questions, please call me.

Respectfully,


J. Howard Mock
2906 Broadway, NE
Albuquerque, NM 87107



JHM/dw



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

JOB Fusion, Inc.

SUBJECT Drainage

JOB NO. _____

SHEET 3 OF 3

BY _____

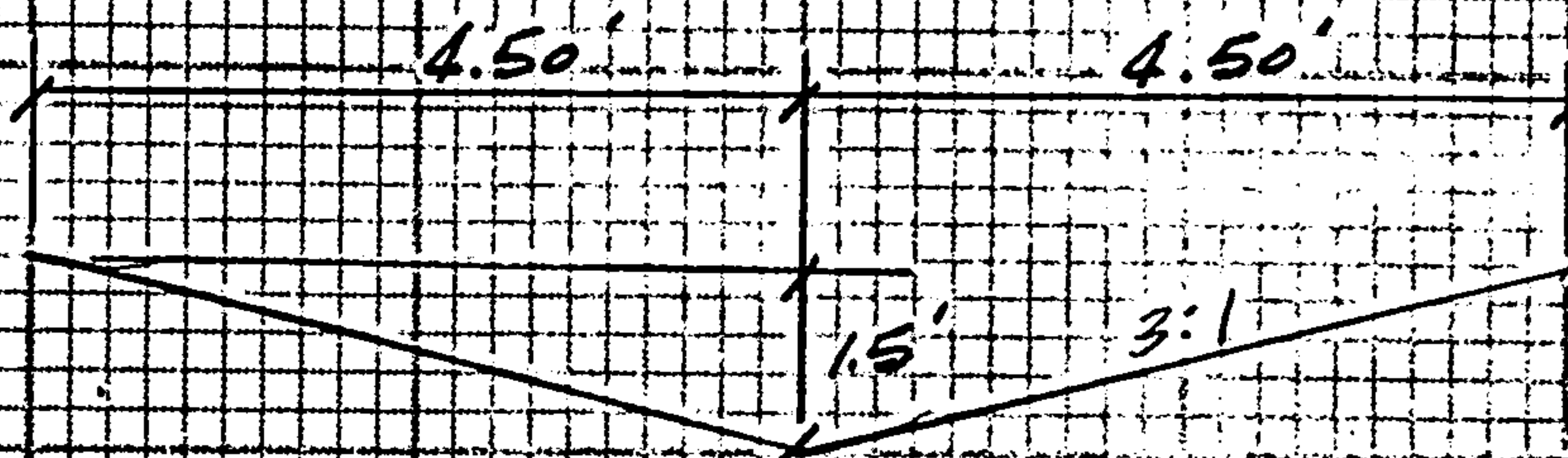
MG

DATE 12/11/91

CHECKED _____

DATE _____

We need to size swale on west side
of sidewalk culverts for a $Q = 1.66 + 11 = 13$ cfs



$n = 0.025$ Landscaped $S = 0.015$ (Avg.)

Area = 6.75 sq. ft $WP = 9.49'$

$$V = \frac{1.486}{0.025} \left(\frac{6.75}{9.49} \right)^{2/3} (.015)^{1/2} = 5.80 \text{ fps}$$

$$Q(\text{max.}) = AV = 39 \text{ cfs} > 13 \text{ cfs} \checkmark$$

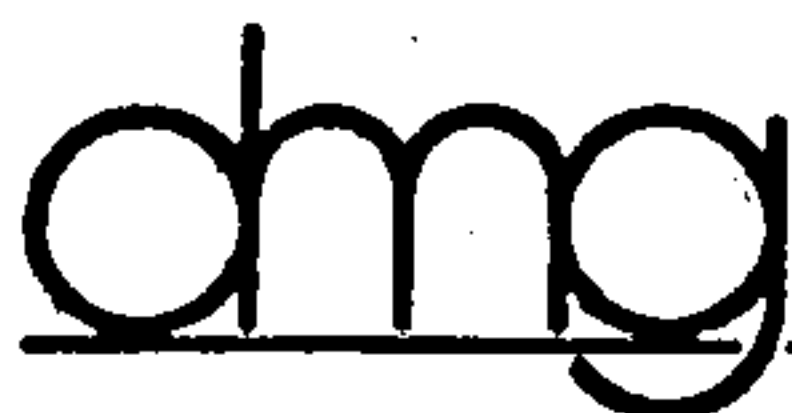
$$Q = CCH^{3/2}$$

$$C = 2.9$$

$$Q = 13 \text{ cfs}$$

$$H = 8''$$

$$L = \frac{Q}{CH^{3/2}} = 8.24' \text{ use } 8' \Rightarrow 4-24'' \text{ std. SW culverts}$$



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

JOB FUSION, Inc.

