

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 24, 2009

Tina M. Reames, Registered Architect,
Cherry/See/ Reames Architecture LLP
220 Gold Avenue SW
Albuquerque, NM 87102

Re: Approval of Permanent Certificate of Occupancy (C.O.) for
Thomas Bell Community Center, [M-15 / D030]
3001 University Blvd SE
Architect's Stamp Dated 11/17/09

Dear Mr. Reames:

Based upon the information provided in your submittal received 11-19-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy, since the parking stalls were approved for a design exception by COA Department of Municipal Development Project Manager (Annette Montoya-see attached letter in files for design variance approval) your request has been approved.

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c. Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

November 17, 2009

Nilo Salgado Fernandez, Senior Traffic Engineer
City of Albuquerque Planning Department
Development & Building Services Division
600 Second St. NW
Albuquerque, NM 87102

Re: Thomas Bell Community Center Gym Addition Request for Permanent Certificate of Occupancy

Dear Nilo,

Please accept this letter in request of a Permanent Certificate of Occupancy for the above referenced project. The project meets substantial compliance.

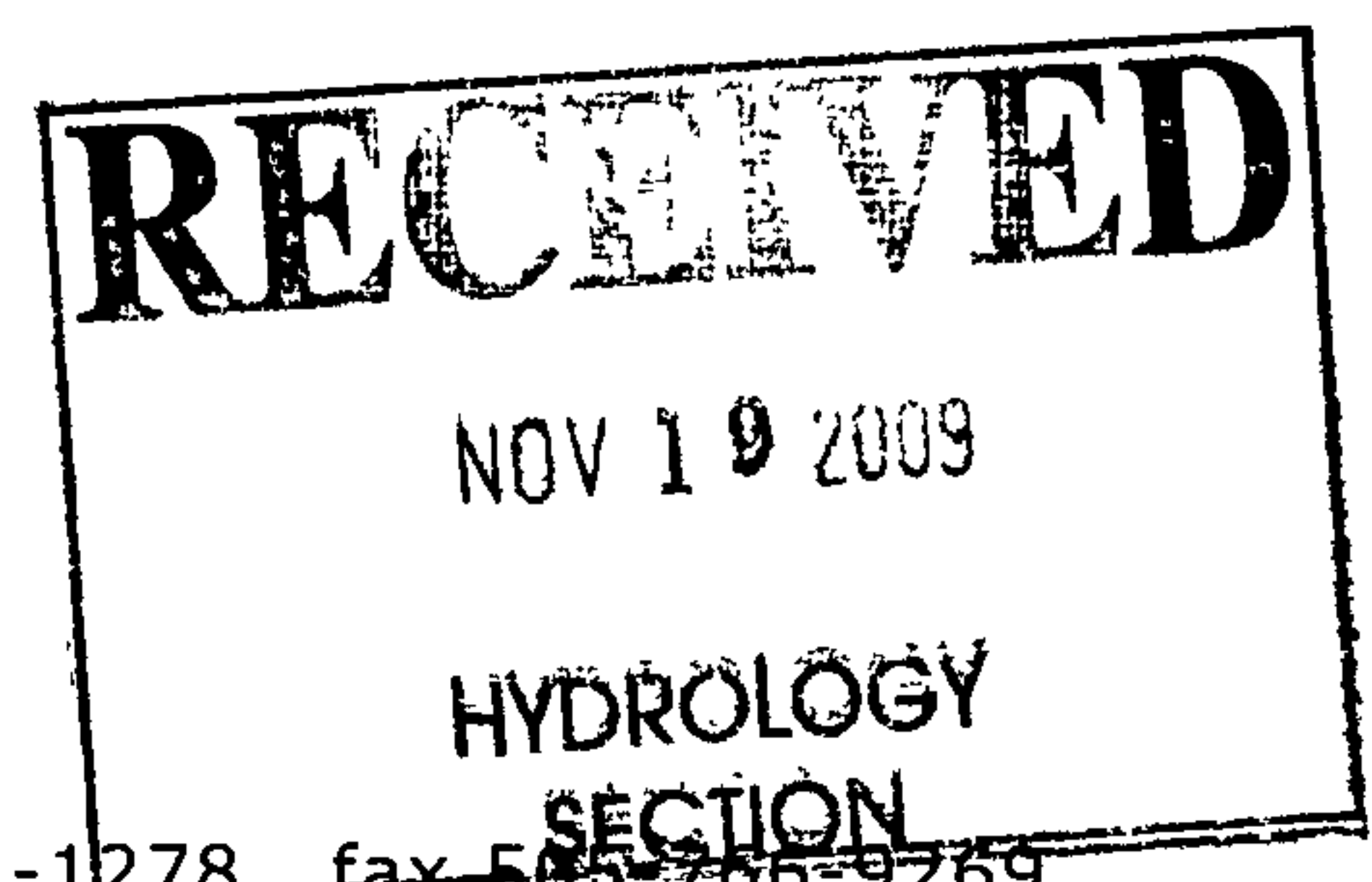
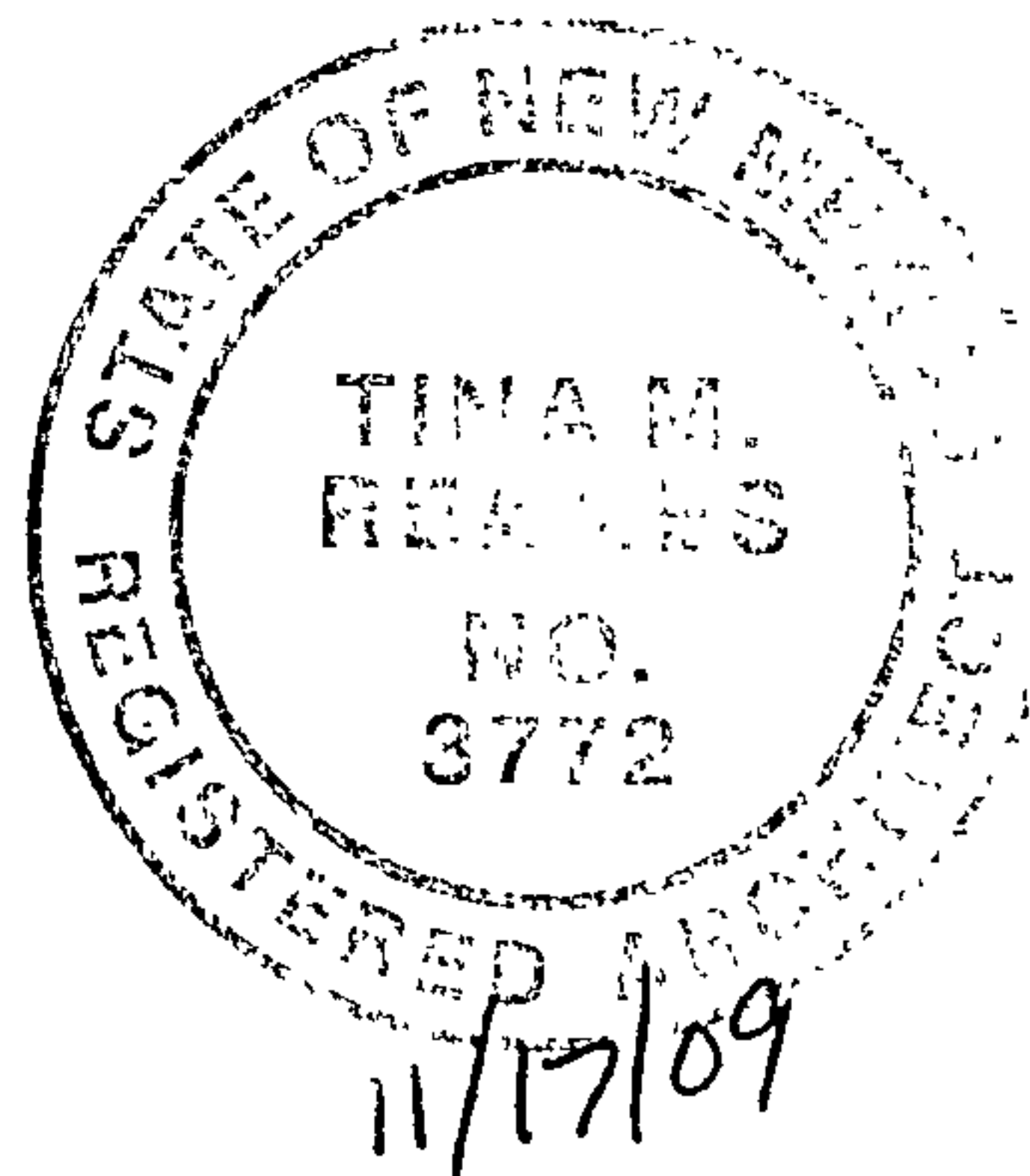
The items listed in the letter of August 5, 2009 have been addressed in a satisfactory manner. The as-built survey has been completed and Hydrology has submitted an approval letter, dated October 7, 2009, see attached. The City is still adding scope to the project, but this will not affect the Certificate of Occupancy for the work completed according to the contract documents. A final inspection was made of the landscape and irrigation. We are scheduling one final training session with Parks for completion next week.

Thank you for your help in this matter.

Sincerely,



Tina M. Reames, AIA, LEED AP
Partner



August 10, 2009

Ms. Annette Montoya, Project Manager, Department of Municipal Development,
City of Albuquerque, P.O. Box 1293, Albuquerque, New Mexico 87102

Re: Thomas Bell Community Center Grades at Handicap Parking

Dear Annette,

As discussed on site, Friday, August 7, 2009, with City Architect, Stephen James and yourself, the City will accept the handicap parking lot grading as completed. The architect, civil engineer and contractor have done due diligence in meeting the intent of the contract documents given the existing conditions. As mentioned in our previous letter of June 26, 2009, attached, the contractor lowered the grade as far as he could, without moving the existing utilities at great expense to the Owner and managed to meet the existing grades and flatten the parking to meet ADA in some, but not all areas.

