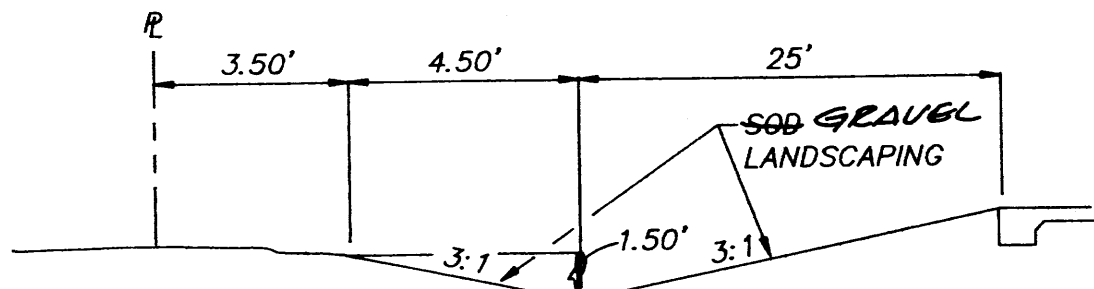


- NOTICE TO CONTRACTOR
1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
 3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
 4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
 5. Backfill compaction shall be according to residential street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

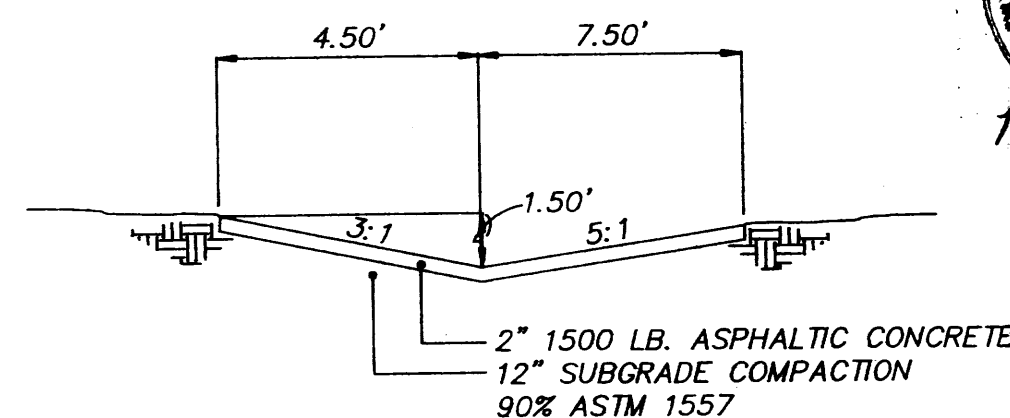
DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	Hydrology Section	Date
Inspection Approval	Construction Section	Date
Acceptance	Construction/Section/Permits	Date

- NOTES:
1. SEE ARCHITECTURAL DRAWINGS FOR DETAILED DIMENSIONS.
 2. CONTRACTOR SHALL LEAVE EARTHEN SWALE ADJACENT TO WEST PROPERTY LINE IN PLACE UNTIL FINAL GRADING FOR EROSION & SEDIMENTATION CONTROL.
 3. OFF-SITE FLOWS (UNDEVELOPED) ENTER THIS SITE.
 4. SITE DOES NOT LIE WITHIN A FLOOD ZONE.
 5. ADD 5000 TO ALL ELEVATIONS. ALL ELEVATIONS ARE MEAN SEA LEVEL (M.S.L.).
 6. ALL ROOF LEADERS ON NORTH SIDE OF BUILDING TO BE PROVIDED WITH PRE-CAST CONCRETE SPLASH BLOCKS.