SUBJECT Drainage

JOB NO. _____

SHEET 1 OF 3

BY MG

DATE 12/11/91

CHECKED _____

DATE _____

DEC 11 1991

There are two off-site areas that contribute flows to this site. Both are undeveloped. We will route these flows through our project. There will also be two on-site areas to compute. One will drain out the driveway with one off-site area, the other will be collected in a swale along the west boundary with the other off-site area and will be discharged via sidewalk culverts to Flightway.

Off-Site Area 1

$$O.A. = 5.45 \text{ Ac.}$$

$$P(100-6) = 2.3 \text{ in.}$$

$$C = 0.40$$

$$T_c = 0.0078 \left(\frac{420^{.77}}{0.10^{.385}} \right) = 2 \text{ min. USE 10 min.}$$

$$I = 4.86 \text{ in/hr.}$$

$$Q(100-6) = 11 \text{ cfs}$$

$$\text{Vol.} = 13,850 \text{ cu. Ft.} \quad * \text{ per SCS for CN} = 79$$

Off-Site Area 2

$$O.A. = 3.08 \text{ Ac.}$$

$$P(100-6) = 2.3 \text{ in.}$$

$$C = 0.40$$

$$T_c = 10 \text{ min.}$$

$$I = 4.86 \text{ in/hr.}$$

$$Q(100-6) = 6 \text{ cfs}$$

$$\text{Vol.} = 7826 \text{ cu. Ft.}$$



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

JOB FUSION, INC.
SUBJECT DRAINAGE
JOB NO. _____ SHEET 2 OF 3
BY MG DATE 12/11/91
CHECKED _____ DATE _____

ON-Site Area 1

$$D.A. = 0.77 \text{ AC.}$$

$$P(100-6) = 2.3 \text{ in.}$$

$$T_c = 10 \text{ min.}$$

$$I = 6.86 \text{ in/hr.}$$

Composite C:

Roof	0.11	0.90	0.10
Landscaping	0.13	0.25	0.03
undeveloped	0.53	0.40	0.21
	<u>0.77</u>		<u>0.34</u>

$$\text{Composite } C = 0.44$$

$$Q(100-6) = 1.66 \text{ cfs} \quad \text{Vol.} = 2516 \text{ cu. Ft.}$$

ON-Site Area 2

$$D.A. = 0.77 \text{ AC.}$$

$$P(100-6) = 2.3 \text{ in.}$$

$$T_c = 10 \text{ min.}$$

$$I = 6.86 \text{ in/hr.}$$

Composite "C"

Roof	0.11	0.90	0.10
Landscaping	0.11	0.25	0.03
Paving	0.55	0.75	0.52
	<u>0.77</u>		<u>0.65</u>

$$\text{Composite } C = 0.84$$

$$Q(100-6) = 3.15 \text{ cfs} \quad \text{Vol.} = 3913 \text{ cu. Ft.}$$

TRIANGULAR CHANNEL

Flow Rate	(cfs)	=	39.16365
Depth	(ft)	=	1.5
Velocity	(ft/s)	=	5.802023
Mannings n		=	.025
Slope	(ft/ft)	=	.015
Side Slope	(H:V)	=	3
Bottom Width	(ft)	=	0
Top Width	(ft)	=	9
Area	(ft ²)	=	6.75
Hydraulic Radius		=	.7115125
Freeboard	(ft)	=	1.166041
Top Width (w/ freebrd)		=	15.99625
Froude Number		=	1.181199

