

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 11, 2021

Philip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**Re: Comfort Suites Hotel**  
**1401 Woodward Ave SE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 8-15-16 (DRB) (M15D023G)  
Certification dated 1-26-21

Dear Mr. Clark,

PO Box 1293

Based upon the information provided in your pictures received 2-11-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

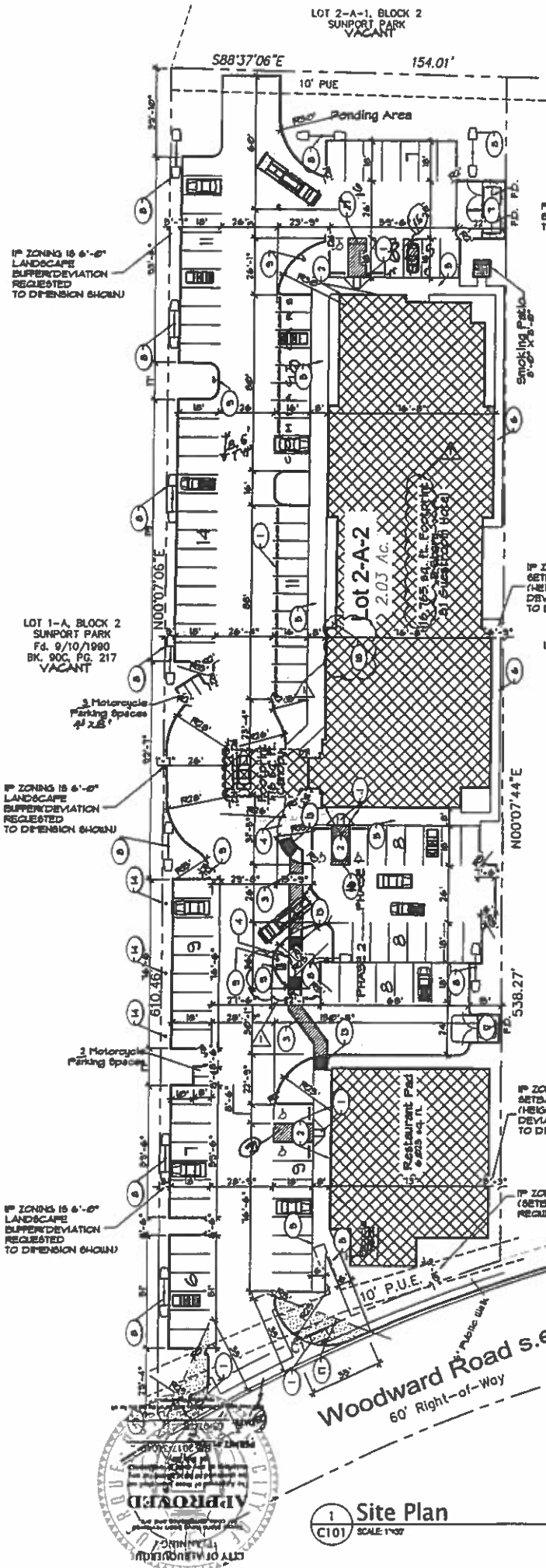
Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



2 South Elevation  
C101 SCALE 1/2"=1'-0"

SHOWING 45' SETBACK SHADOW

PERMISSIBLE AREA PER FLOOR PER TOL 800 0.000 sq. ft./floor

AREA MODIFICATIONS PER SEC 806.1

$$A_p = A_c \cdot \left[ \frac{A_{11}}{100} \right] \cdot \left[ \frac{A_{12}}{100} \right]$$

$$A_p = 0.000 \cdot \left[ \frac{0.0001}{100} \right] \cdot \left[ \frac{14.000}{100} \right]$$

PERMITTED 0.000 sq. ft. = 0.000 < 0.000 + 0.000 0.000 + 0 = 0.000 sq. ft. 0.000 < 0.000 sq. ft.

- GENERAL NOTES**
1. THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
  2. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF ART, 14-16-3-S. AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
  3. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  4. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  5. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 8-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  7. PRIOR COORDINATION DEVELOPMENT SHALL, ASIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO FINIS NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
  8. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED CURBS) CURB CUTS, AND CURBS AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS-SIDEWALK (3430), RAMPS (3440), CURB CUTS (3426), CURB AND GUTTER (3426).
  9. ALL RAMP LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT-OF-WAY MUST HAVE TRUNCATED DORIES.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	170.91	830.00	S65°14'28"W	170.61	11°47'53"

**WRITTEN SUMMARY**

The proposed project is limited service three story hotel building with eighty-one (81) guest suites. Each story is approximately 16,785 square feet heated area for a total building area of 50,295 square feet plus canopy. The proposed use of the building will be a short term stay hotel which is allowed within IP permissive uses. Due to 45' shadow height limitations and setback requirements of IP zoning, applicant is requesting change of zoning to SU-1 for IP uses with deviations as shown on these plans.