According to ADA Accessibility Guidelines Section 4.1.1 Application 5 General Exceptions a. "In new construction, a person or entity is not required to meet fully the requirements of these guidelines where that person or entity can demonstrate that it is structurally impracticable to do so. Full compliance will be considered structurally impracticable only in those rare circumstances when the unique characteristics of terrain prevent the incorporation of accessibility features. If full compliance with the requirements of these guidelines is structurally impracticable, a person or entity shall comply with the requirements to the extent it is not structurally impracticable. Any portion of the building or facility which can be made accessible shall comply to the extent that it is not structurally impracticable."

We feel that the contractor has met the intent of the plans and without undue burden to the Owner, improved the existing condition in order to create the handicap parking. The new parking meets the existing walk and ramp which is an existing accessible route to the building entry.

If you concur, please sign below. We will issue an additional service request for High Mesa to perform the as-built survey and certification as required by Hydrology for Final Permanent Certificate of Occupancy. We have received a 90 day extension to the Temporary Certificate of Occupancy.

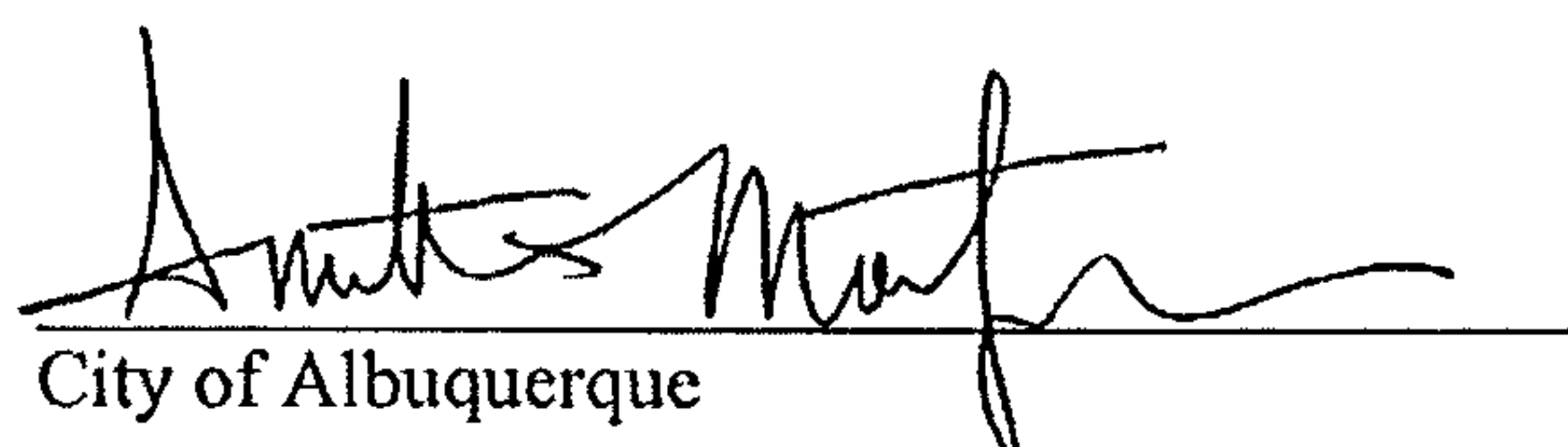
Thank you for your consideration.

Sincerely,



Tina M. Reames, AIA, LEED AP
Partner

Concur,


City of Albuquerque

Salgado-Fernandez, Nilo E.

From: Bartlett, Donald C.
Sent: Thursday, November 19, 2009 4:46 PM
To: Salgado-Fernandez, Nilo E.
Subject: RE: Grades Approval at Thomas Bell

Nilo:

It is unfortunate. The designer knew when laying out the parking on the drawings that the parking would not meet the slope needed for a safe access aisle. Now it is our problem. The first drawing is ok as far as I am concerned. The second drawing, where some slopes appear to approach the ADA maximum walking slope, will result in difficulties for some individuals while trying to get out of or into vehicles and will require physically demanding maneuvering to move from the access aisle to the sidewalk. The only saving grace is that the travel distance is only the length of the access aisle. So, is it ok? I suppose that we have no option. However, I feel that this could have been avoided.

Thanks for asking.

Don Bartlett

Risk Management

I am out of the office tomorrow, Nov 20, and all of next week. Happy holiday!

-----Original Message-----

From: Salgado-Fernandez, Nilo E.
Sent: Thursday, November 19, 2009 3:29 PM
To: Bartlett, Donald C.
Subject: FW: Grades Approval at Thomas Bell

Don, please read letter and let me know your concerns.
Nilo

-----Original Message-----

From: Tina Reames [mailto:tmreames@cherryseereames.com]
Sent: Thursday, November 19, 2009 2:40 PM
To: Salgado-Fernandez, Nilo E.
Subject: Grades Approval at Thomas Bell

Hi Nilo,
Here is the letter that we submitted.
Thank you,
Tina

--
Tina M. Reames, AIA, LEED AP

Cherry/See/Reames Architects, LLP
220 Gold Ave. SW
Albuquerque, NM 87102

ph 505-842-1278
fax 505-766-9269

Donald
Bartlett
768-4527

Salgado-Fernandez, Nilo E.

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Subject: Grades Approval at Thomas Bell

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Thank you,
Tina

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Tina M. Reames, AIA, LEED AP

Cherry/See/Reames Architects, LLP
220 Gold Ave. SW
Albuquerque, NM 87102

ph 505-842-1278
fax 505-766-9269

Cherry // See // Reames Architects LLP

June 26, 2009

Ms. Annette Montoya, Project Manager, Department of Municipal Development,
City of Albuquerque, P.O. Box 1293, Albuquerque, New Mexico 87102

Re: Thomas Bell Community Center Grades at Handicap Parking

Dear Annette,

As mentioned in the previous emails from Graeme Means, High Mesa Consulting Group, the grades at the handicap parking lots exceed the 2% slope required by ADA. As you will recall, the site is on a steep hill and the closest existing "level" parking was immediately to the east of front door. After the expansion of the facility, additional handicap parking spaces were required. We proposed using all the parking spaces to the east of the building for this purpose. The existing grades did not meet the 2% slope at that time. Our plans proposed regrading the parking lot and adjacent drive to meet the 2% requirement. During construction and the regrade, we discovered a buried gas line and telephone line preventing us from going the full depth required. The contractor lowered the grade as far as he could, without moving the utilities at great expense to the Owner and managed to meet the existing grades and flatten the parking to meet ADA in some, but not all areas. The steepest cross slope at the handicap parking is 4.8% in one area. See attached grades from the contractor.

We feel that the contractor has met the intent of the plans and without undue burden to the owner, improved the existing condition in order to create the handicap parking.

On a side note, the visitors to the community center appear to be ignoring the signs and parking wherever they want, i.e. in the handicap spaces, in the HOV spaces, along the curbside, etc...

Please let me know if you would like to have the contractor revise this finished condition to meet the 2% slope, but understand that any lowering of utilities will be Owner's added costs. Only the regrading, repaving and restriping will be the contractor's cost.

If the City will accept the site as is, we will issue an additional service request for High Mesa to perform the as-built survey and certification as required by Hydrology for Final Permanent Certificate of Occupancy. We will need a decision relatively quickly because the Temporary Certificate of Occupancy expires August 12, 2009.

Thank you for your consideration.

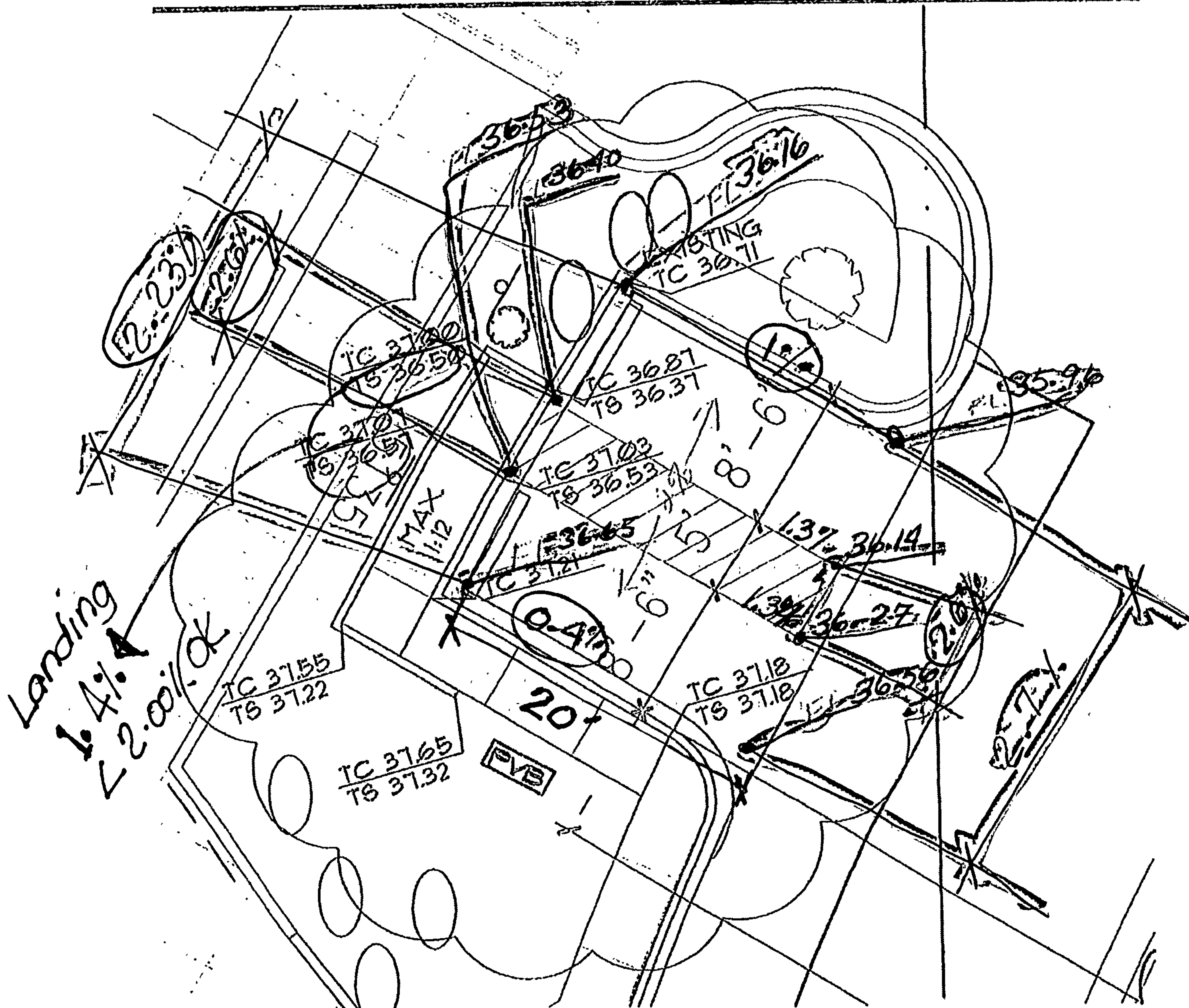
Sincerely,



Tina M. Reames

THOMAS BELL COMMUNITY CENTER GYMNASIUM ADDITION
Reference CI-103

ASI #23
SK #1



NOTE: THESE ARE REGULAR HANDICAP SPACES, PROVIDE APPROPRIATE SIGNAGE.