STRIKE ANY KEY TO CONTINUE

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fusion, Inc. ZONE ATLAS/DRNG. FILE #: M-15 102310
LEGAL DESCRIPTION: A portion of Lot 3-A, Block 1, Sunport Park
CITY ADDRESS: 1361 Flightway Ave SE
ENGINEERING FIRM: D. Mark Goodwin & Assoc. P.A. CONTACT: Mark Goodwin, P.E.
ADDRESS: PO Box 90606 87199 PHONE: 828-2200
OWNER: Fusion Inc. CONTACT: Claudio Vigil
ADDRESS: 4658 E. 355th St. Willoughby, OH PHONE: 265-3000
ARCHITECT: Claudio Vigil Architects CONTACT: Claudio Vigil
ADDRESS: 825 Pennsylvania NE PHONE: 265-3000
SURVEYOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591
CONTRACTOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591

PRE-DESIGN MEETING

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ SPECIFY

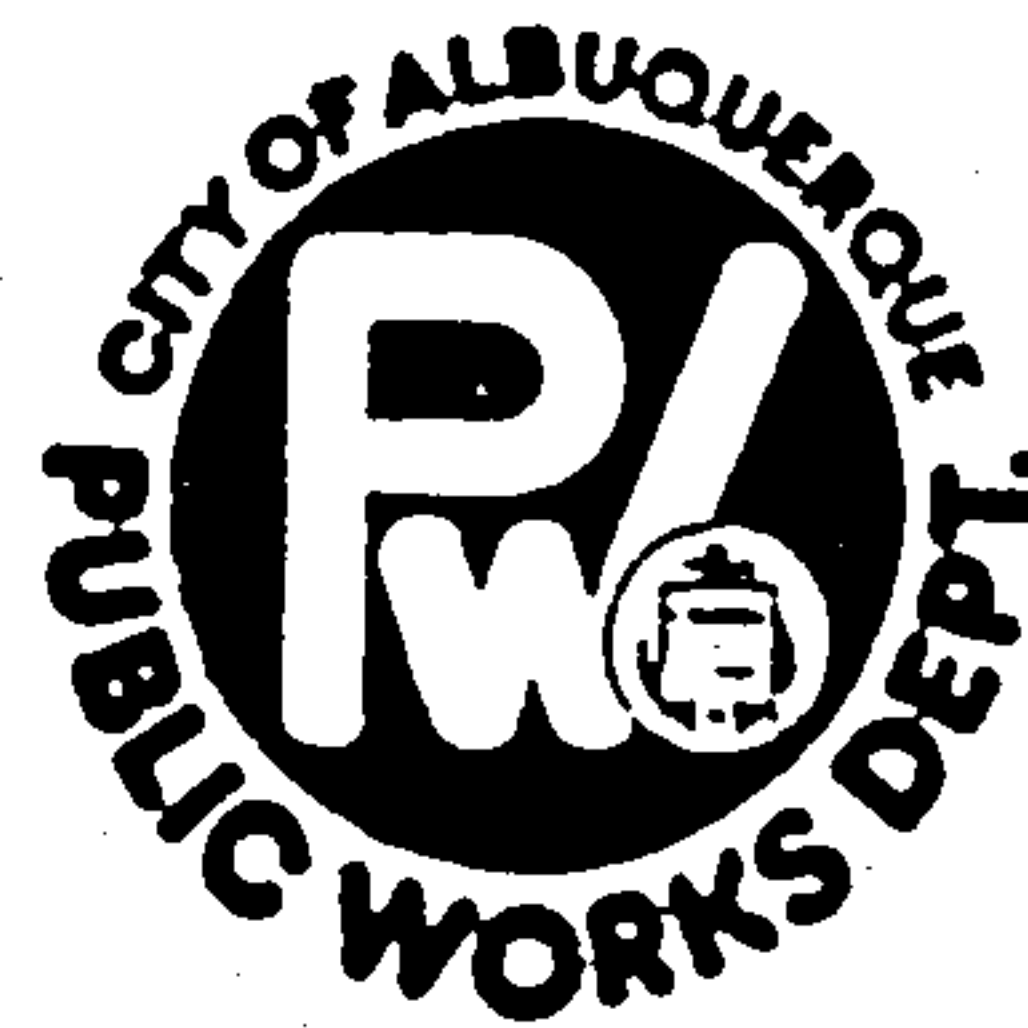
APR 6 1992

DATE SUBMITTED: 4/6/92

BY: Mark Goodwin

Mark Goodwin, P.E.