**DRAWING INDEX**

1. SITE PLAN - C101
2. SITE PLAN DETAILS - C201
3. BUILDING AND STRUCTURAL ELEVATIONS - A301
4. LANDSCAPE PLAN - L001
5. PRELIMINARY GRADING PLAN - C102
6. CONCEPTUAL UTILITY PLAN - C103

**EASEMENT RECORDING INFORMATION**

FOR REPEAT RECORDING DATE: 09-13-2006  
BOOK: 2006C  
PAGE: 282

**PROJECT DATA**

**LEGAL DESCRIPTION:**  
LOT 2-A-1, BLOCK 2, SUNPORT PARK SUBDIVISION  
ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

**EXISTING ZONING:** IP  
**REQUESTED ZONING:** SU-1 for IP USES w/EXCEPTIONS

**AREAS:**  
TRACT AREA: 2.03 ACRES/88,428 S.F.  
BUILDING FOOTPRINT: 17,819 S.F.  
FUTURE RESTAURANT: 8,025 S.F.  
TOTAL BUILDING AREA: 50,229 S.F.  
F.A.R.: .52

**PERCENTAGE OF SITE SURFACE COVERED WITH BUILDINGS = 20.8 %**

**PROPOSED USE:** HOTEL/FUTURE RESTAURANT

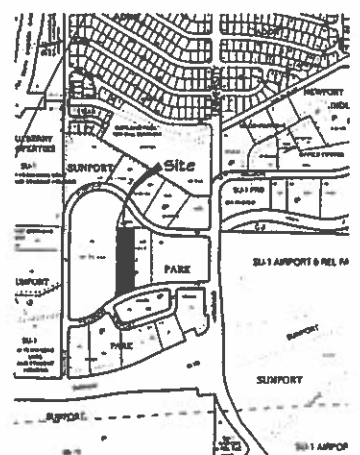
**PARKING DATA:**  
81 GUESTROOMS 81 STALLS  
8,025 SQ. FT. RESTAURANT / 200 (This would allow 124 Seats) 31 STALLS  
PARKING REQUIRED (1 Per Unit) / 1 PER 200 SQ. FT. of RESTAURANT 142 STALLS  
TOTAL PARKING PROVIDED 173 STALLS  
COMPACT PARKING ALLOWED 20% OF TOTAL SPACES 22 STALLS  
TOTAL PARKING PROVIDED 195 STALLS  
ADA PARKING PROVIDED 8 STALLS  
ADA PARKING PROVIDED 8 STALLS  
BICYCLE PARKING PROVIDED (RESTAURANT ONLY) 1 STALL / 20 PARKING SPACES 2 RACK  
BICYCLE PARKING PROVIDED 2 RACK  
MOTORCYCLE PARKING PROVIDED 5 STALLS  
MOTORCYCLE PARKING PROVIDED 5 STALLS

**SPRINKLER SYSTEM:**

BUILDING SHALL BE EQUIPPED THROUGHOUT WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES. PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO FIRE MARSHALL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE ATTIC SPACES OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED WITH A DRY PIPE SYSTEM. THIS SYSTEM SHALL BE A FULLY AUTOMATIC MONITORED SYSTEM AND THE SYSTEM SHALL SUPERSEDE THE REQUIREMENTS FOR ATTIC DRAFT STOPPING PARTITIONS, BUT NOT AREA SEPARATION PARTITIONS. IN ADDITION TO THE BUILDING, THE PORT COCHERE WILL ALSO BE SPRINKLERED.

**Key Notes:**

1. SLOPED ADA RAMPS: City of Albuquerque Std. D.I. No. 2426 (1/2 MAXIMUM AT TRAFFIC AREA)
2. HANDICAP SIGN ON POLE OR MOUNTED ON WALL (12" X 18")
3. ADA ACCESSIBLE PEDESTRIAN PATHWAY 6' WIDE WITH PAINTED STOPPING.
4. ADA ACCESSIBLE PEDESTRIAN WALK (6'-0" WIDE CONCRETE)
5. HANDICAP ACCESSIBLE WALKS: WIDTH VARIES - REFER TO DIMENSIONS.
6. 4' WIDE CONCRETE SERVICE WALK.
7. TRASH ENCLOSURE
8. LIGHT FIXTURE
9. NEW FIRE HYDRANT.
10. NOT USED
11. NOT USED
12. NOT USED
13. ADA Ramp Within Accessible Pedestrian Walkway (Refer to Detail on sheet C201)
14. Concrete Valley Gutter per City of Albuquerque Std. D.I. No. 2426
15. Paint "COMPACT" on Each Compact Parking Space
16. "NO PARKING" in Capital Letters 14" High x 2" Stroke Adjacent to Vehicle Rear Tire.
17. Clear Sight Triangle -- Landscaping and Signage Will Not Interfere With Clear Sight Requirements. Therefore, walls, trees, and shrubbery between 5 and 8 Feet Tall (as Measured From the Gutter Pan) Will Not be Acceptable in This Area.
18. Fire Department Connection (into Closet inside Guest Laundry)
19. Fire Department PIV



