

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 6, 2024

Vincent Perea, PE
Tierra West LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Transport Apartments
2900 Transport St. SE
Traffic Circulation Layout
Engineer's Stamp 01-23-24 (M15-D023H)

Dear Mr. Perea,

Based upon the information provided in your submittal received 01-24-24, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

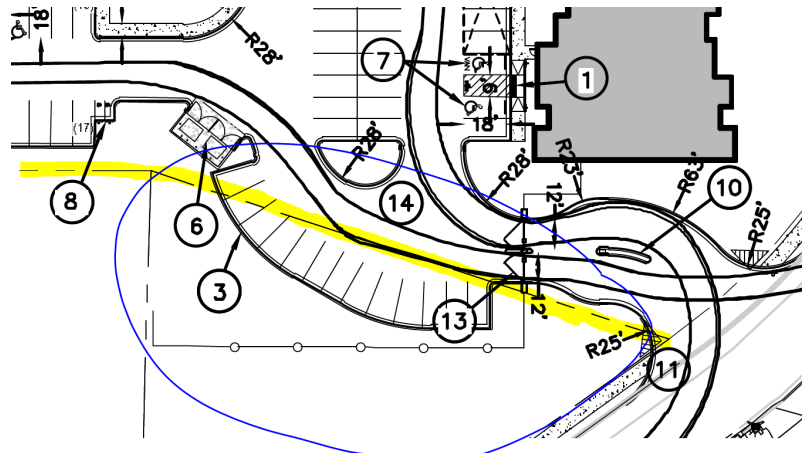
1. Identify the right of way width, medians, curb cuts, and street widths on Transport St. and Woodward Rd. SE.
2. Provide right of way improvement details:
 - Proposed sidewalk and buffer width and design details.
 - Proposed ADA ramp at the corner of Transport St. and Woodward Rd. details.
 - Proposed both site accesses details.
3. Per the DPM, please indicate a minimum throat length of 75 ft. for both site accesses.
4. Drawing is missing keynote 2.
5. Are you providing EV parking spaces less than the required number? Please address this concern.
6. Provide proposed standard parking spaces width.
7. Parking spaces at the east side of building A are out of the property.

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Albuquerque

NM 87103

www.cabq.gov



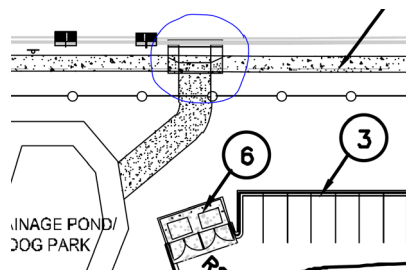
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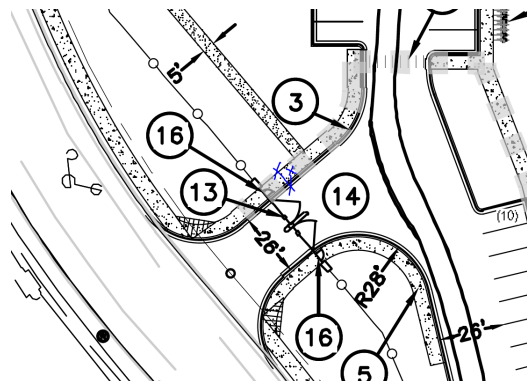


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8. Key note 10: is it a median?
9. Please provide details for the sidewalk in this area.



10. Please show on the site plan the width of the ADA pathway from the public sidewalk to the building entrance.



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11. Key note 13: Due to proposing a gate, please provide vehicle turning around template.
12. Provide a copy of Fire Marshal and Solid Waste approval.
13. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
14. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

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Mayor Timothy M. Keller

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

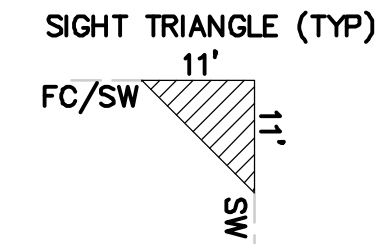
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PARKING COUNT (NOT INCL. MC SPACES)
- CLEAR SIGHT TRIANGLE
- PROPOSED BICYCLE RACK (2 SPACES)
- 6'-WIDE ADA PEDESTRIAN ROUTE

VEHICLE TRACKING NOTE:
AN AASHTO 2011 SU-30 WAS USED.

KEYED NOTES

- 1 UNIDIRECTIONAL ACCESSIBLE RAMP PER COA STD 2443 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 2 CURB ACCESSIBLE RAMP PER COA STD 2441 AND DETECTABLE WARNING SURFACE PER COA STD 2446
- 3 6" CURB AND GUTTER PER COA STD 2415A
- 4 8" STANDARD CURB AND GUTTER PER COA STD 2415A
- 5 CONCRETE SIDEWALK PER COA STD 2430, WIDTH PER PLAN
- 6 DUMPSTER W/RECYCLING
- 7 ACCESSIBLE PARKING W/ WHEEL STOP AND SIGN PER ADA AND NMSA STANDARDS SEE HC PARKING DETAIL ON SHEET TCL-2
- 8 4.5'x9'D MOTORCYCLE PARKING W/SIGN SEE DETAIL ON SHEET TCL-2
- 9 9' PEDESTRIAN CROSSWALK PER ADA STANDARDS SEE CROSSWALK CROSSING DETAIL ON SHEET TCL-2
- 10 PRIVATE DRIVEWAY ENTRANCE PER COA STD 2426
- 11 NEW PUBLIC ASPHALT PAVEMENT EXTENSION, MATCH EXISTING PAVEMENT SECTION
- 12 9'x19' EV PARKING SPACE W/ PAVEMENT MARKERS
- 13 VEHICULAR GATED ACCESS
- 14 PRIVATE ONSITE ASPHALT PAVEMENT, PAVEMENT SECTION PER GEOTECH REPORT
- 15 BICYCLE RACK (2 SPACES PER RACK) PER BIKE RACK DETAIL ON SHEET TCL-2
- 16 PEDESTRIAN GATED ACCESS
- 17 LANDSCAPE PEDESTRIAN PATH (CRUSHER FINES OR SIMILAR MATERIAL)



SIGHT TRIANGLE NOTE:

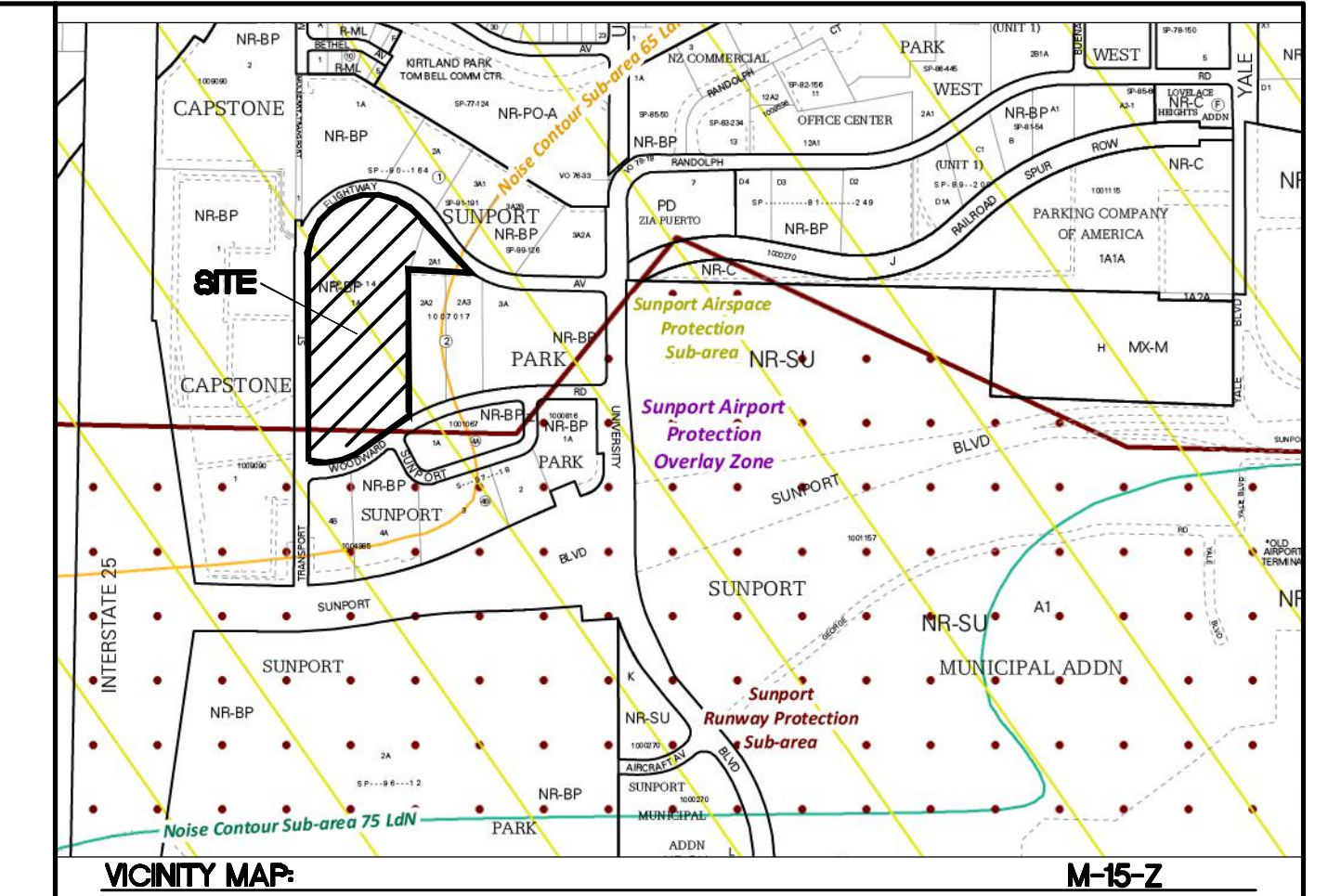
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PRIVATE ONSITE WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

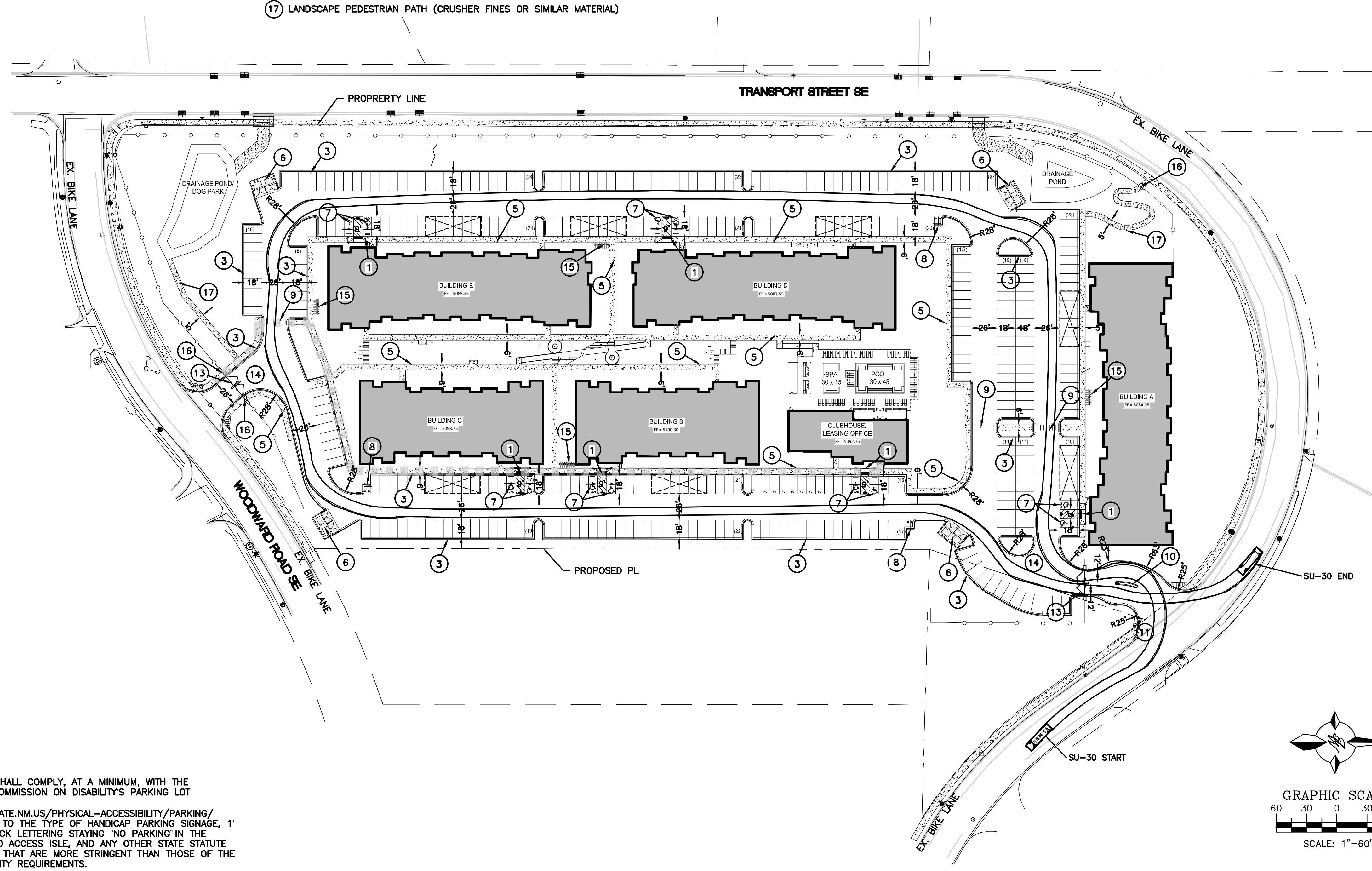
PUBLIC WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.



