

CITY OF ALBUQUERQUE



September 30, 2014

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Capstone Student Housing Zone 4
Transport Ave SE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 12-13-13 (M15D026)
Certification dated: 9-29-14

Dear Mr. Bohannon,

Based on the Certification received 9/29/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email

CITY OF ALBUQUERQUE



September 5, 2014

Fred C. Arfman, PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: McDonalds at 12th St
12th St & Indian School
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 11-19-13 (M15D026)
Certification dated: 8-29-14**

Dear Mr. Arfman,

Based on the Certification received 9/2/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email

CITY OF ALBUQUERQUE



August 15, 2014

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

Re: Capstone Student Housing Zone 1 Residential and Clubhouse
3003 Transport SE
Request for Permanent C.O. –Accepted for residential units and 60-day
Temp CO for the clubhouse
Engineer's Stamp dated: 10-8-13, (M15D026)
Certification dated: 8-14-14

Dear Mr. Bohannon,

Based upon the submittal received 8-12-14, the above referenced certification is accepted for release of Permanent Certificate of Occupancy by Hydrology for the residential units and a 60-day Temporary CO for the clubhouse. The Permanent CO approval for the clubhouse granted 8-14-14 has been revised to a Temporary CO. Prior to a Permanent CO on the clubhouse, the following comments must be addressed:

1. The manhole connections to the public storm drain must be confirmed to be acceptable.
2. As-built grades for Zone 4 are required per the DPM.
3. How does Pond B-2 function as designed when it was built at 85% of its design capacity? It seems the grading should be revised.
4. Install the trash screen at the outlet to Pond B-3.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: CO Clerk
File
e-mail

CITY OF ALBUQUERQUE



August 15, 2014

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

Re: Capstone Student Housing Zone 3
3003 Transport SE
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 12-13-13, (M15D026)
Certification dated: 8-13-14

Dear Mr. Bohannon,

Based upon the submittal received 8-14-14, the above referenced certification is accepted for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: CO Clerk
File
e-mail

CITY OF ALBUQUERQUE



August 15, 2014

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Pl NE
Albuquerque, NM 87109

Re: Capstone Student Housing Zone 4
3003 Transport SE
Request for Permanent C.O. –Accepted with Conditions
Engineer's Stamp dated: 12-13-13, (M15D026)
Certification dated: 8-14-14

Dear Mr. Bohannon,

Based upon the submittal received 8-14-14, the above referenced certification is accepted for release of Permanent Certificate of Occupancy by Hydrology with conditions.

The request was for a Temporary CO, however, the Building Official will not grant Temporary CO's for residential units. Therefore, Hydrology is approving a Permanent CO for buildings in this phase, but will change the Zone 1 letter to only approve a Temporary CO on the clubhouse building until the following comments area addressed:

1. The manhole connections to the public storm drain must be confirmed to be acceptable.
2. As-built grades are required per the DPM.
3. How does Pond B-2 function as designed when it was built at 85% of its design capacity? It seems the grading should be revised.
4. Install the trash screen at the outlet to Pond B-3.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: CO Clerk
File
e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Capstone Student Housing (Zone 3) City Drainage #: _____

DRB#: _____ EPC#: 11EPC-40091/40092/40093 Work Order#: _____

Legal Description: Parcel 1A Block 3 plat of Lots 1A, 1A2, 1B1 in Block 4, Parcels 2A, 2B, 2C, & 2D of Sunport Cont

City Address: _____

Engineering Firm: Tierra West LLC Contact: Joel Hernandez

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: _____ E-mail: jdhernandez@tierrawestllc.com

Owner: Capstone Collegiate Communities, LLC Contact: Amanda Wallis

Address: 431 Office Park Drive Birmingham, AL35223

Phone#: 205-612-1107 Fax#: _____ E-mail: awallis@capstonemail.com

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (~~PER~~ TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 8.14.14 By: Brad Frosch for Ron Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 27, 2013

Jeffrey T. Wooten, P.E.
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Zone 3 Grading Plan, Engineer's Stamp Date 12-03-2013
Zone 4 Grading Plan, Engineer's Stamp Date 12-13-2013 (M-15/D026)

Dear Mr. Wooten,

Based the Zone 3 and 4 Grading plan in your submittal received 12-03-13 and 12-13-2013 the project is approved for Building Permit for buildings 29 through 52 (under Zone 3) and buildings 53 through 75 (under Zone 4) based on the following conditions:

- 30" headerwall should be change to 36" headerwall for the 36" storm drain pipe connecting Pond B-2 to Pond B-3.
- When providing as-built drawings, please provide all inlet numbers, inlet/mh/storm drain pipe inverts, inlet top of curb and grate elevations, and all the storm drain pipes slopes and normal flow depths.
- As-built pond volumes should be provided.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

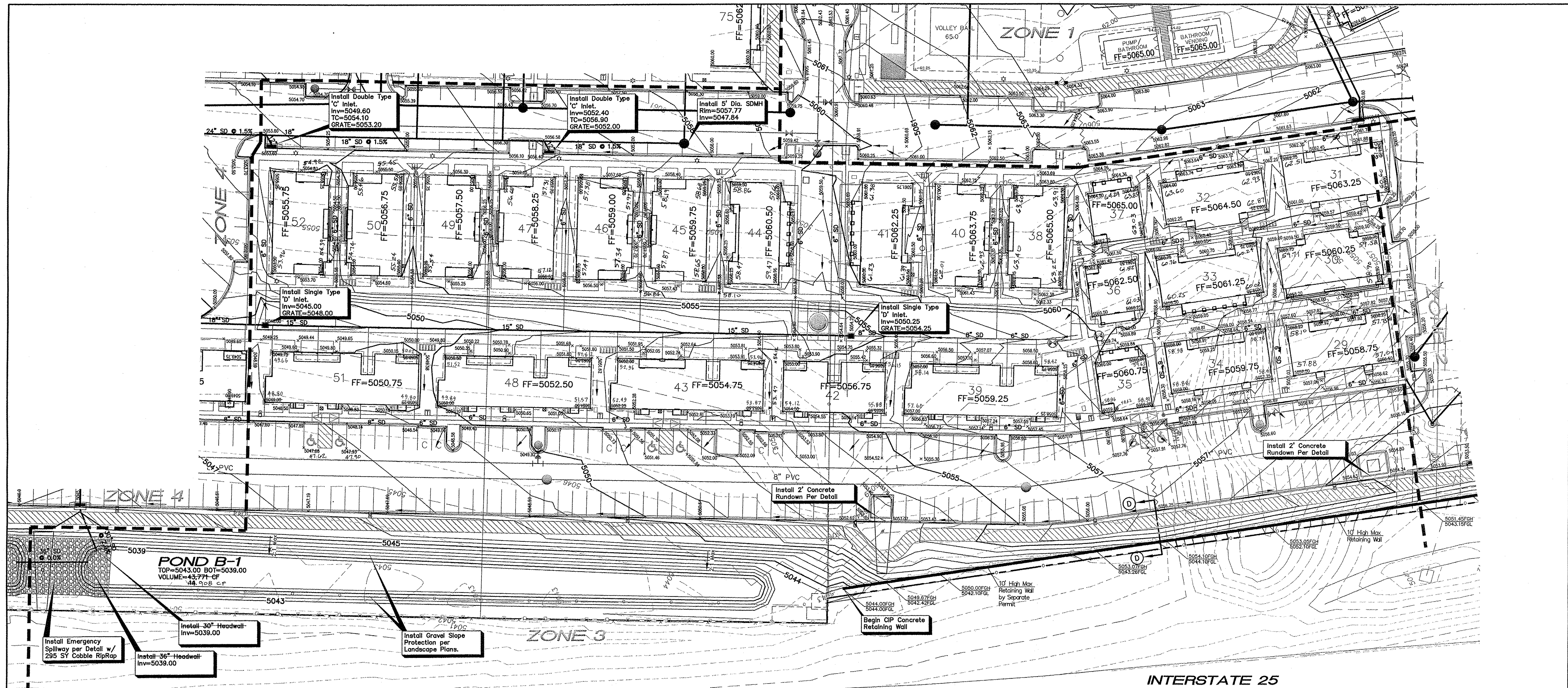
This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge for disturbing one acre or more and a Topsoil Disturbance Permit for disturbing $\frac{3}{4}$ of an acre or more. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, all the storm drain structures should be constructed and Engineer Certification per the DPM checklist will be required.