PARTIAL SITE PLAN

REFERENCE DWG CI-103

SCALE: 1/8" = 1'-0"

**CHERRY/SEE/REAMES
ARCHITECTS, LLP**

220 gold avenue n/ elbuquerque, nm 07102
505 • 042 • 1270 fax 505 • 766 • 9269

APRIL 27, 2009
PAGE 1 OF 2

Salgado-Fernandez, Nilo E.

From: Tina Reames [tmreames@cherryseereames.com]
Sent: Thursday, November 19, 2009 2:40 PM
To: Salgado-Fernandez, Nilo E.
Subject: Grades Approval at Thomas Bell

Attachments: Grades Approval.pdf



Grades
Approval.pdf (1 MB)

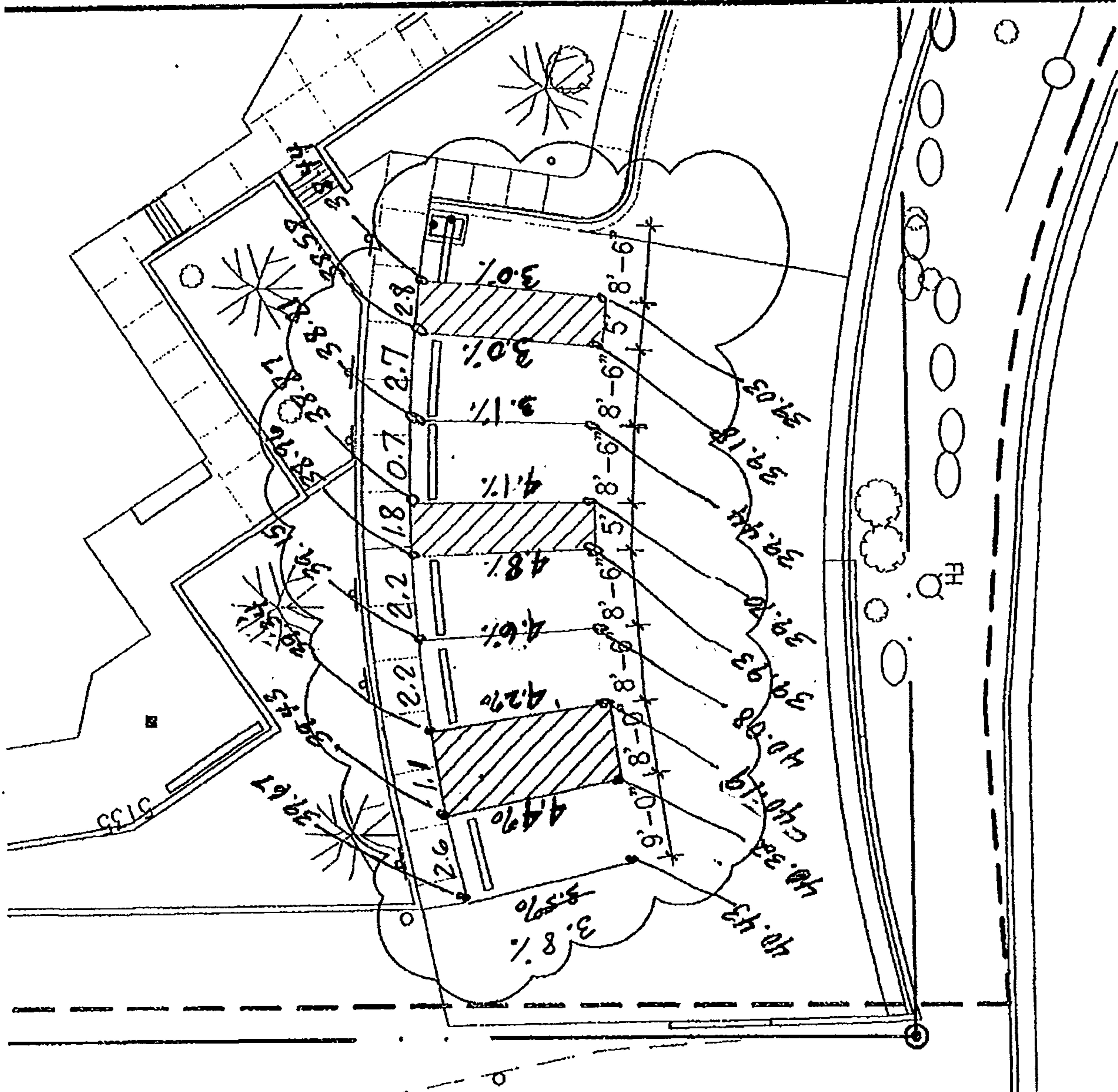
Hi Nilo,
Here is the letter that we submitted.
Thank you,
Tina

--

Tina M. Reames, AIA, LEED AP

Cherry/See/Reames Architects, LLP
220 Gold Ave. SW
Albuquerque, NM 87102

ph 505-842-1278
fax 505-766-9269



NOTE: HANDICAP PARKING SPACES ARE 8'-6" NOW INSTEAD OF 8'-0" AND VAN ACCESSIBLE SPACE IS 9'-0" WITH 8'-0" AISLE AT SOUTH END. COORDINATE APPROPRIATE SIGNAGE ACCORDING TO SPACES.

PARTIAL SITE PLAN

REFERENCE DWG CI-103

SCALE: 1/16" = 1'-0"

CHERRY/SEE/REAMES
ARCHITECTS, LLP

220 gold avenue sw albuquerque, nm 87102
505 • 842 • 1278 fax 505 • 766 • 9269

APRIL 27, 2009
PAGE 2 OF 2

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 5, 2009

Tina M. Reames, Registered Architect,
Cherry/See/ Reames Architecture LLP
220 Gold Avenue SW
Albuquerque, NM 87102

Re: Extension approval of Temporary Certificate of Occupancy (C.O.) for
Thomas Bell Community Center - Gymnasium, [M-15 / D030]
3001 University Blvd SE
Architect's Stamp Dated 05/12/09

Dear Mr. Reames:

Based on the information provided on your submittal dated August 5, 2009, the above referenced project is approved for a, second, 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding exterior items and landscaping issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

M-15/D030

cherry / seer / reames architects LLP

August 5, 2009

Nilo Salgado Fernandez, Senior Traffic Engineer
City of Albuquerque Planning Department
Development & Building Services Division
600 Second St. NW
Albuquerque, NM 87102

Re: Thomas Bell Community Center Gym Addition Request for Extension to Temporary Certificate of Occupancy

Dear Nilo,

Please accept this letter in request of a 60 day extension to the Temporary Certificate of Occupancy for the above referenced project. There are several reasons why we have not finished this project.

1. It has been brought to our attention that the new handicap parking spaces adjacent the building have a greater slope than is allowed by ADA. The site has been improved from the existing conditions, but cannot meet the ADA 2% slope requirement. We are in the process of asking for an exception and approval from the City. The as-built slopes range from 2% - 4.8%. There are existing utilities below grade that prevent us from regrading to meet the required slope.
2. The as-built survey has not been completed. An additional service request is needed to procure the services by High Mesa Consulting Group. Also, the exception or approval is needed to ensure that the site will not be regraded.
3. The City is still adding scope to the project and there is still work to be done (upgrades to landscape, irrigation and mechanical systems of the existing building).
4. Parks has not taken Final Acceptance of the irrigation system. We are still waiting to schedule the final inspection.

Thank you for your help in this matter.

Sincerely,



Tina M. Reames, AIA, LEED AP
Partner

Salgado-Fernandez, Nilo E.

From: Tina Reames [tmreames@cherrysee.com]
Sent: Wednesday, August 05, 2009 2:17 PM
To: Salgado-Fernandez, Nilo E.
Cc: Lawrence Trujillo; samLCS@comcast.net; Alyson Reece; Montoya, Annette F.; Graeme Means
Subject: Extension for Temporary Certificate of Occupancy for Thomas Bell Gym Addition
Attachments: 20090805141406974.pdf



2009080514140697

4.pdf (312 KB)...

Hi Nilo,

Please see the attached letter regarding the extension request.
If this is acceptable, please send the necessary paperwork for the extension.

Thank you.

Tina

--

Tina M. Reames, AIA, LEED AP

Cherry/See/Reames Architects, LLP
220 Gold Ave. SW
Albuquerque, NM 87102

ph 505-842-1278
fax 505-766-9269

M-15/D030

c h e r r y / s e e / r e a m e s a r c h i t e c t s L L P

August 5, 2009

Longhorn Construction Services, Inc.
Attn: Lawrence Trujillo
9208 Lona Lane NE
Albuquerque, NM 87111

Re: Thomas Bell Community Center Gym Addition – Request for Extension to Temp CO

Dear Lawrence,

We need more time regarding the final grading certification and acceptance of the as-built grades. We are requesting 30-60 days extension for the temporary Certificate of Occupancy for the project. I understand the current temporary CO will expire August 12, 2009.

Let me know if you need anything else in order to request this extension.