LEGAL DESCRIPTION

LOTS 1-A AND 2-A-1, BLOCK 2 SUNPORT PARK



- BUILDING A:**
1 BEDROOM UNITS = 36
2 BEDROOM UNITS = 32
- BUILDING B:**
STUDIO UNITS = 8
1 BEDROOM UNITS = 24
2 BEDROOM UNITS = 16
- BUILDING C:**
STUDIO UNITS = 8
1 BEDROOM UNITS = 24
2 BEDROOM UNITS = 16
- BUILDING D:**
STUDIO UNITS = 3
1 BEDROOM UNITS = 18
2 BEDROOM UNITS = 21
3 BEDROOM UNITS = 3
- BUILDING E:**
STUDIO UNITS = 3
1 BEDROOM UNITS = 18
2 BEDROOM UNITS = 21
3 BEDROOM UNITS = 3

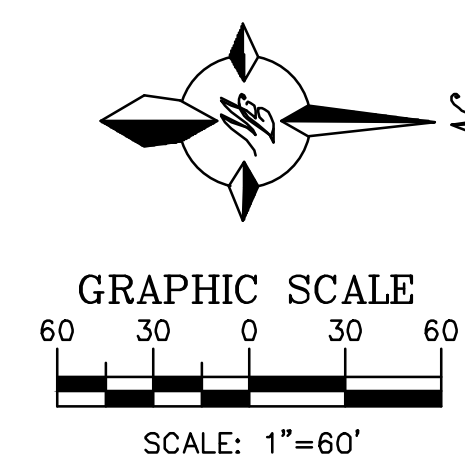
SITE DATA:

- PARKING PER TABLE 5-5-1:**
22 STUDIO UNITS X 1 = 22 SPACES
120 1 BEDROOM UNITS X 1.2 = 144 SPACES
106 2 BEDROOM UNITS X 1.6 = 170 SPACES
6 3 BEDROOM UNITS X 1.8 = 11 SPACES
5,521 SF AMENITY BLDG AREA X 0.003 = 17 SPACES
- TOTAL PARKING REQUIRED = 364 SPACES
TOTAL PARKING PROVIDED = 400 SPACES
- CHARGING STATIONS REQUIRED = 364 X 0.05 = 18 SPACES
CHARGING STATIONS PROVIDED = 7 SPACES
- ADA PARKING REQUIRED = 12 SPACES
ADA PARKING PROVIDED = 12 SPACES
VAN ACCESSIBLE PARKING REQUIRED = 2 SPACES
VAN ACCESSIBLE PARKING PROVIDED = 2 SPACES
- BICYCLE PARKING REQUIRED = 364 X 0.10 = 37 SPACES
BICYCLE PARKING PROVIDED = 37 SPACES
- MOTORCYCLE PARKING REQUIRED = 6 SPACES
MOTORCYCLE PARKING PROVIDED = 6 SPACES

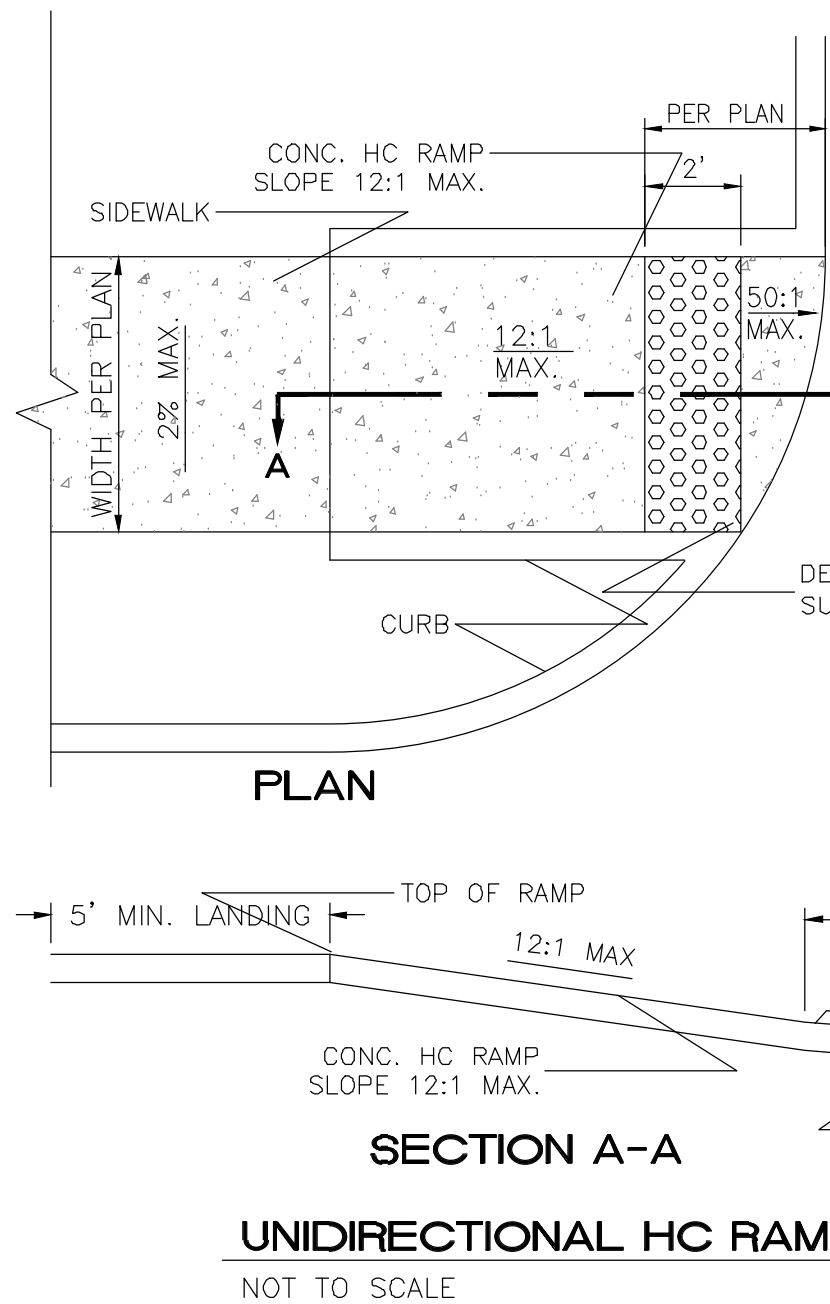
WORK ORDER NOTE:

ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.

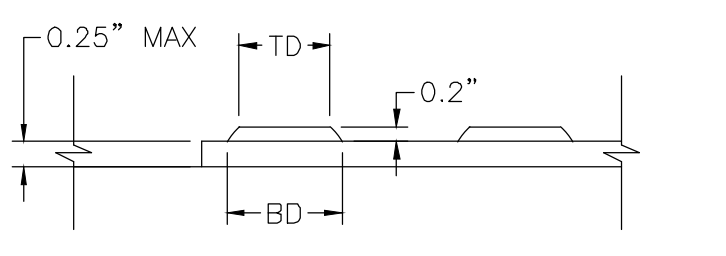
NOTE
CONTRACTOR SHALL COMPLY, AT A MINIMUM, WITH THE GOVERNOR'S COMMISSION ON DISABILITY'S PARKING LOT CHECKLIST:
[HTTP://GCD.STATE.NM.US/PHYSICAL-ACCESSIBILITY/PARKING/](http://gcd.state.nm.us/PHYSICAL-ACCESSIBILITY/PARKING/)
WITH RESPECT TO THE TYPE OF HANDICAP PARKING SIGNAGE, 1' HIGH BY 2' THICK LETTERING STAYING "NO PARKING" IN THE CROSS STRIPED ACCESS ISLE, AND ANY OTHER STATE STATUTE REQUIREMENTS THAT ARE MORE STRINGENT THAN THOSE OF THE FEDERAL OR CITY REQUIREMENTS.



