

M15 D0234

Carrillo, Abiel X.

From: Carrillo, Abiel X.
Sent: Friday, December 30, 2016 3:51 PM
To: 'Gilbert Aldaz'; Al-Najjar, Marwa G.
Cc: Chad Weltzin
Subject: RE: Sotogrande Housing

Gilbert,

I can clarify:

For Preliminary Plat, the plat just needs to have a cross lot drainage easement for the benefit of the adjacent lot, maintained by this lot (or however the maintenance will work)

For Site Plan we have no adverse comments.

I will leave a printout of this email in the DRB file for future reference.

Thanks,

Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102

From: Gilbert Aldaz [<mailto:galdaz47@yahoo.com>]
Sent: Friday, December 30, 2016 3:42 PM
To: Al-Najjar, Marwa G.; Carrillo, Abiel X.
Cc: Chad Weltzin
Subject: Fw: Sotogrande Housing

Thanks for the comments every thing looks clear what is needed prior to building permit release. Are we good on what has been submitted for EPC and DRB reviews?

Sent from Yahoo Mail for iPhone

Begin forwarded message:

On Friday, December 30, 2016, 3:21 PM, Al-Najjar, Marwa G. <mal-najjar@cabq.gov> wrote:

Please find attached the comments letter for Sotogrande Housing.
Thanks

Marwa Al-Najjar
Associate Engineer
Planning Department
Office: (505) 924-3675
Mal-najjar@cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

December 30, 2016

Gilbert Aldaz
Applied Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

**RE: Sotogrande Housing
 Conceptual Grading and Drainage Plan
 Engineer's Stamp Date 12-6-2016 (File: M15D23H)**

Dear Mr. Aldaz

Based upon information provided in your submittal received 12-6-2016, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

1. Provide Benchmark.
2. The project is large enough that the plan needs to show the design elements developed beyond a conceptual site sketch for Grading Permit Approval. For example, no curb ramps are shown, and it is not clear if the line type used for curbing is the back, or flowline of the curb. Side walk beginning and ends are not defined.
3. Provide a cross section for the offsite flow swales.
4. Provide information and build notes for the driveways (curb, ramps, slops, limits of side walk construction, valley gutter).
5. Should propose an inlet vs a manhole or give detail if it is a specialty manhole (plastic, or other).
6. Show how roofs drain on the plan.
7. The area between back of curb and property line should be depressed or provided erosion control behind curb.
8. Is there an existing cross lot drainage easement on this property to accept flows from the adjacent lot?
9. If possible, the swale that outfalls to the wood ward Rd driveway should pass through a water Quality Pond just prior to the curb cut.
10. Storm Drain connections to the back of a public inlet must be completed through the SO-19 permit process. Please include the standard SO-19 Notes on the plan. The connection will need to reference and comply with Std. DWG 2237.
11. Clarify how the concrete channel referenced with keyed note #2 is to be constructed. It is missing information.

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New Mexico 871034.

12. Provide details for the above mentioned concrete channel. Provide cross section of retaining wall segment as well.
13. Include the cross section of retaining walls referenced in keyed note #4.
14. The plan should show how roofs flow will be conveyed across the sidewalks that surround the buildings (sidewalk culvert or piping should be used).