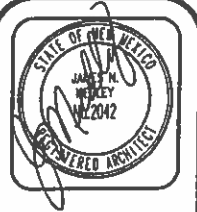
PROJECT NUMBER: 1007017  
Application Number: 16888 - 7-2-15

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Robert M. Webb</i> Traffic Engineering, Transportation Division Date: 7/20/16	<i>[Signature]</i> Environmental Health Department (conditional) Date: 8-15-16
<i>[Signature]</i> ABCMIA Date: 08/09/16	<i>[Signature]</i> Solid Waste Management Date: 8-2-16
<i>[Signature]</i> Parking/Recreation Department Date: 7/20/16	<i>[Signature]</i> DRB Chairperson, Planning Department Date: 8-15-16
<i>[Signature]</i> City Engineer Date: 7-20-16	



**JIM MEDLEY, Architect AIA**  
No. 10046  
3100 Christine N. E. Albuquerque, NM 87111  
Phone (505) 262-3514 Fax (505) 264-5593

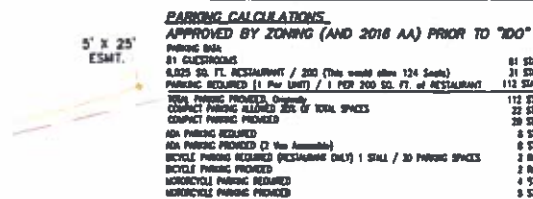
Plan No. 10046  
Date: 7/20/16  
Drawn by: JMD  
Checked by: JMD

Project: 81 Guestroom Hotel  
**CHOICE HOTELS INTERNATIONAL**  
by: Support Park Hospitality, LLC  
Gallup, New Mexico

No.	Revision / Issue	Date	1/6/16
1			
2			
3			

Sheet Description  
**SITE PLAN FOR BUILDING PERMIT**

Sheet:  
**C 101**



- TRAFFIC NOTES:**
1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.  
IF REQ. END AISLES SHALL BE 2' WIDE MOUNTABLE CURB SIM. TO COA 2415A.
  2. ALL TRAFFIC ELEMENTS SHOWN SHALL BE CONSTRUCTED FROM THIS SHEET,  
AND REQUIRED FOR CERTIFICATE OF OCCUPANCY. A TEMPORARY  
C.D. SHALL NOT BE ISSUED.
  3. TRUNCATED DOWNS PER ANSI-A117.1 2008. & ADAAG.
  4. TYPICAL RAMP SLOPE 12:1 MIN. EXISTING WITH BROOM FINISH CONCRETE. (DWG.  
2440/2441)
  5. ADA ON ACCESSIBLE SIGN (12-118) SHALL HAVE THE REQUIRED VERBIAGE OF  
"VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". PER 66-7-352.4C NMSA 1978
  6. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS.  
SIGNS, WALLS, TREES AND SHRUBS BTWN. 3-8 FEET TALL ARE NOT ACCEPTABLE  
WITHIN THE AREA. SEE DETAILS LEFT.
  7. BUILT 6" PCC SIDEWALK PER COA #2430.
  8. PAINT "COMPACT" TYPICAL. ALL COMPACT CAR SPACES
  9. PAINT "NO PARKING", AT ACCESS AISLES



1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL PAVED PARKING AREA SHALL DRAIN DIRECTLY TO NEW CURB CUT OR SDMK CULVERT

TRAFFIC CERTIFICATION

I, PHILIP W. CLARK, NMPE 10285, OF THE FIRM CLARK CONSULTING ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE (ORR, AA) OR TCL APPROVED PLAN DATED N/A



- EXIST. SPOT ELEVATION      -24.0
- EXIST. CONTOUR      5310
- NEW SPOT ELEVATION      @ 12.0 (ADD 5100 FOR MSL)
- NEW CONTOUR      -12-
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- NEW P.C.C. CONCRETE
- FLOWLINE
- FL
- WATER BLOCK
- R/PRAP STONE
- TYP. VVL 4" Avg. Dia.
- UNLESS NOTED OTHERWISE
- 8" BURY LINO

## PROJECT DATA

LPC# 1-015-055-183-234-30410

LEGAL DESCRIPTION (PRIOR TO PLAT)


LOT 2-A-2, SUNPORT PARK  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### PROJECT BENCHMARK

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL ELEVATION  
= 5121.24, AS TIED FROM AMAFCA SDC 3-1/4" DIAMETER ALUM DISK SET  
IN CONCRETE, SDC-11-2, MSL, NAVD 88, 5001.66.

### TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY ALPHA PRO SURVEYING, LLC, DATED APRIL 2014, AND  
SUPPLEMENTED MAR. 2016.

 <b>Clark Consulting Engineers</b> Edgewood, New Mexico 87015	
Tel: (505) 281-2444	Cell/Tel: (505) 266-6047
DATE	REVISION
	LOT 3-A-2, BLOCK 2, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
	SUNPORT PARK HOSPITALITY / KUMAR
	<b>"TCL PLAN"</b>
	(Traffic Circulation Layout)
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 3/04/18
	JOB # YOGASH
	FILE # TOL
	<b>C 104</b>