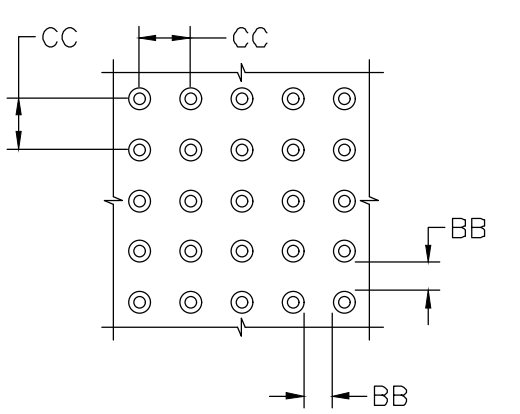
	ENGINEER'S SEAL VINCENT PERLA NEW MEXICO 25311 PROFESSIONAL ENGINEER 01/23/2024 RONALD R. BOHANNAN P.E. #7868	TRANSPORT APARTMENTS ALBUQUERQUE, NM	DRAWN BY PM/SB
	CONCEPTUAL TRAFFIC CIRCULATION LAYOUT	DATE 01/12/24	DRAWING
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrewestllc.com		SHEET # TCL-1	JOB # 2023065



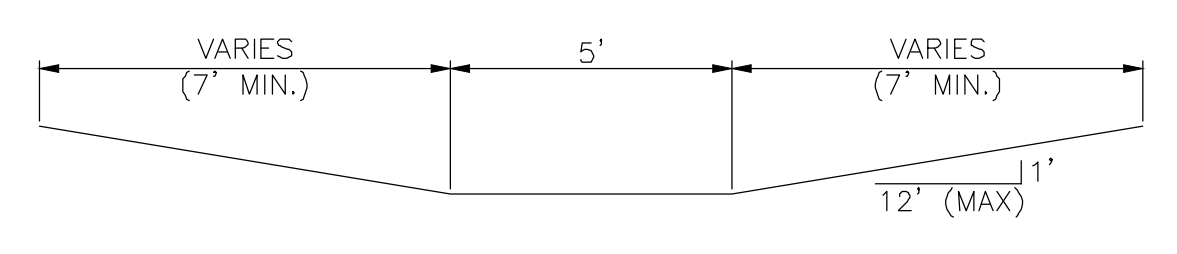
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



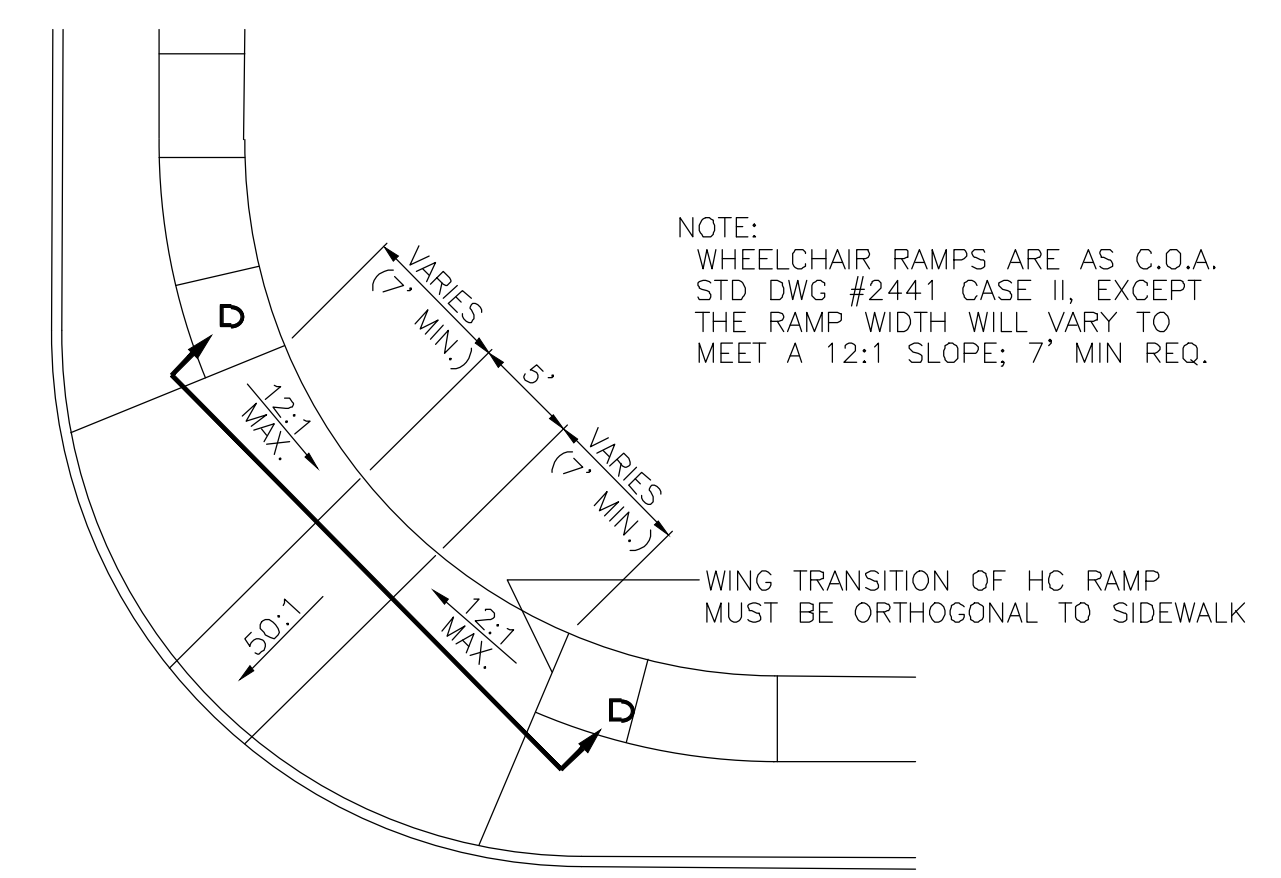
DOME SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



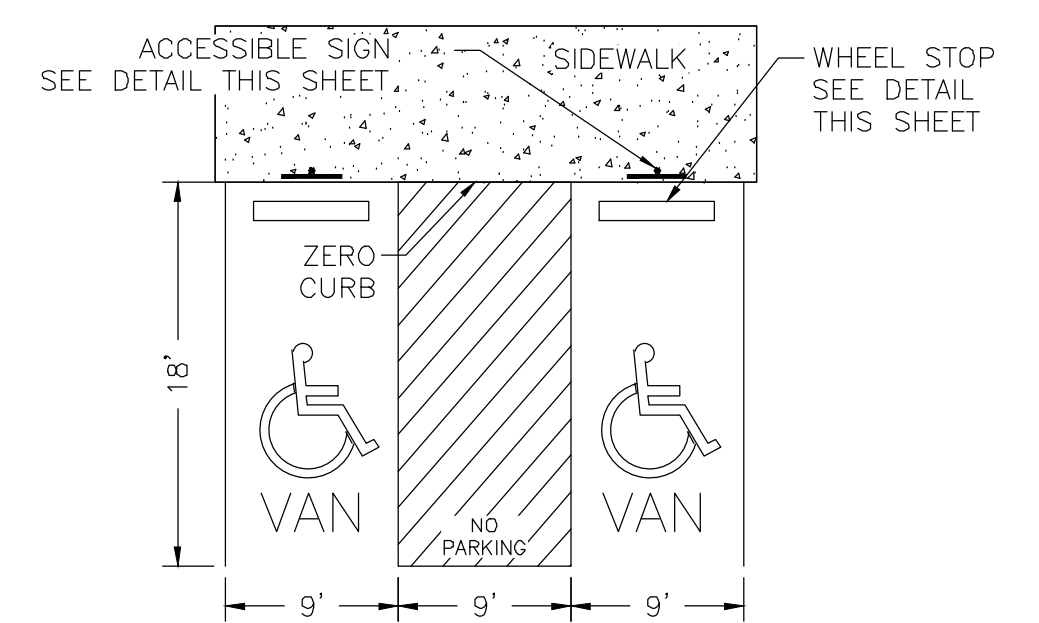
DOME SPACING
 CC - CENTER TO CENTER SPACING 2.35"
 BB - BASE TO BASE SPACING 1.48" MIN