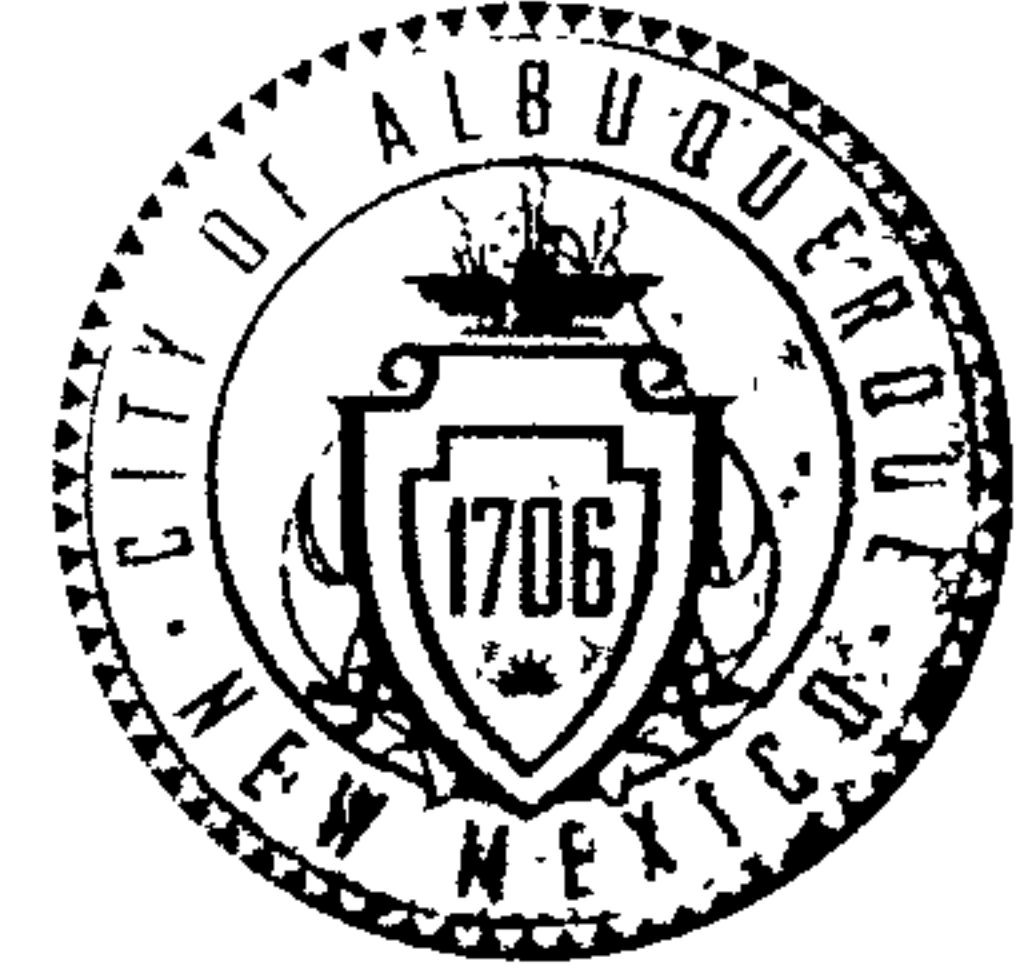
Thank you very much,



Tina M. Reames, AIA, LEED AP
Partner

8/5/09 11:40
Waiting on a
modified letter
for Temp. CO.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 12, 2009

Tina M. Reames, Registered Architect,
Cherry/See/ Reames Architecture LLP
220 Gold Avenue SW
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Thomas Bell Community Center - Gymnasium, [M-15 / D030]
3001 University Blvd SE
Architect's Stamp Dated 05/12/09

Dear Mr. Reames:

Based on the information provided on your submittal dated May 12, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding exterior items and landscaping issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

TRAFFIC CERTIFICATION

for

Thomas Bell Community Center – Gymnasium
City of Albuquerque Project No. 7841.02

I, Tina Reames, AIA, of the firm Cherry/See/Reames Architects, LLP, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL Approved plan dated March 12, 2008. The record information edited onto the original design document has been obtained by Tina Reames of the firm Cherry/See/Reames Architects, LLP. I further certify that I have personally visited the project site on May 8, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

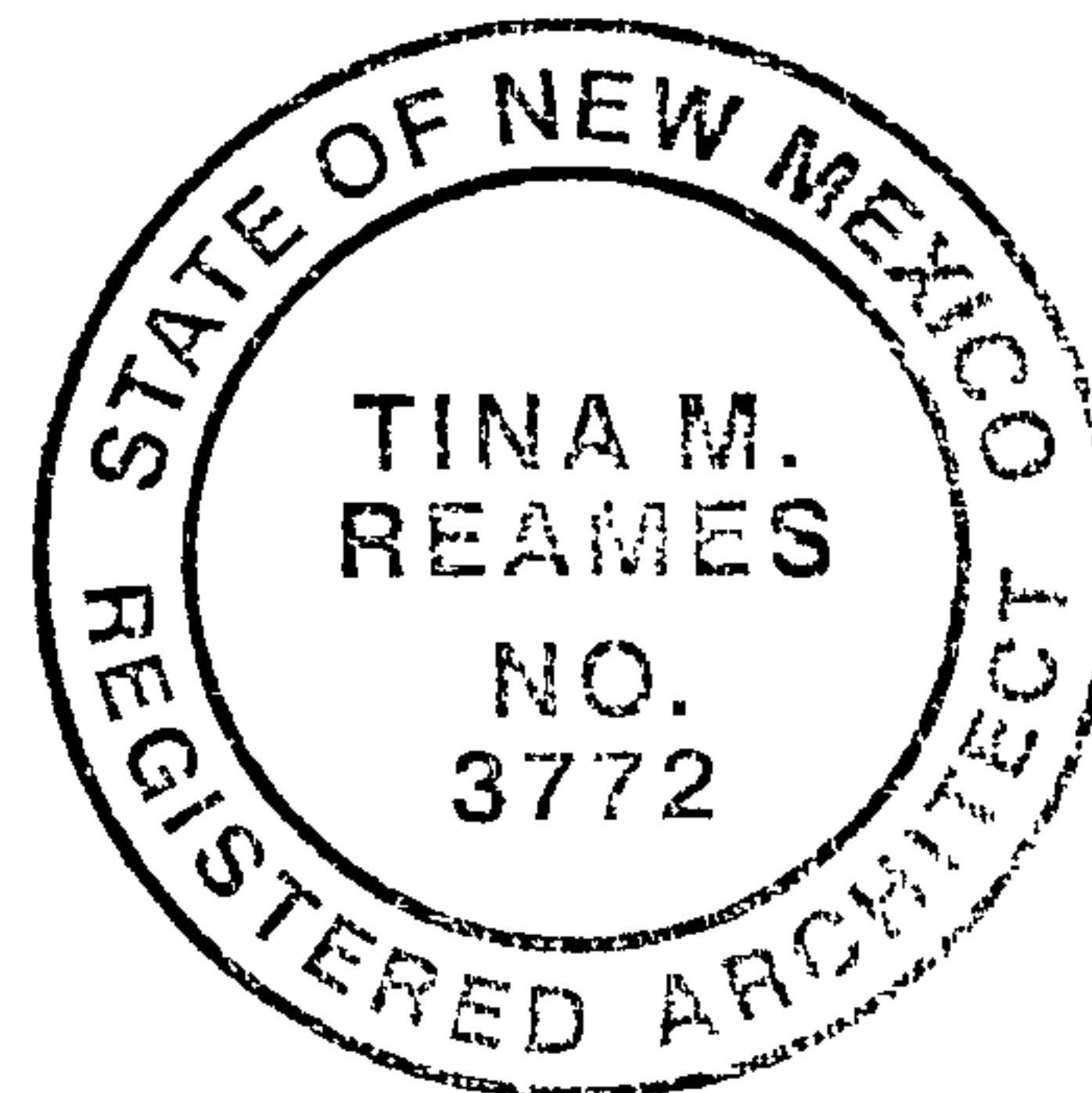
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Tina M. Reames, AIA, LEED AP
Partner

5/12/09

Date



5-14-09

OK for Verbal

Temp Co based

on site visit.

CC

Sims, Timothy E.

M-15 DO 30

From: Graeme Means [GMeans@highmesacg.com]
Sent: Wednesday, August 05, 2009 1:32 PM
To: Sims, Timothy E.
Cc: Cherne, Curtis
Subject: FW: Extension letter for Hydrology for Tom Bell

~~###~~
~~###~~

Hi Tim,

I returned your call about Thomas Bell. I remember working with Brad and Curtis when they needed a temp CO to get the Community Center Open for a Grand Opening Ceremony, yet they were not done with site grading and landscaping to the point where we could do a survey. I walked the site at that time and Curtis also went out on short notice and authorized the temp.

I'm sure he saw what I saw in that the site was not yet cleaned out, but nothing seemed amiss regarding drainage. They do have some H/C parking spaces that are obviously too steep and are trying to determine if they can get a variance to avoid tearing out a good chunk of pavement and regrading which would trigger utility relocations. We have been waiting for a determination on whether they will be redoing the parking or not. They don't want to authorize us going out to do our as-built survey if it's going to change and we'll have to go back out again.

As such, they are requesting an extension. I am still not under contract and have not been out there recently. I suspect there's no harm in extending their temp while they determine if they are going to re-do the parking lot. Once they do, they will hire us to do our as-built survey, evaluate, and certify as appropriate.

Please let me know if an extension can be granted given these circumstances.

Graeme Means

-----Original Message-----

From: Tina Reames [mailto:tmreames@cherrysee.com]
Sent: Wednesday, August 05, 2009 11:52 AM
To: Graeme Means
Cc: Alyson Reece
Subject: Extension letter for Hydrology for Tom Bell

Hi Graeme,

Because we haven't been able to get resolution on this grading certification, the temporary CO is expiring on Aug. 12th, so we're asking for a 60 day extension.

Can you please write a letter to Tim Sims at tsims@cabq.gov requesting this?

Yes - Verbal
60-DAY temp.