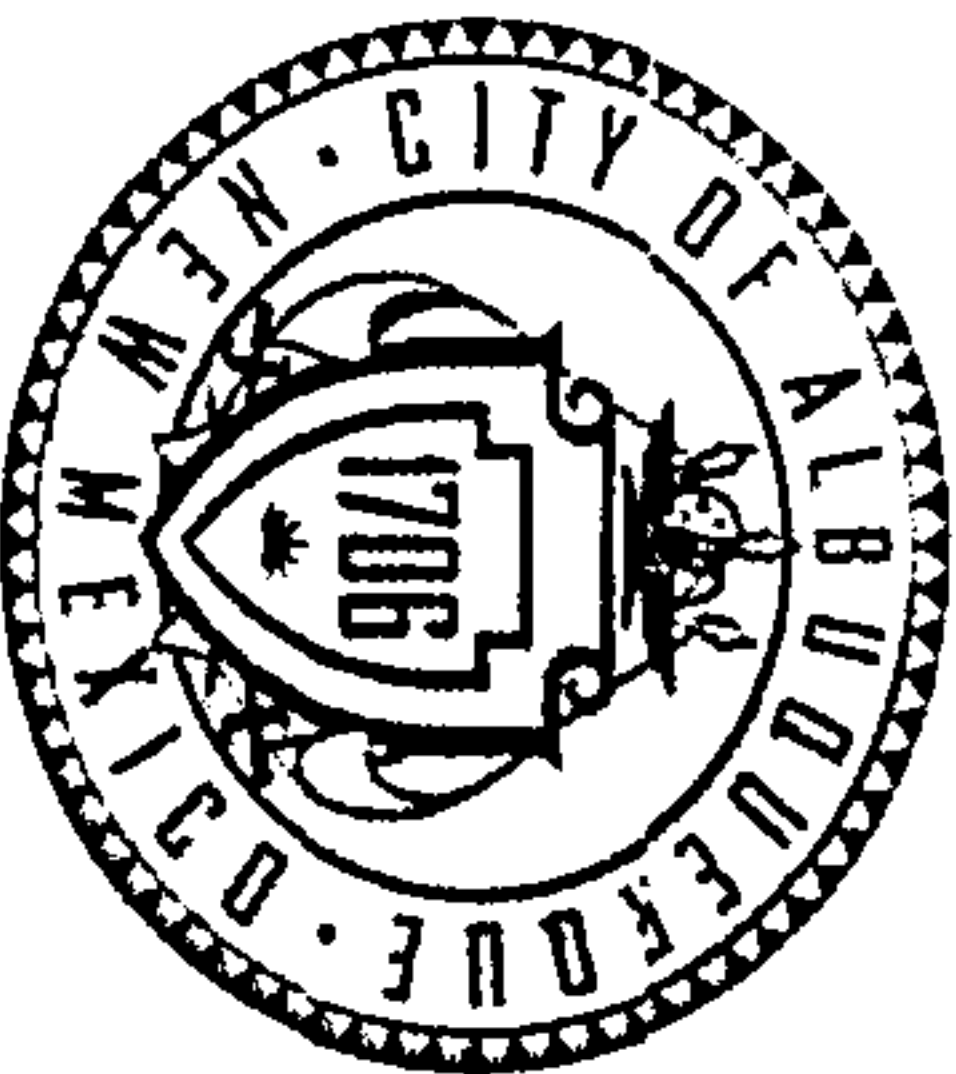
If you have any questions, you can contact me at 924-3986.

Sincerely,

A handwritten signature in black ink, appearing to read 'Abiel Carrillo', with a large, stylized loop at the end.