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**



INTER-OFFICE CORRESPONDENCE

February 21, 1992

ENGINEERING GROUP

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
FUSION, INC. (M-15/D23D)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fusion, Inc. ZONE ATLAS/DRNG. FILE #: M-15
LEGAL DESCRIPTION: A portion of Lot 3-A, Block 1, Sunport Park
CITY ADDRESS: 1361 Flightway Ave SE
ENGINEERING FIRM: D. Mark Goodwin & Assoc. P.A. CONTACT: Mark Goodwin, P.E.
ADDRESS: PO Box 90606 87199 PHONE: 828-2200
OWNER: Fusion Inc. CONTACT: Claudio Vigil
ADDRESS: 4658 E. 355th St. Willoughby, OH PHONE: 265-3000
ARCHITECT: Claudio Vigil Architects CONTACT: Claudio Vigil
ADDRESS: 825 Pennsylvania NE PHONE: 265-3000
SURVEYOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591
CONTRACTOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591

PRE-DESIGN MEETING

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

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☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ SPECIFY

DATE SUBMITTED: _____

BY: _____

Mark Goodwin, P.E.



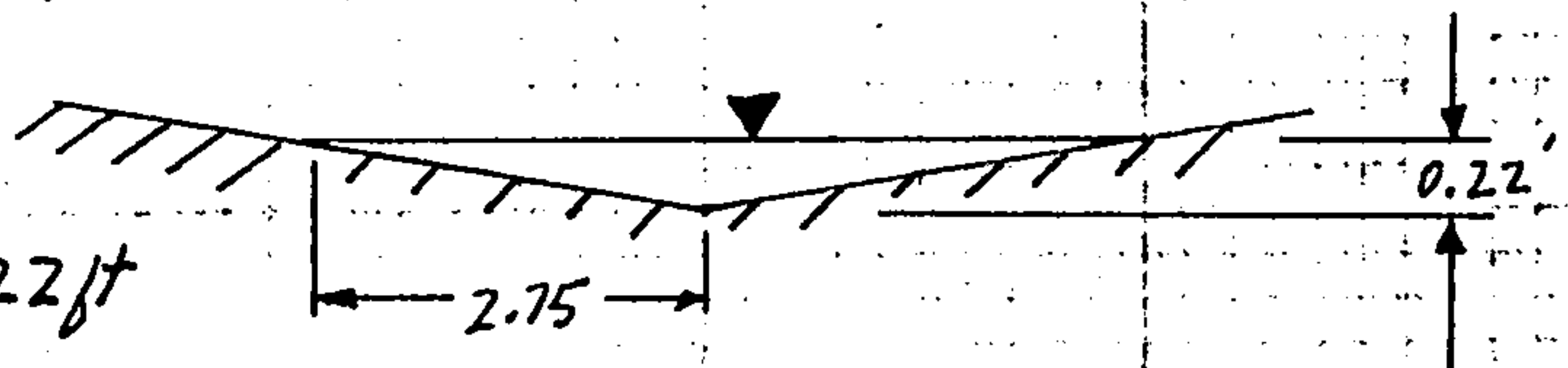
D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Fusion Inc.
SUBJECT North Side Swale
JOB NO. _____ SHEET 1 OF 1
BY JMM DATE 4/2/92
CHECKED _____ DATE _____

APR 6 1992

Evaluation of Channel Hydraulics for
Swale on North Side of Fusion Inc. Facility

Assume depth of flow $d = 0.22 \text{ ft}$



$$\text{Area} = 0.61 \text{ ft}^2$$

$$\text{W.P.} = 5.5 \text{ ft}$$

$$R_{\text{Hydraulic}} = \frac{A}{\text{W.P.}} = \frac{0.61 \text{ ft}^2}{5.5 \text{ ft}}$$

$$R_H = 0.11 \text{ ft}$$

$$V = \frac{1.486}{n} (R_H)^{0.67} (S)^{0.5} = \frac{1.486}{0.025} (0.11)^{0.67} (0.031)^{0.5}$$