Cherne, Curtis

From: Graeme Means [GMeans@highmesacg.com]
Sent: Wednesday, May 13, 2009 5:00 PM
To: Cherne, Curtis
Cc: Tina Reames; bbingham@cabq.cov
Subject: RE: Thomas Bell Community Center 3001 University SE - Recommendation for Temp C.O. (Hydrology File M15/D30)

Curtis,

As just discussed, see below regarding Thomas Bell Community Center. The contractor is Longhorn Construction and they plan to have a "Grand Opening" this Saturday. Any help you can be in getting a temp CO would be much appreciated by all. Please let me know if you have any questions. I'll be in Ruidoso tomorrow, ut you can call me on my cell at 328-9064.

Thanks,

Graeme

From: Graeme Means
Sent: Tue 5/12/2009 7:50 AM
To: 'Bingham, Brad L.'
Cc: 'Tina Reames'
Subject: Thomas Bell Community Center 3001 University SE - Recommendation for Temp C.O. (Hydrology File M15/D30)

Brad,

I visited the subject site on Saturday. The "hard" construction is complete and the contractor is working on the landscaping / fine tuning on the "soft" areas. I have received a plan showing "as-built" elevations from the contractor. Based on everything I've seen, the site appears to have been graded and will drain in accordance with the approved plan.

As such, we request that you issue Hydrology approval for a temporary Certificate of Occupancy with the conditions that 1) the finished grading and landscaping be completed, and 2) that an Engineer's Certification including certified as-constructed grades be provided in accordance with DPM standards.

Please let me know if you have any questions or comments.

**HIGH
MESA Consulting Group**

J. Graeme Means, P.E.
Principal

6010-B Midway Park Blvd. NE
Albuquerque, NM 87110
www.highmesacg.com






Phone: 505.345.4250
Fax: 505.345.4254
gmeans@highmesacg.com

5/14/2009

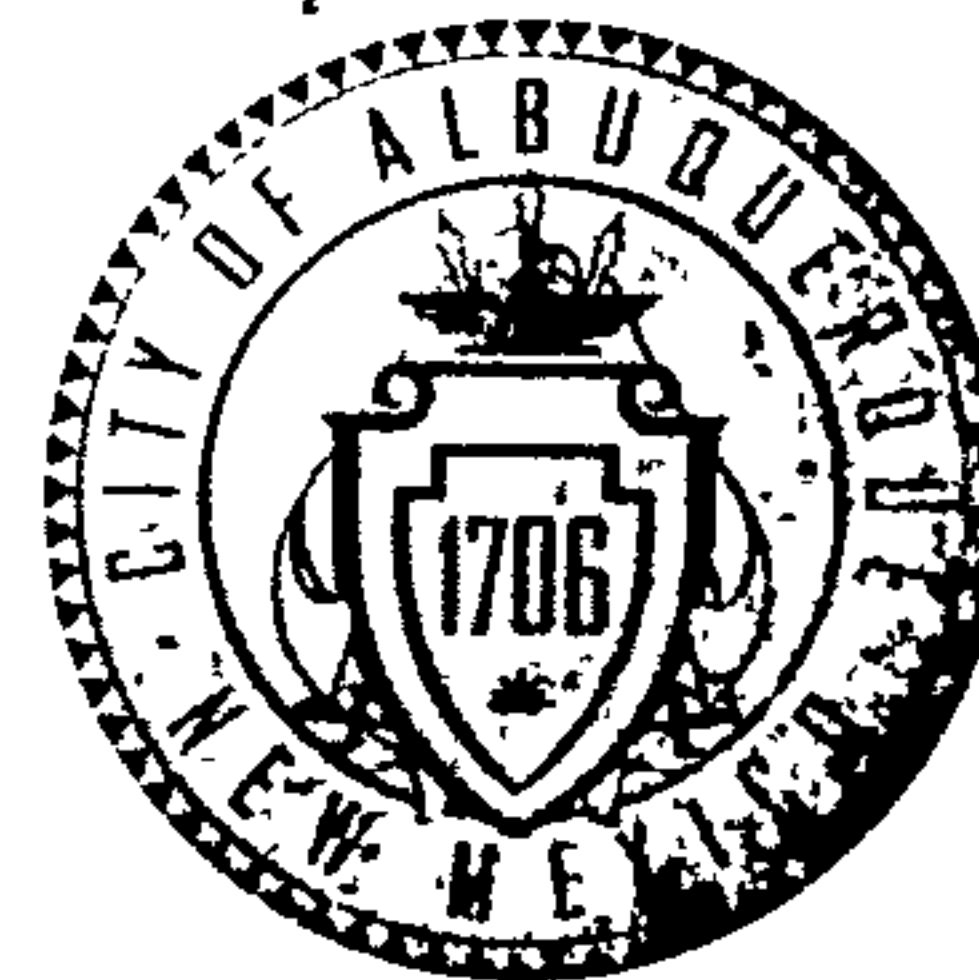
Refresh Map

☒ Auto Refresh

Help:

-  Closed group, click to open.
-  Open group, click to close.
-  Map layer.
-  Hidden group/layer, click for visible.
-  Visible group/layer, click to hide.

CITY OF ALBUQUERQUE



October 7, 2009

J. Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Thomas Bell Community Center Gymnasium Addition, 3001 University
Blvd SE, Approval of Permanent Certificate of Occupancy, (M-15/D030)**

Engineer's Stamp Date: 03-05-08

Certification Stamp Date: 10-05-09

Dear Mr. Means,

PO Box 1293

Based upon your submittal received 10/06/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,


Timothy E. Sims

www.cabq.gov

Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Thomas Bell Community Center Gymnasium Addition ZONE MAP: M-15/D30
 DRB#: _____ EPC#: _____ WORK ORDER#: 784102

LEGAL DESCRIPTION: A Portion of Kirtland Park, Unit 3

CITY ADDRESS: 3001 University Blvd SE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: City of Albuquerque CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Cherry See Reames CONTACT: Tina Reames
 ADDRESS: 220-A Gold SW PHONE: 505-842-1278
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYING FIRM: High Mesa Consulting Group LICENSED SURVEYOR: Chuck Cala, #11184
 ADDRESS: 6010-B Midway park Blve NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Longhorn Construction CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT
 ____ ENGINEER'S CERT (TCL)
 ____ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ OTHER SO#19 APPROVAL
 ____ OTHER

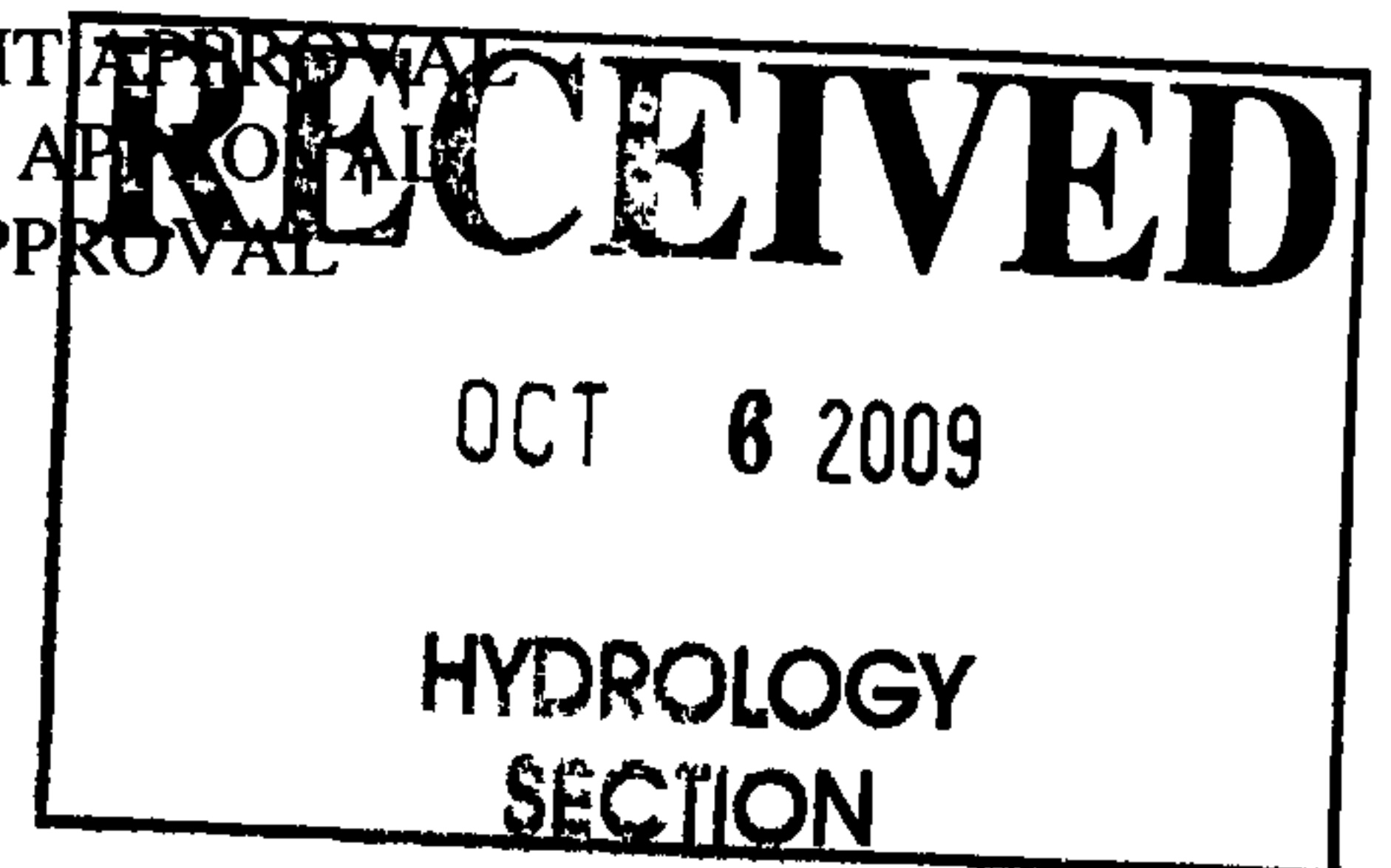
WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
 ____ COPY PROVIDED

DATE SUBMITTED: 10/6/09 BY: J. Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





August 10, 2009

Ms. Annette Montoya, Project Manager, Department of Municipal Development,
City of Albuquerque, P.O. Box 1293, Albuquerque, New Mexico 87102

Re: Thomas Bell Community Center Grades at Handicap Parking

Dear Annette,

As discussed on site, Friday, August 7, 2009, with City Architect, Stephen James and yourself, the City will accept the handicap parking lot grading as completed. The architect, civil engineer and contractor have done due diligence in meeting the intent of the contract documents given the existing conditions. As mentioned in our previous letter of June 26, 2009, attached, the contractor lowered the grade as far as he could, without moving the existing utilities at great expense to the Owner and managed to meet the existing grades and flatten the parking to meet ADA in some, but not all areas.