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

MA/AC

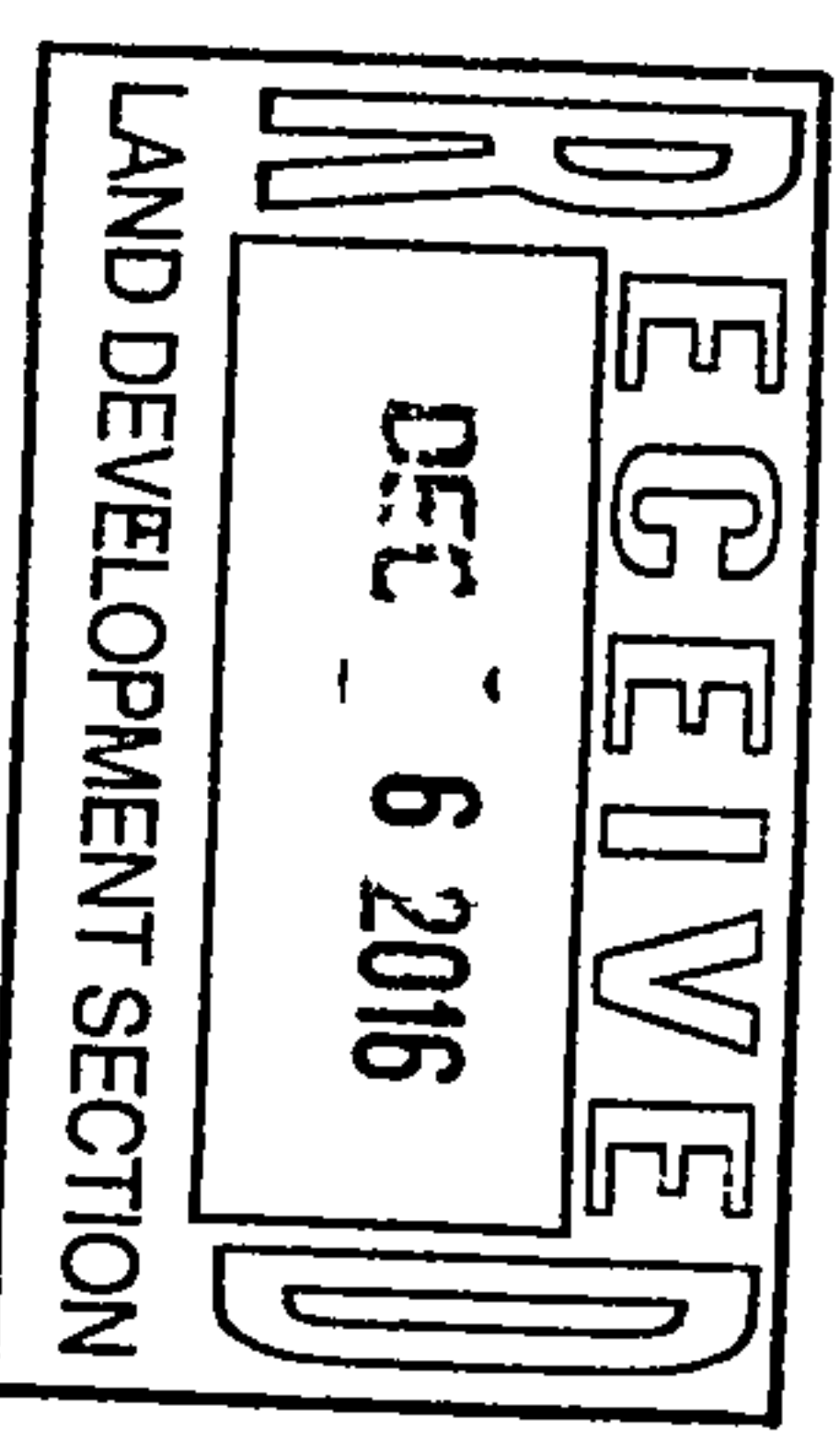


City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)



Project Title: Setagrande Housing Building Permit #: _____ Hydrology File #: M450234
DRB#: _____ EPC#: 1009573 Work Order#: _____
Legal Description: Lot 1A & 2A1, Block 2, Sunport Park
City Address: NE Corner Woodward Road SE and Flightway Avenue SE
Applicant: Applied Engineering & Surveying, Inc. Contact: Gilbert Aldaz
Address: 1605 Blair Drive NE, Albuquerque, NM 87112
Phone#: 505-480-8125 Fax#: _____ E-mail: galdez4@yahoo.com
Other Contact: Chad Weltzin - Erstad Architects Contact: _____
Address: 310 N 5th Street, Boise, ID 83702
Phone#: 208-331-9031 Fax#: _____ E-mail: cweltzin@erstadarchitects.com

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

\$30.00

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☒ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL

☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? Yes ☒ No ☐

DATE SUBMITTED: 12-05-16 By: Gilbert Aldaz

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____