SECTION D-D
NTS

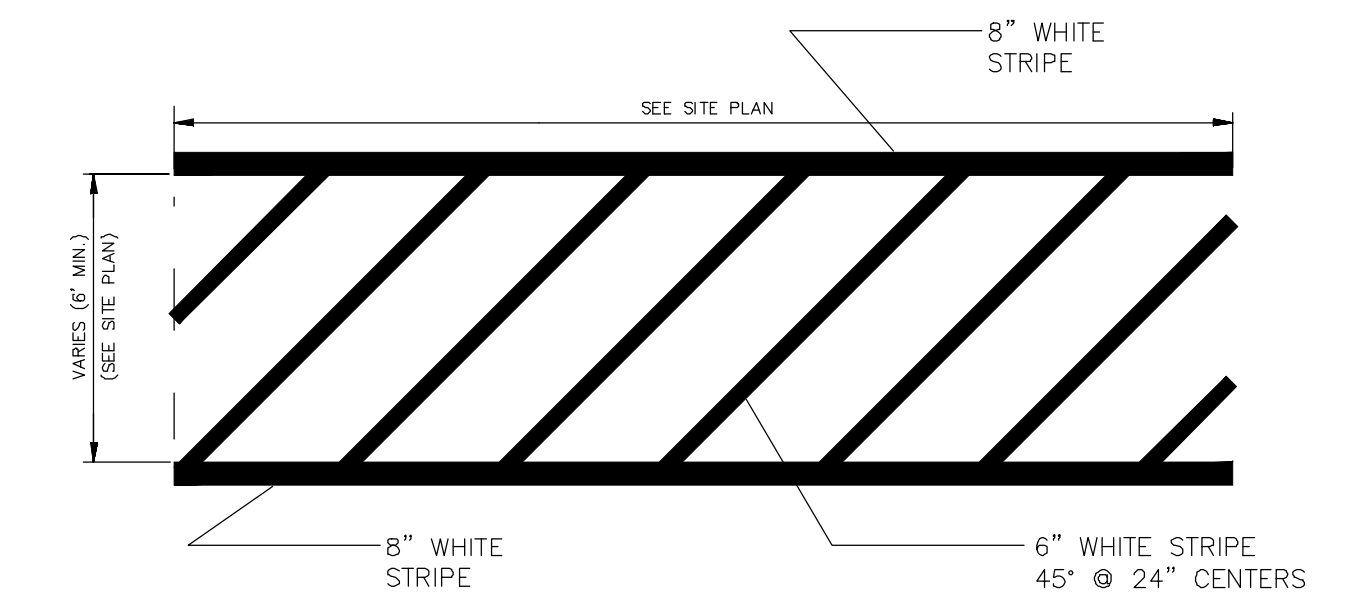


WHEELCHAIR RAMP DETAIL (TYP.)
NTS



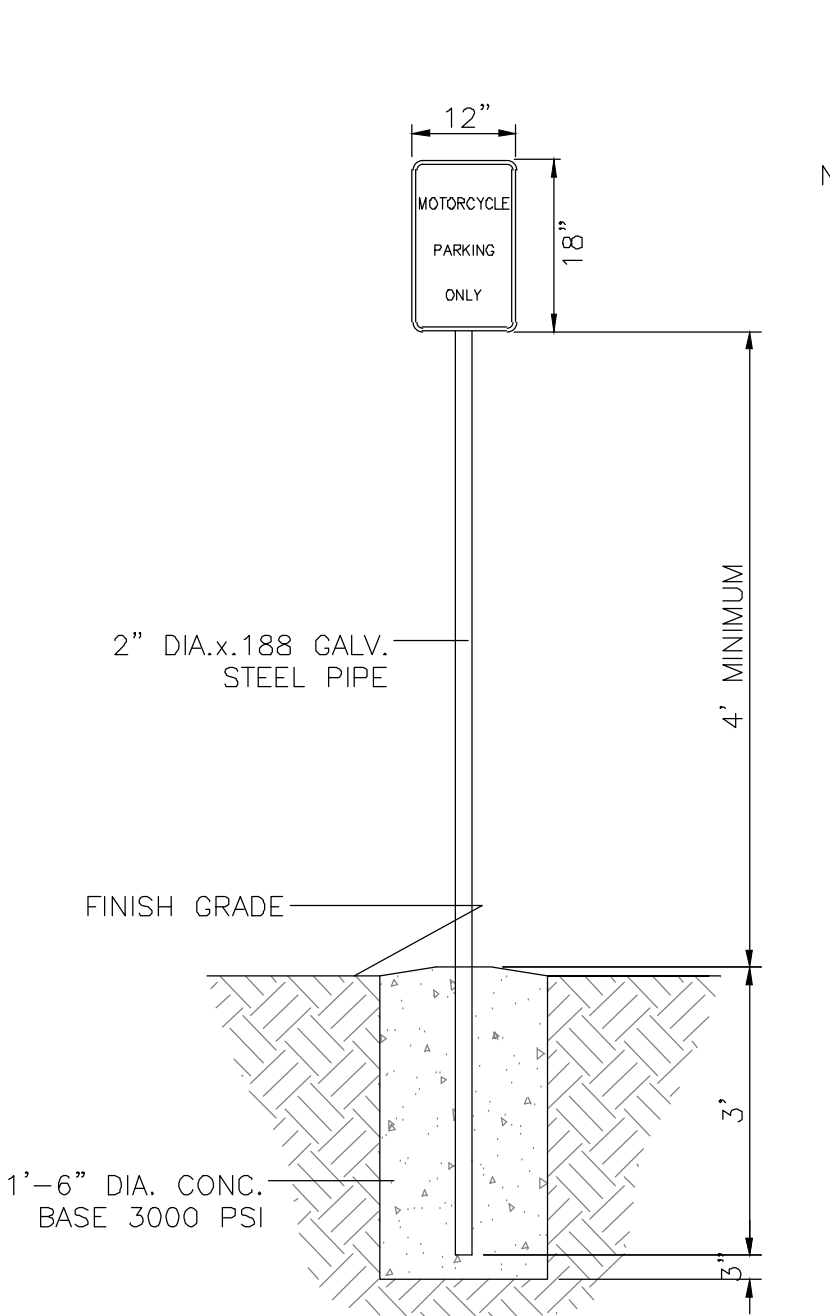
- NOTES:**
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - 2) Parking space lines and diagonal striping to be painted blue.
 - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