According to ADA Accessibility Guidelines Section 4.1.1 Application 5 General Exceptions a. "In new construction, a person or entity is not required to meet fully the requirements of these guidelines where that person or entity can demonstrate that it is structurally impracticable to do so. Full compliance will be considered structurally impracticable only in those rare circumstances when the unique characteristics of terrain prevent the incorporation of accessibility features. If full compliance with the requirements of these guidelines is structurally impracticable, a person or entity shall comply with the requirements to the extent it is not structurally impracticable. Any portion of the building or facility which can be made accessible shall comply to the extent that it is not structurally impracticable."

We feel that the contractor has met the intent of the plans and without undue burden to the Owner, improved the existing condition in order to create the handicap parking. The new parking meets the existing walk and ramp which is an existing accessible route to the building entry.

If you concur, please sign below. We will issue an additional service request for High Mesa to perform the as-built survey and certification as required by Hydrology for Final Permanent Certificate of Occupancy. We have received a 90 day extension to the Temporary Certificate of Occupancy.

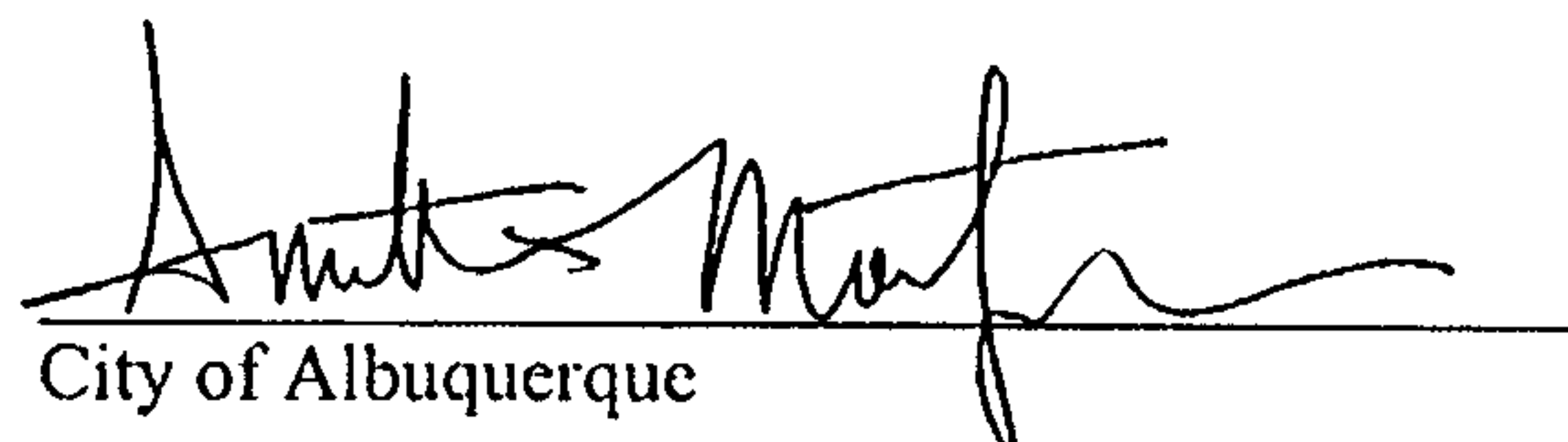
Thank you for your consideration.

Sincerely,



Tina M. Reames, AIA, LEED AP
Partner

Concur,


City of Albuquerque

C H E R R Y // S E E // R E A M E S A R C H I T E C T S L L P

June 26, 2009

Ms. Annette Montoya, Project Manager, Department of Municipal Development,
City of Albuquerque, P.O. Box 1293, Albuquerque, New Mexico 87102

Re: Thomas Bell Community Center Grades at Handicap Parking

Dear Annette,

As mentioned in the previous emails from Graeme Means, High Mesa Consulting Group, the grades at the handicap parking lots exceed the 2% slope required by ADA. As you will recall, the site is on a steep hill and the closest existing "level" parking was immediately to the east of front door. After the expansion of the facility, additional handicap parking spaces were required. We proposed using all the parking spaces to the east of the building for this purpose. The existing grades did not meet the 2% slope at that time. Our plans proposed regrading the parking lot and adjacent drive to meet the 2% requirement. During construction and the regrade, we discovered a buried gas line and telephone line preventing us from going the full depth required. The contractor lowered the grade as far as he could, without moving the utilities at great expense to the Owner and managed to meet the existing grades and flatten the parking to meet ADA in some, but not all areas. The steepest cross slope at the handicap parking is 4.8% in one area. See attached grades from the contractor.

We feel that the contractor has met the intent of the plans and without undue burden to the owner, improved the existing condition in order to create the handicap parking.

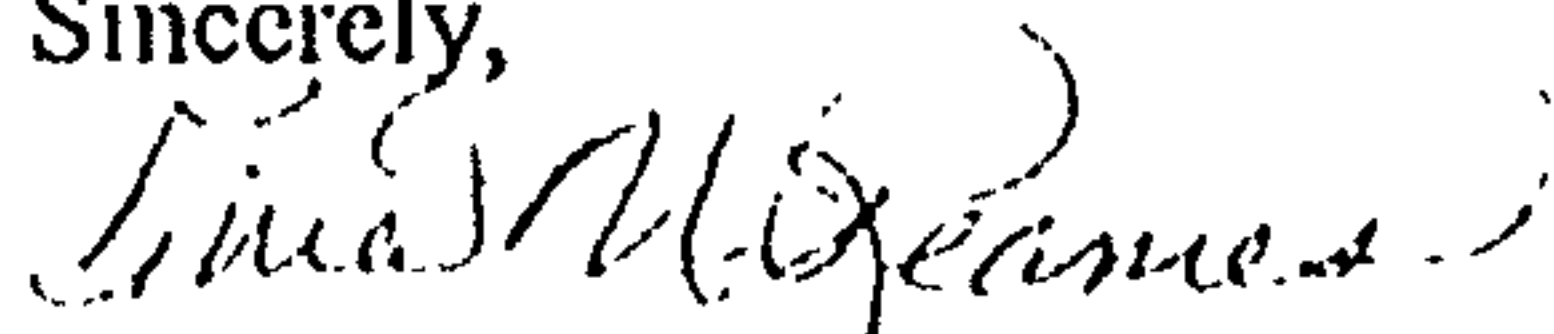
On a side note, the visitors to the community center appear to be ignoring the signs and parking wherever they want, i.e. in the handicap spaces, in the HOV spaces, along the curbside, etc...

Please let me know if you would like to have the contractor revise this finished condition to meet the 2% slope, but understand that any lowering of utilities will be Owner's added costs. Only the regrading, repaving and restriping will be the contractor's cost.

If the City will accept the site as is, we will issue an additional service request for High Mesa to perform the as-built survey and certification as required by Hydrology for Final Permanent Certificate of Occupancy. We will need a decision relatively quickly because the Temporary Certificate of Occupancy expires August 12, 2009.

Thank you for your consideration.

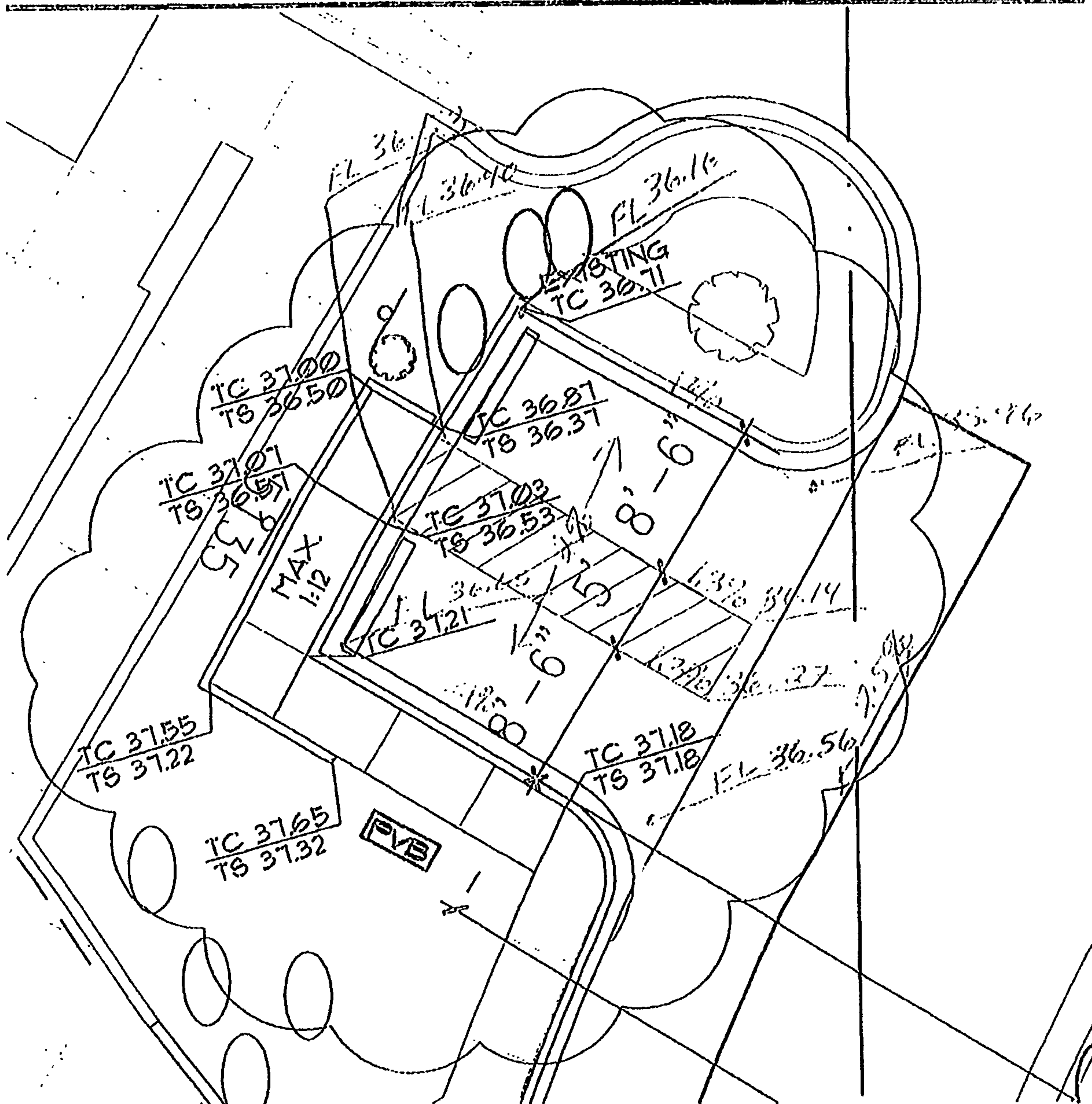
Sincerely,



Tina M. Reames

THOMAS BILL COMMUNITY CENTER GYMNASIUM ADDITION
Reference CI-103

ASI #23
SK #1



NOTE: THESE ARE REGULAR HANDICAP SPACES, PROVIDE APPROPRIATE SIGNAGE.