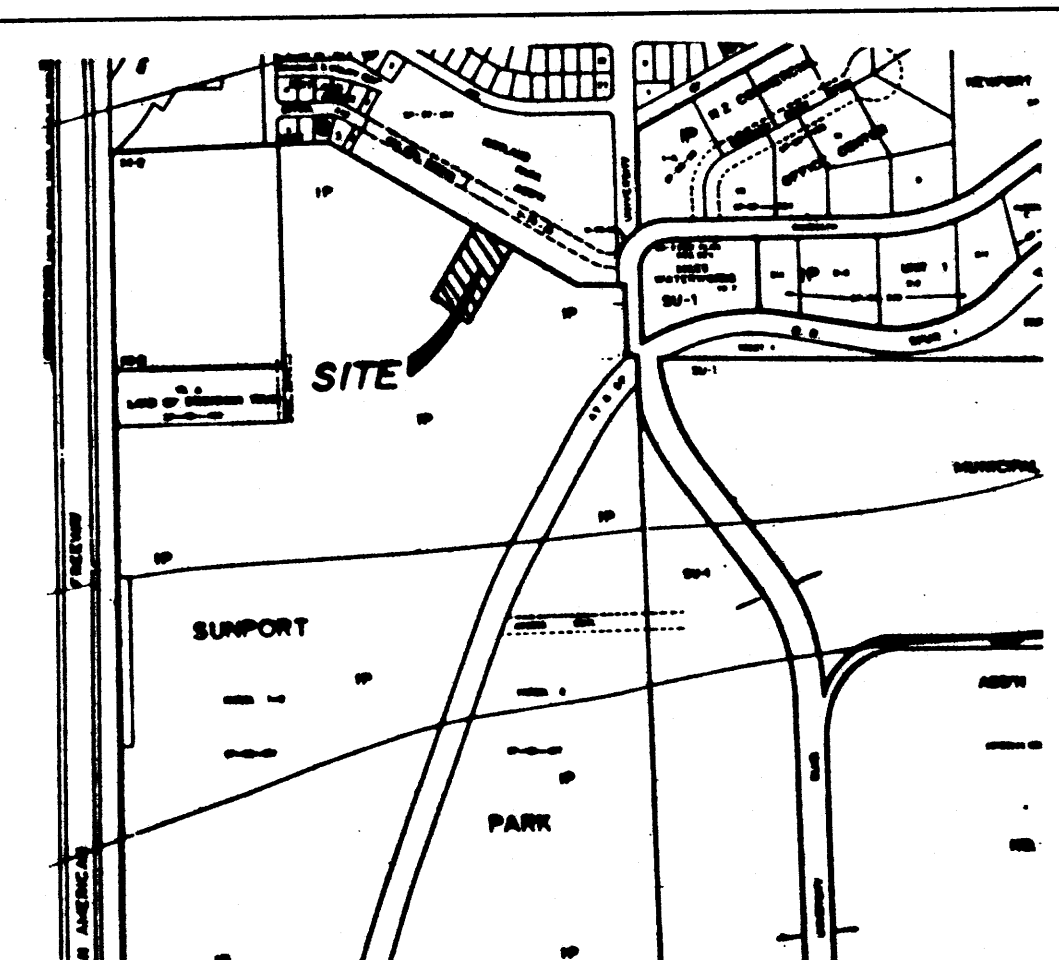


SECTION B
N.T.S.



NOTE: WARP ASPHALT TO BACK OF CURB IN 5'.

TEMPORARY ASPHALT RUNDOWN DETAIL
N.T.S.



VICINITY MAP

ZONE MAP: M-15-Z

TBM (TEMPORARY BENCHMARK)

"X" CHISLED ON TOP OF CURB. PAINTED ORANGE. APPROX. 6' FROM SOUTHWEST CORNER. ELEVATION=5086.15

ACS BENCHMARK

LOCATED AT THE INTERSECTION OF GIBSON BLVD. AND UNIVERSITY AVE. IN THE EASTBOUND TRAFFIC LANE OF GIBSON BLVD. AND ON THE CENTERLINE OF UNIVERSITY AVE. A 2 1/2-INCH DIAMETER BRASS TABLET. ELEVATION=5092.40

LEGAL DESCRIPTION

A PORTION OF LOT 3-A IN BLOCK ONE OF SUNPORT PARK

LEGEND

- EXISTING CONCRETE CURB
- PROPERTY LINE
- CONTOUR
- EXIST. SPOT ELEVATION
- FINISHED FLOOR
- PROPOSED SPOT ELEVATION
- FINISHED CONTOUR
- DRAINAGE BOUNDARY

DRAINAGE CALCULATIONS

ON-SITE AREA 1	ON-SITE AREA 2
D.A.=0.77 Ac. P(100-6)=2.3 in. "c"=0.44 T _c =10 min. I(100-6)=4.86 in./hr. Q(100-6)=1.66 cfs VOL.(100-6)=2516 cu.ft.	D.A.=0.77 Ac. P(100-6)=2.3 in. "c"=0.84 T _c =10 min. I(100-6)=4.86 in./hr. Q(100-6)=3.15 cfs VOL.(100-6)=3913 cu.ft.
OFF-SITE AREA 1	OFF-SITE AREA 2
D.A.=5.45 Ac. P(100-6)=2.3 in. "c"=0.40 T _c =10 min. I(100-6)=4.86 in./hr. Q(100-6)=11 cfs VOL.(100-6)=13,850 cu.ft.-USING SCS	D.A.=3.08 Ac. P(100-6)=2.3 in. "c"=0.40 T _c =10 min. I(100-6)=4.86 in./hr. Q(100-6)=6 cfs VOL.(100-6)=7826 cu.ft.

FUSION INCORPORATED
GRADING & DRAINAGE PLAN

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

Designed: DMG	Drawn: JMB	Checked: DMG	Sheet C1 of 1
Scale: 1"=20'	Date: 12/91	Job: 9167	