HC PARKING DETAIL
NTS

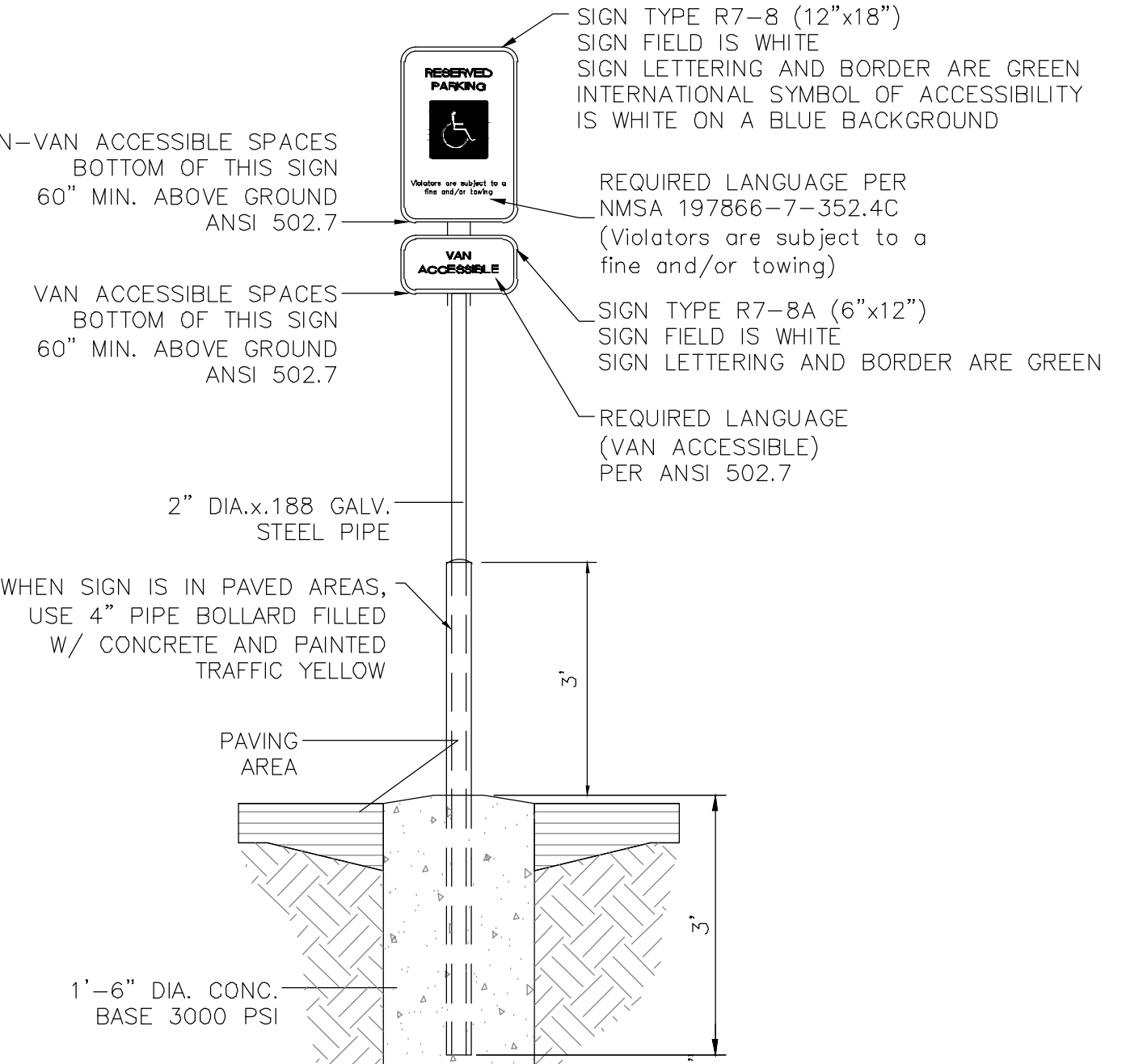


- NOTE:**
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
 2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