$$V = 2.39 \text{ fps}$$

$$Q = VA = (2.39 \text{ fps})(0.61 \text{ ft}^2)$$

$$Q = 1.44 \text{ cfs}$$

Drainage Area 1 Flow : $Q_{\text{Total}} = 1.66 \text{ cfs}$

channel slope

$$S = 0.031$$

Manning's Roughness

$$n = 0.025$$

DRAINAGE INFORMATION SHEET

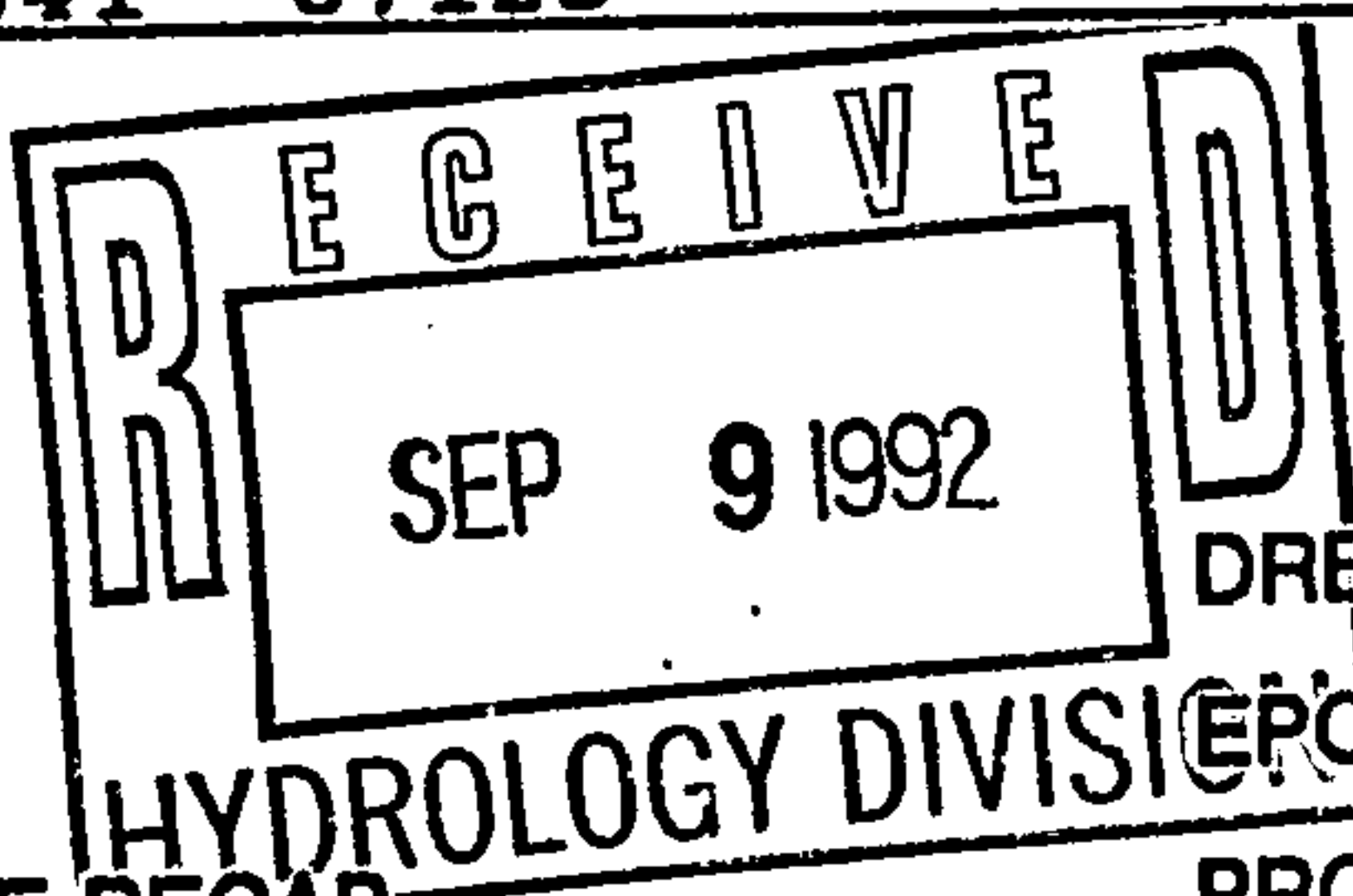
PROJECT TITLE: Fusion, Inc. ZONE ATLAS/DRNG. FILE #: M-15/D232
LEGAL DESCRIPTION: A portion of Lot 3-A, Block 1, Sunport Park
CITY ADDRESS: 1361 Flightway Ave SE
ENGINEERING FIRM: D. Mark Goodwin & Assoc. P.A. CONTACT: Mark Goodwin, P.E.
ADDRESS: PO Box 90606 87199 PHONE: 828-2200
OWNER: Fusion Inc. CONTACT: Claudio Vigil
ADDRESS: 4658 E. 355th St. Willoughby, OH PHONE: 265-3000
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ADDRESS: PO Box 26841 87125 PHONE: 345-8591
CONTRACTOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591