PARTIAL SITE PLAN

REFERENCE DWG CI-103

SCALE: 1/8" = 1'-0"

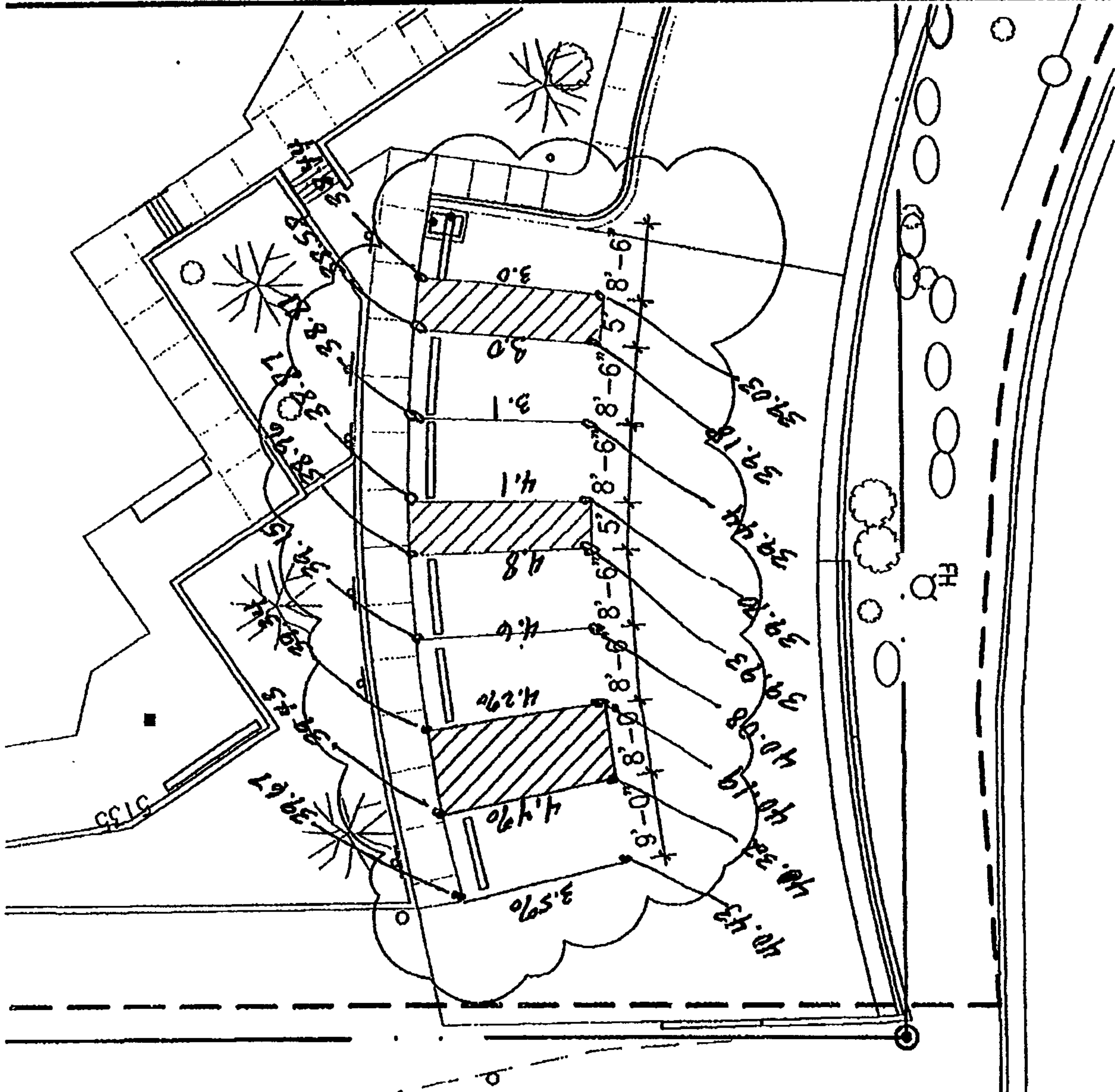
CHERRY/SEE/REAMES
ARCHITECTS, LLP

220 GOLD AVENUE NW, SUITE 200, NW 07072
503 - 042 - 1270 fax 503 - 766 - 9269

APRIL 27, 2009
PAGE 1 OF 2

THOMAS BELL COMMUNITY CENTER GYMNASIUM ADDITION
Reference CI-103

ASI #23
SK #2



NOTE: HANDICAP PARKING SPACES ARE 8'-6" NOW INSTEAD OF 8'-0" AND VAN ACCESSIBLE SPACE IS 9'-0" WITH 8'-0" AISLE AT SOUTH END. COORDINATE APPROPRIATE SIGNAGE ACCORDING TO SPACES.

PARTIAL SITE PLAN

REFERENCE DWG CI-103

SCALE: 1/16" = 1'-0"

CHERRY/SEE/REAMES
ARCHITECTS, LLP

220 gold avenue sw albuquerque, nm 87102
505 • 842 • 1270 fax 505 • 766 • 9269

APRIL 27, 2009
PAGE 2 OF 2

CITY OF ALBUQUERQUE



March 24, 2008

Graeme Means, PE
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Thomas Bell Comm. Center Grading and Drainage Plan
Engineer's Stamp dated 3-17-08 (M15/D30)

Dear Mr. Means,

Based upon the information provided in your submittal dated 3-17-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Annette Montoya, CIP
file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

GREEN

PROJECT TITLE: Thomas Bell Community Center ZONE ATLAS/DRNG. FILE #: M-15/D30
 DRB #: _____ EPC #: _____ WORK ORDER #: 7841.01

LEGAL DESCRIPTION: A Portion of Kirtland Park, Unit 3
 CITY ADDRESS: 3001 University Blvd SE, Albuquerque NM 87106

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means, PE 13676
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: City of Albuquerque CONTACT: (see Architect)
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Cherry/See/Reames Architects CONTACT: Tina Reames
 ADDRESS: 220-A Gold SW PHONE: 505-842-1278
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: High Mesa Consulting Group CONTACT: Charles Cala, NMPS 11184
 ADDRESS: 6010-B Midway Park Blvd. NE PHONE: (505) 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

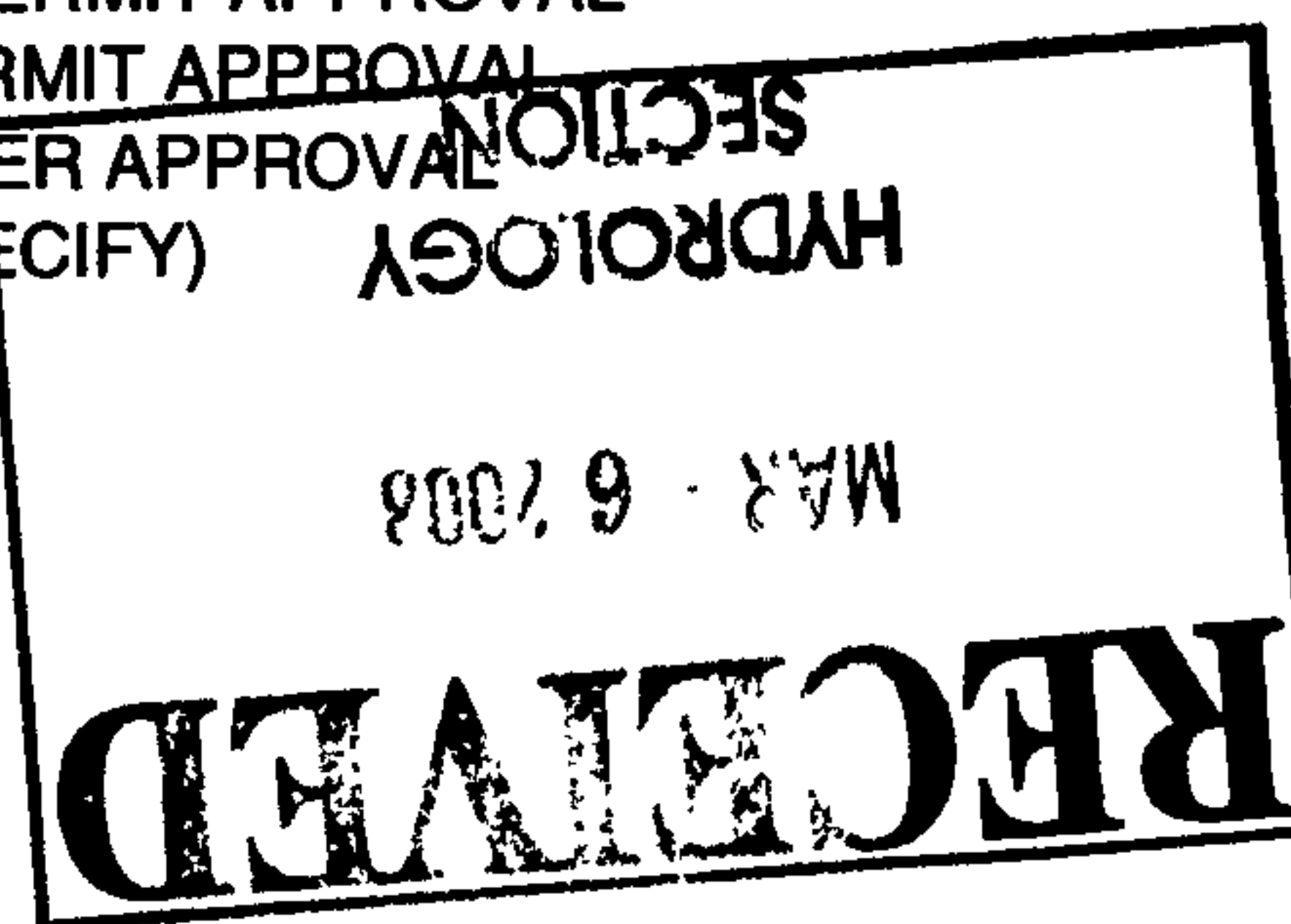
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03/05/08 BY: Justin Schara