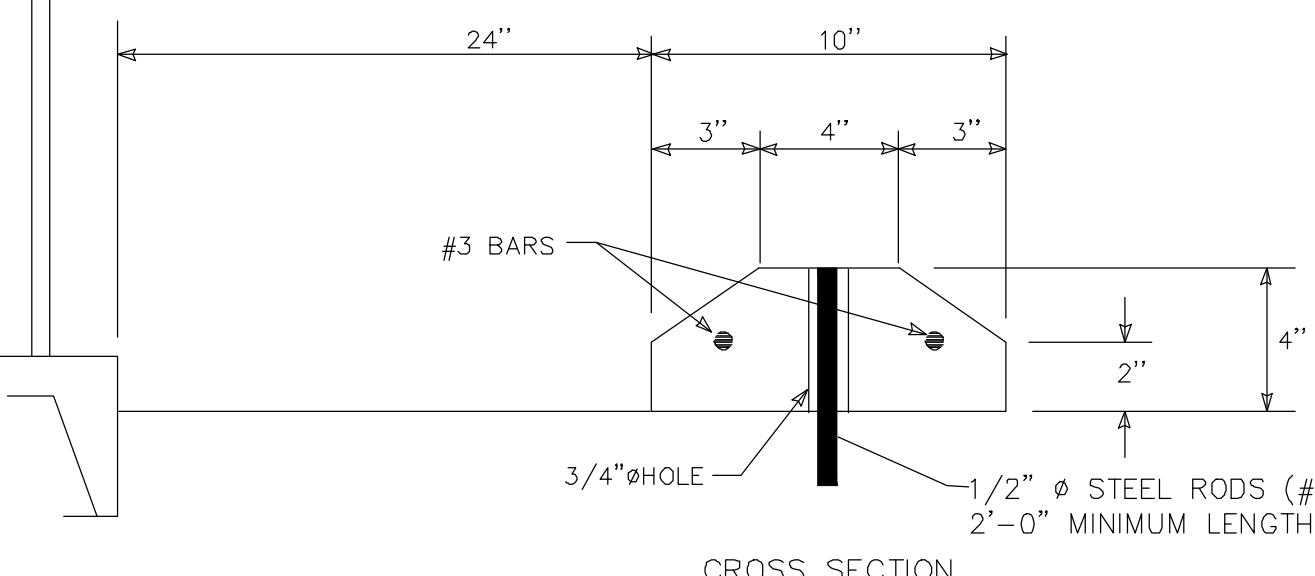
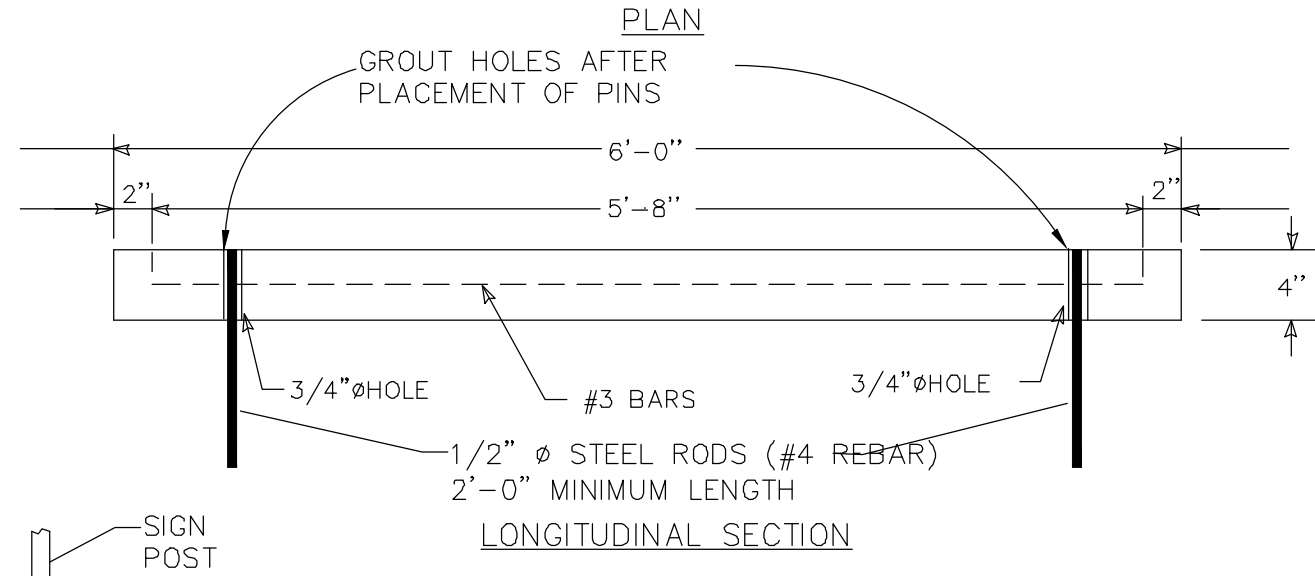
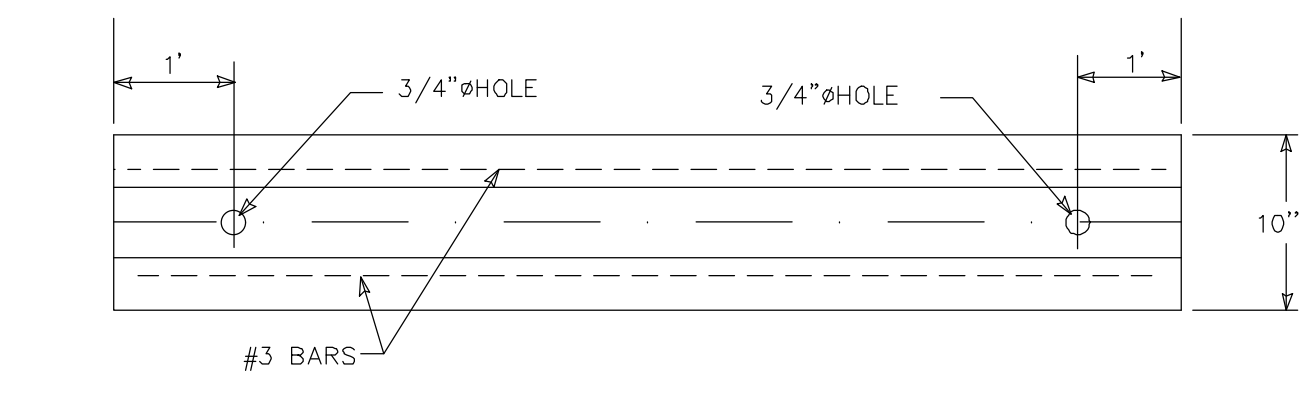
CROSSWALK/PED. CROSSING
NTS



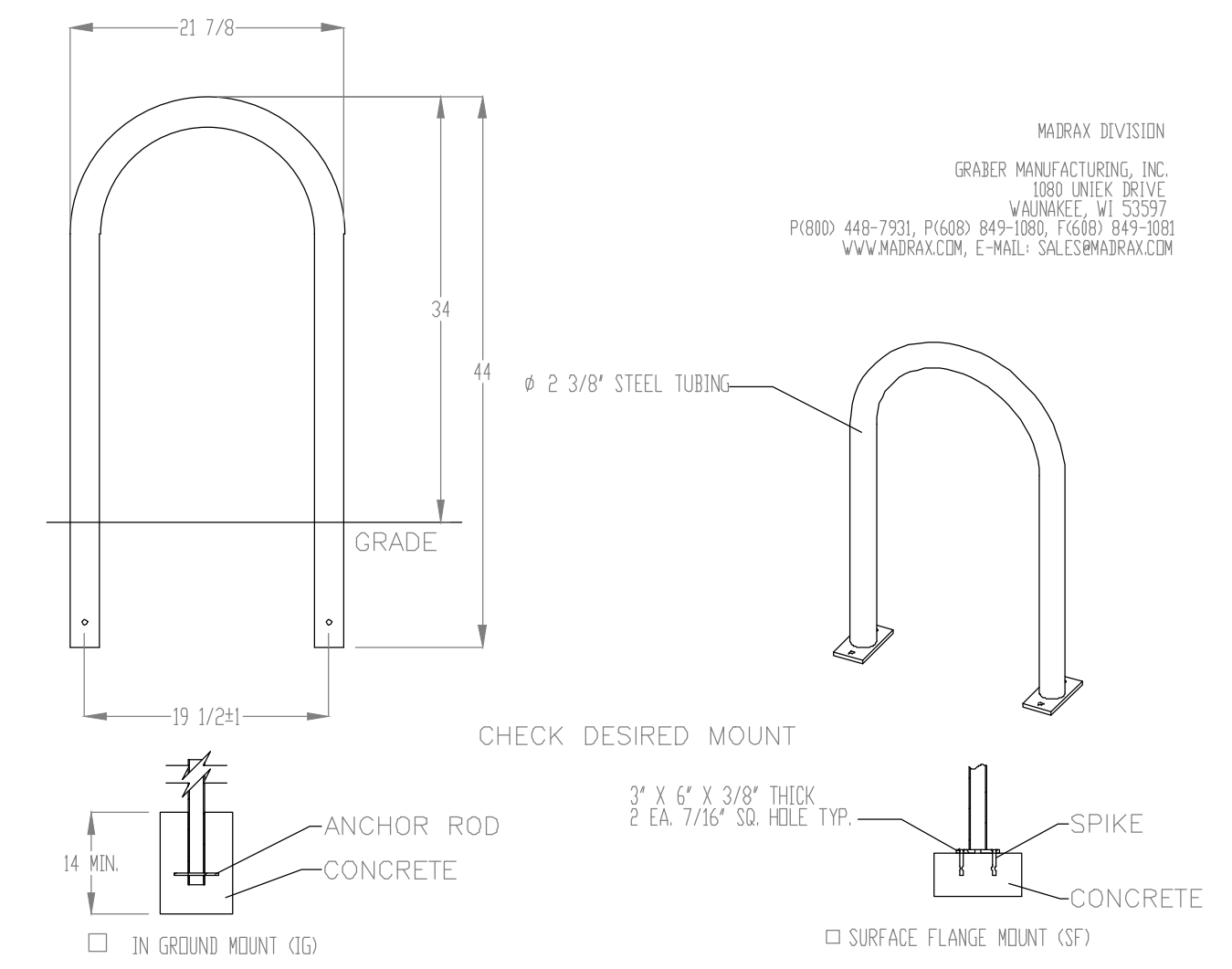
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