If you have any questions, you may contact me by telephone at 505-924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Department
Development Review Services

C: e-mail



INTERSTATE 25

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

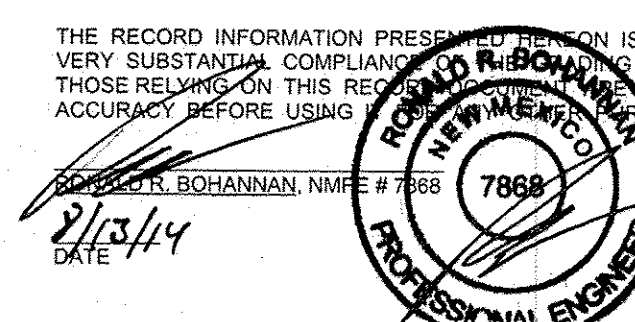
DRAINAGE CERTIFICATION FOR ZONE 3

I, RONALD R. BOHANNAN, NMPE # 7888, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/31/13. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS JOHNSTON, NMPS # 14262. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/13/14, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR "DRAINAGE CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY".

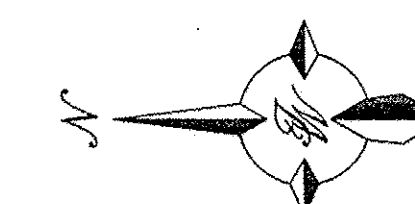
EXCEPTIONS: NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THOSE RELYING ON THIS RECORD INFORMATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING FOR ANY PURPOSE.

RONALD R. BOHANNAN, NMPE # 7888
8/13/14
DATE



(SEAL)



GRAPHIC SCALE



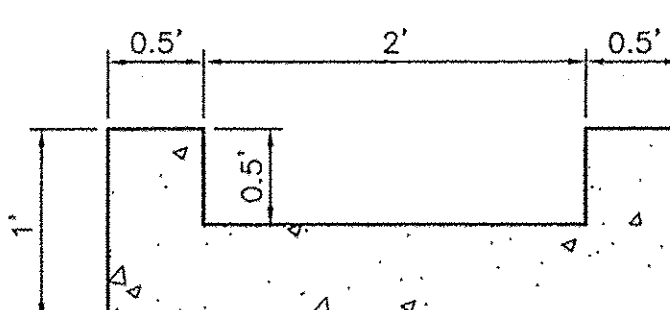
SCALE: 1"=30'

LEGEND

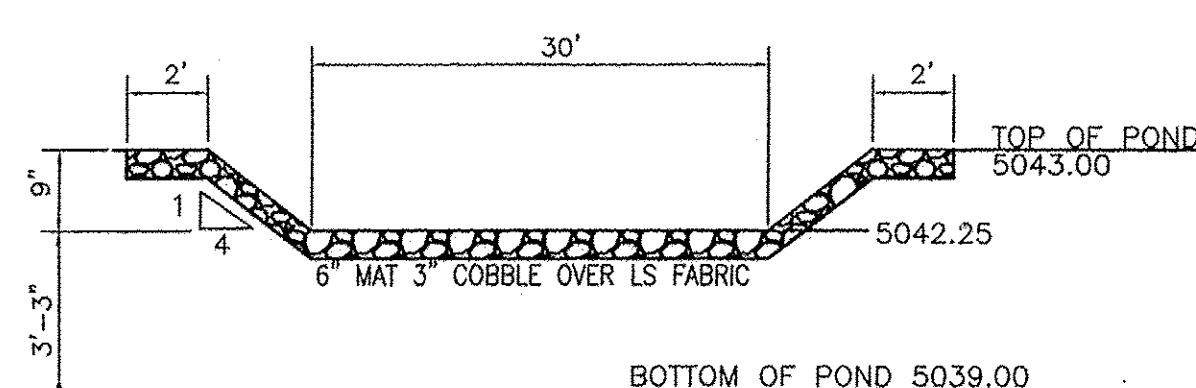
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR

CAUTION:

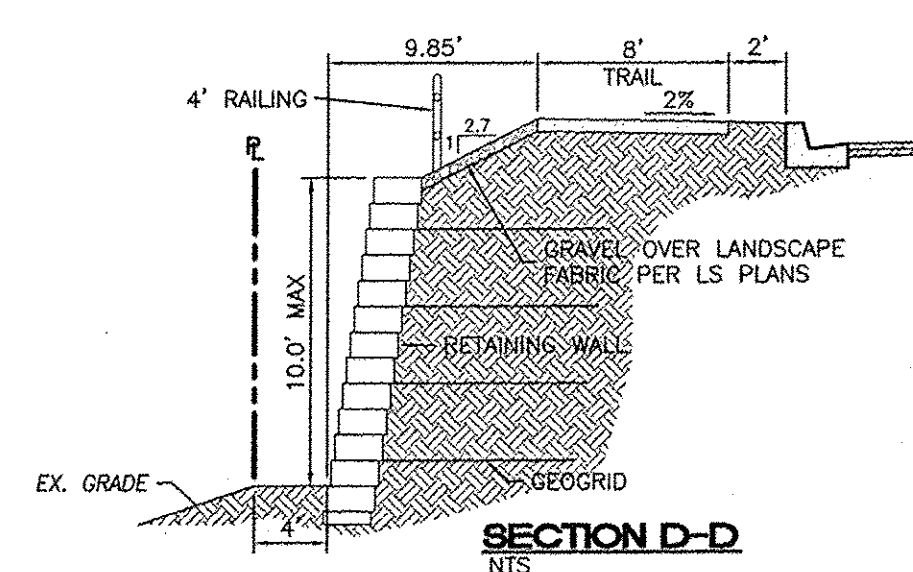
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



2' CONCRETE
RUNDOWN DETAIL
NTS

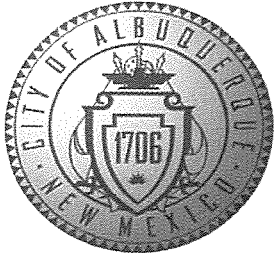


POND B-1
EMERGENCY SPILLWAY DETAIL
NTS



SECTION D-D
NTS

	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	ZONE 3 DETAILED GRADING PLAN	DATE 8-28-13
<p>JEFFREY T. WOOTEN P.E. #16892</p>	<p>TIERRA WEST, LLC</p> <p>5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	DRAWING 2011064-GR
		SHEET # C5E
		JOB # 2011064



City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Capstone Student Housing (Zone 4) City Drainage #: _____

DRB#: _____ EPC#: 11EPC-40091/40092/40093 Work Order#: _____

Legal Description: Parcel 1A Block 3 plat of Lots 1A, 1A2, 1B1 in Block 4, Parcels 2A, 2B, 2C, & 2D of Sunport Cont

City Address: _____

Engineering Firm: Tierra West LLC Contact: Joel Hernandez

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: _____ E-mail: jdhernandez@tierrawestllc.com

Owner: Capstone Collegiate Communities, LLC Contact: Amanda Wallis

Address: 431 Office Park Drive Birmingham, AL35223

Phone#: 205-612-1107 Fax#: _____ E-mail: awallis@capstonemail.com

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (~~PER~~ TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

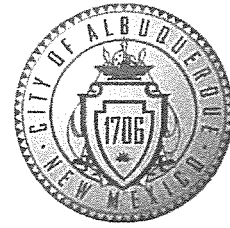
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: _____ By: Brad Frosch for Ron Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 27, 2013

Jeffrey T. Wooten, P.E.
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Zone 3 Grading Plan, Engineer's Stamp Date 12-03-2013
Zone 4 Grading Plan, Engineer's Stamp Date 12-13-2013 (M-15/D026)

Dear Mr. Wooten,

Based the Zone 3 and 4 Grading plan in your submittal received 12-03-13 and 12-13-2013 the project is approved for Building Permit for **buildings 29 through 52 (under Zone 3)** and **buildings 53 through 75 (under Zone 4)** based on the following conditions:

- 30" headerwall should be change to 36" headerwall for the 36" storm drain pipe connecting Pond B-2 to Pond B-3.
- When providing as-built drawings, please provide all inlet numbers, inlet/mh/storm drain pipe inverts, inlet top of curb and grate elevations, and all the storm drain pipes slopes and normal flow depths.
- As-built pond volumes should be provided.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge for disturbing one acre or more and a Topsoil Disturbance Permit for disturbing $\frac{3}{4}$ of an acre or more. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, all the storm drain structures should be constructed and Engineer Certification per the DPM checklist will be required.

If you have any questions, you may contact me by telephone at 505-924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Department
Development Review Services

C: e-mail