PRE-DESIGN MEETING

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



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EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

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☐ SITE DEVELOPMENT PLAN APPROVAL

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☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

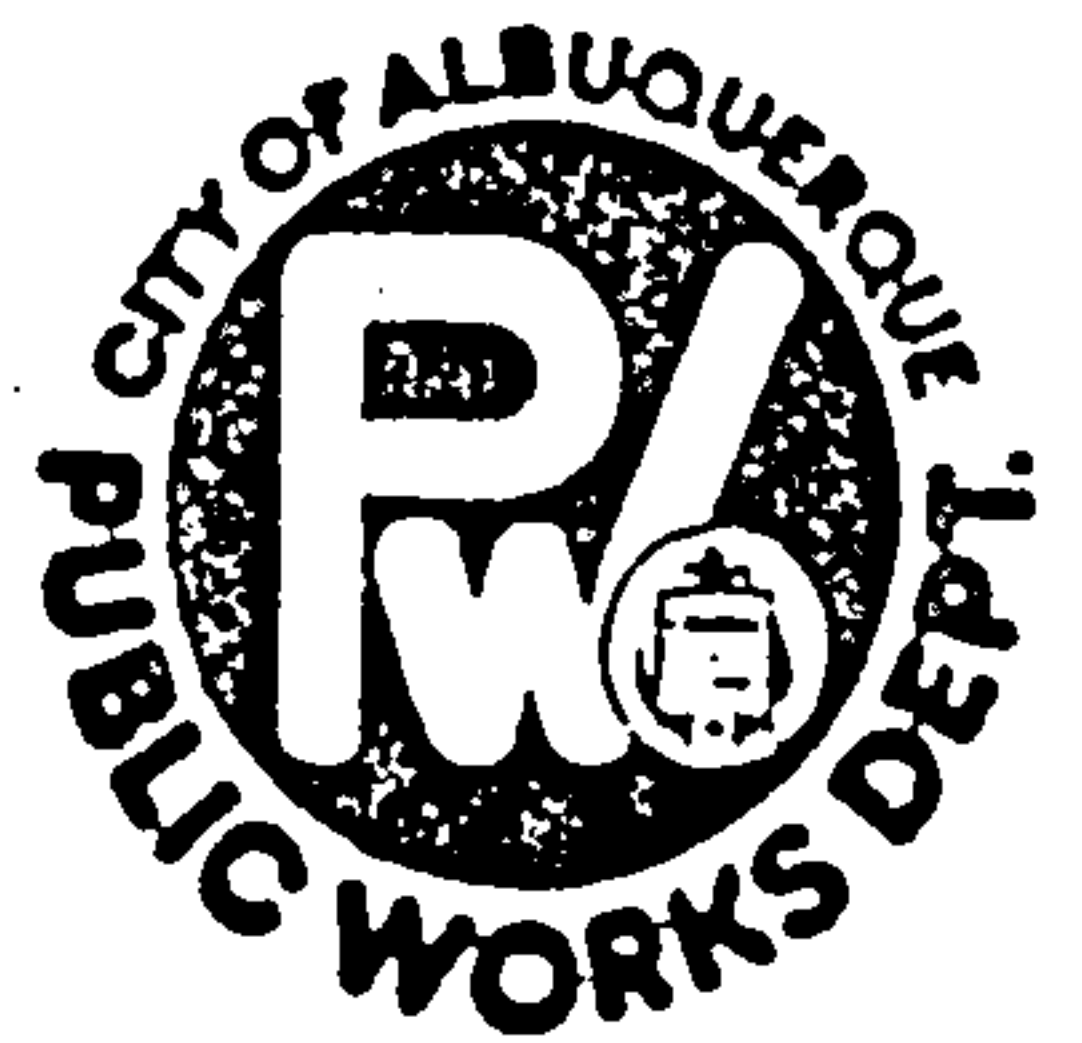
☐ OTHER _____ SPECIFY

DATE SUBMITTED: _____

BY: _____

Mark Goodwin, P.E.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT



INTER-OFFICE CORRESPONDENCE

April 29, 1992

ENGINEERING GROUP

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
FUSION (M-15/D23D)

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Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 13, 1992

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 90606
Albuquerque, New Mexico 87199

RE: REVISED DRAINAGE PLAN FOR FUSION, INC. (M-15/D23D)
ENGINEER'S STAMP DATED DECEMBER 23, 1991

Dear Mr. Goodwin:

Based on the information provided on your submittal of December 23, 1991, the above referenced plan is approved for Building Permit.

Please be advised that a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer's Certification per the DPM Checklist will be required.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Darlene Saavedra
Alan Martinez

BJM/bsj
(WP+3097)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

APR 6 1992

April 6, 1992

Mr. Bernie Montoya
Hydrology Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Fusion, Inc.; File M-15/D23D

Dear Mr. Montoya:

Attached, please find two copies of the referenced project. Due to budgetary considerations, we were asked to revise our previously approved design. The following revisions were made:

- Lowered the majority of the project a uniform 0.50 feet in an effort to reduce earthwork costs.
- Provided a 5:1 slope against north side of building for a distance of 30 feet in an effort to avoid the need for a stem wall footing. Splash blocks for scuppers or leaders are still required.