WHEEL STOP



NOTES:

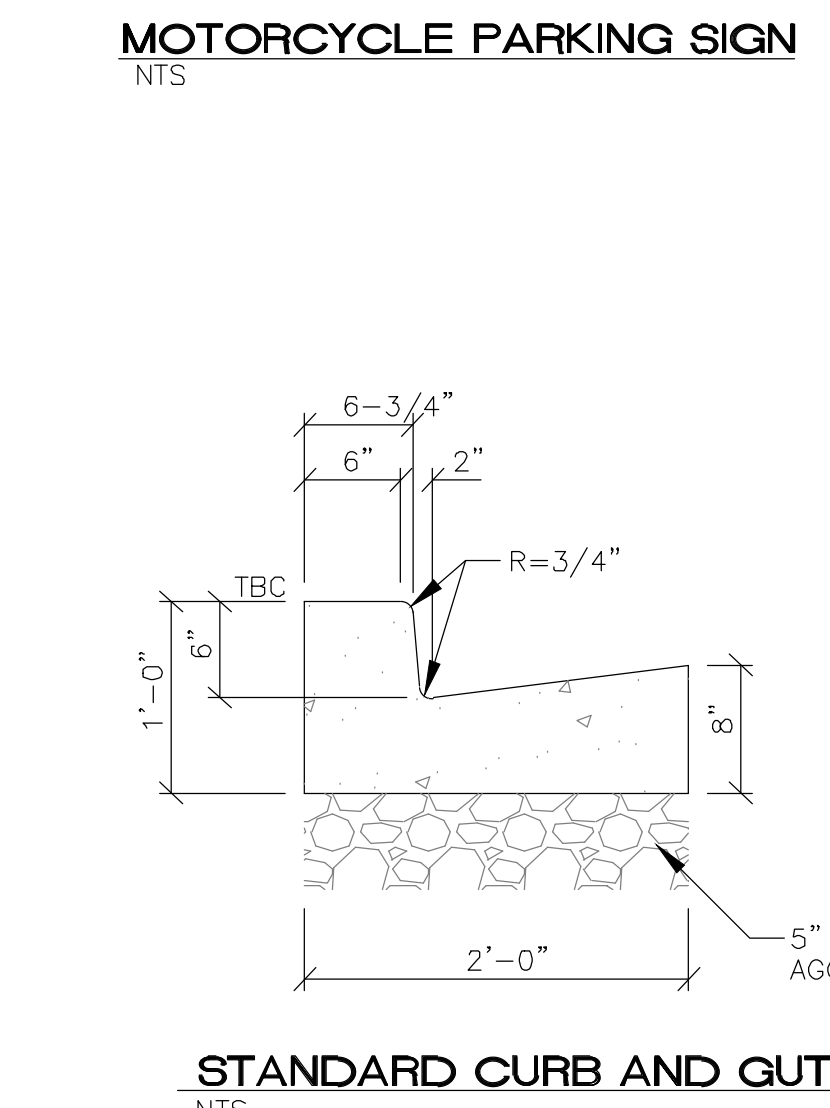
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR OF FINISH, SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT DRAWER.
4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

PRODUCT: U238-1G(SE)
 DESCRIPTION: BIKE RACK
 DATE: 10-4-19
 ENG: SMC

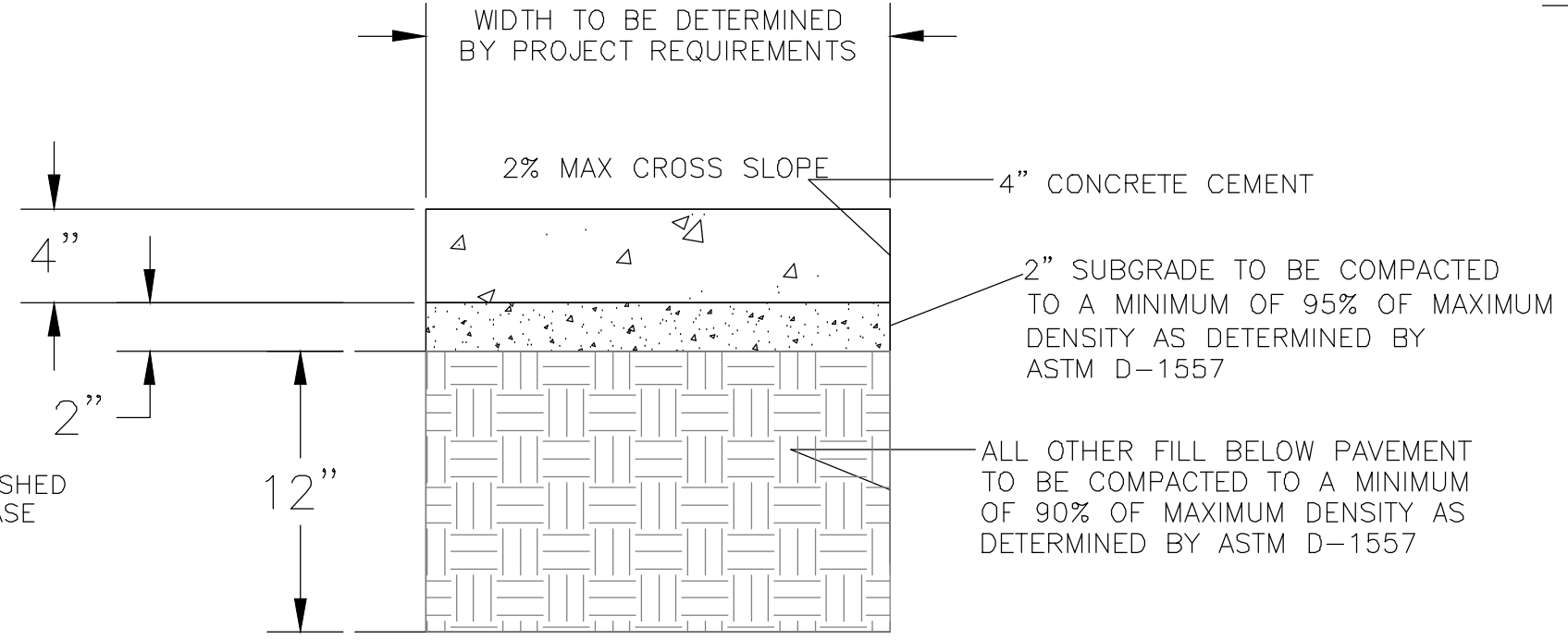
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BIKE RACK DETAIL
SCALE: NONE



STANDARD CURB AND GUTTER
NTS



CONCRETE SIDEWALK SECTION

ENGINEER'S SEAL	TRANSPORT APARTMENTS ALBUQUERQUE, NM	DRAWN BY PM/SB
	DETAILS	DATE 01/12/24
		DRAWING
RONALD R. BOHANNAN P.E. #7868		SHEET # TCL-2
		JOB # 2023065