- Regraded proposed swale on north side of building to reduce velocity in an effort to eliminate gravel lining. Per attached calculations, the velocity anticipated will be 2.39 fps. This should be acceptable.

With this re-submittal, we are requesting Building Permit re-approval. If there are any questions, please call us.

Sincerely,

D. MARK GOODWIN AND ASSOCIATES, P.A.

Mark Goodwin, P.E.

DMG:kaw

Attachments

Handwritten calculations in circles:
1895
130
1025
525
200
325

725



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 17, 1991

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR FUSION, INCORPORATED (M-15/D23D)
ENGINEER'S STAMP DATED DECEMBER 11, 1991

Dear Mr. Goodwin:

Based on the information provided on your submittal of December 11, 1991, listed are some concerns that will need to be addressed prior to final approval.

1. Cross-section of the swale along the west side of the property. Section like the one shown on the east side.
2. Sediment control prior to off-site flows entering from the east.
3. What type of erosion control is proposed within the swale on the north side of the building? Also, how will the roof leaders on the north side control their erosion?
4. What type of landscaping is proposed on the west side along the swale?

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+3097)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

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DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fusion, Inc. ZONE ATLAS/DRNG. FILE #: M-15 10230
LEGAL DESCRIPTION: A portion of Lot 3-A, Block 1, Sunport Park
CITY ADDRESS: 1361 Flightway Ave SE
ENGINEERING FIRM: D. Mark Goodwin & Assoc. P.A. CONTACT: Mark Goodwin, P.E.
ADDRESS: PO Box 90606 87199 PHONE: 828-2200
OWNER: Fusion Inc. CONTACT: Claudio Vigil
ADDRESS: 4658 E. 355th St. Willoughby, OH PHONE: 265-3000
ARCHITECT: Claudio Vigil Architects CONTACT: Claudio Vigil
ADDRESS: 825 Pennsylvania NE PHONE: 265-3000
SURVEYOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591
CONTRACTOR: Jaynes Corp. CONTACT: Mark Mullane
ADDRESS: PO Box 26841 87125 PHONE: 345-8591

PRE-DESIGN MEETING

☒ YES
☐ NO
☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ SPECIFY

DATE SUBMITTED: 9/25/92
BY: Mark Goodwin
Mark Goodwin, P.E.