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



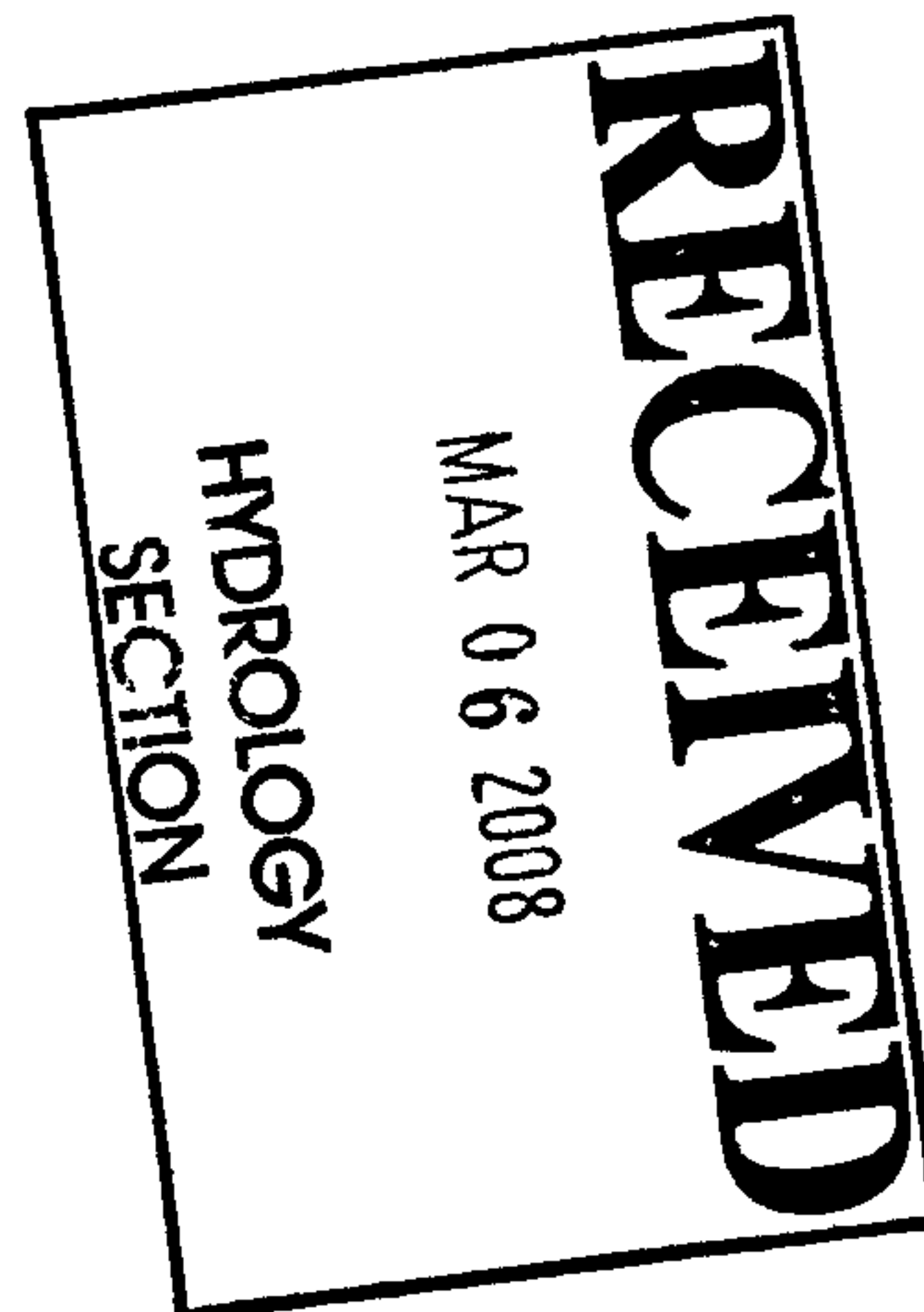
\$ 30.00

Worksheet Worksheet for Pressure Pipe

Project Description	
Worksheet	Pressure Pipe
Flow Element	Pressure Pipe
Method	Manning's Forr
Solve For	Discharge

Input Data	
Pressure at 1	2.34 psi
Pressure at 2	0.87 psi
Elevation at 1	83.41 ft
Elevation at 2	80.23 ft
Length	318.00 ft
Mannings Coeff	0.013
Diameter	18 in

Results	
Discharge	15.10 cfs
Headloss	6.57 ft
Energy Grade at	89.94 ft
Energy Grade at	83.37 ft
Hydraulic Grade	88.81 ft
Hydraulic Grade	82.24 ft
Flow Area	1.8 ft ²
Wetted Perimeter	4.71 ft
Velocity	8.54 ft/s
Velocity Head	1.13 ft
Friction Slope	0.020662 ft/ft



Flow Master 6.0 Calculations

Capacity = 9.8 pipe (manning)

Inlet Capacity 14.4 c.u. = 0.33 Can increase
 Inlet condition 15.7 Can increase

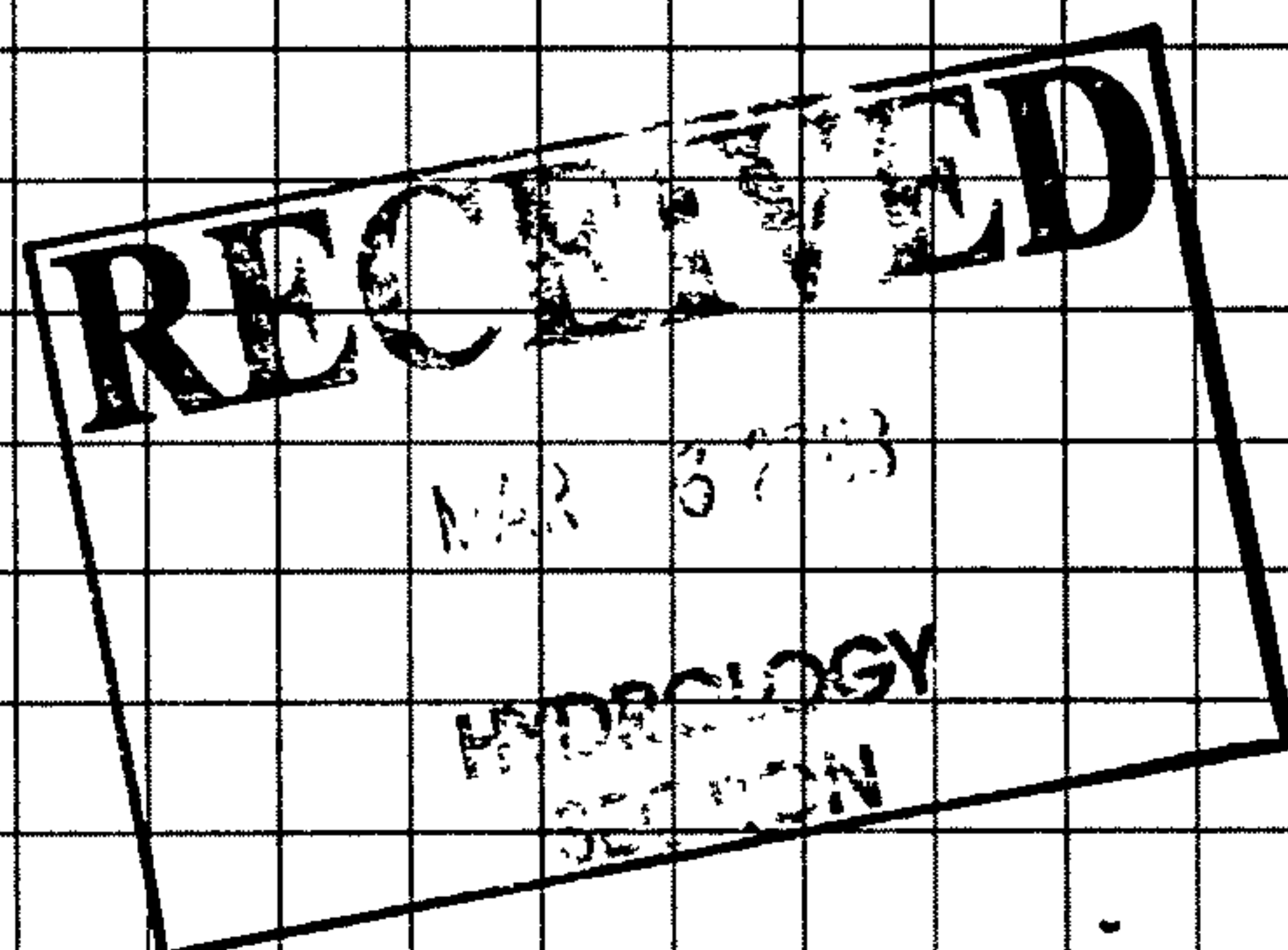
L = 318 ft

$\Delta H = 83.41 - 80.23 = 3.18$

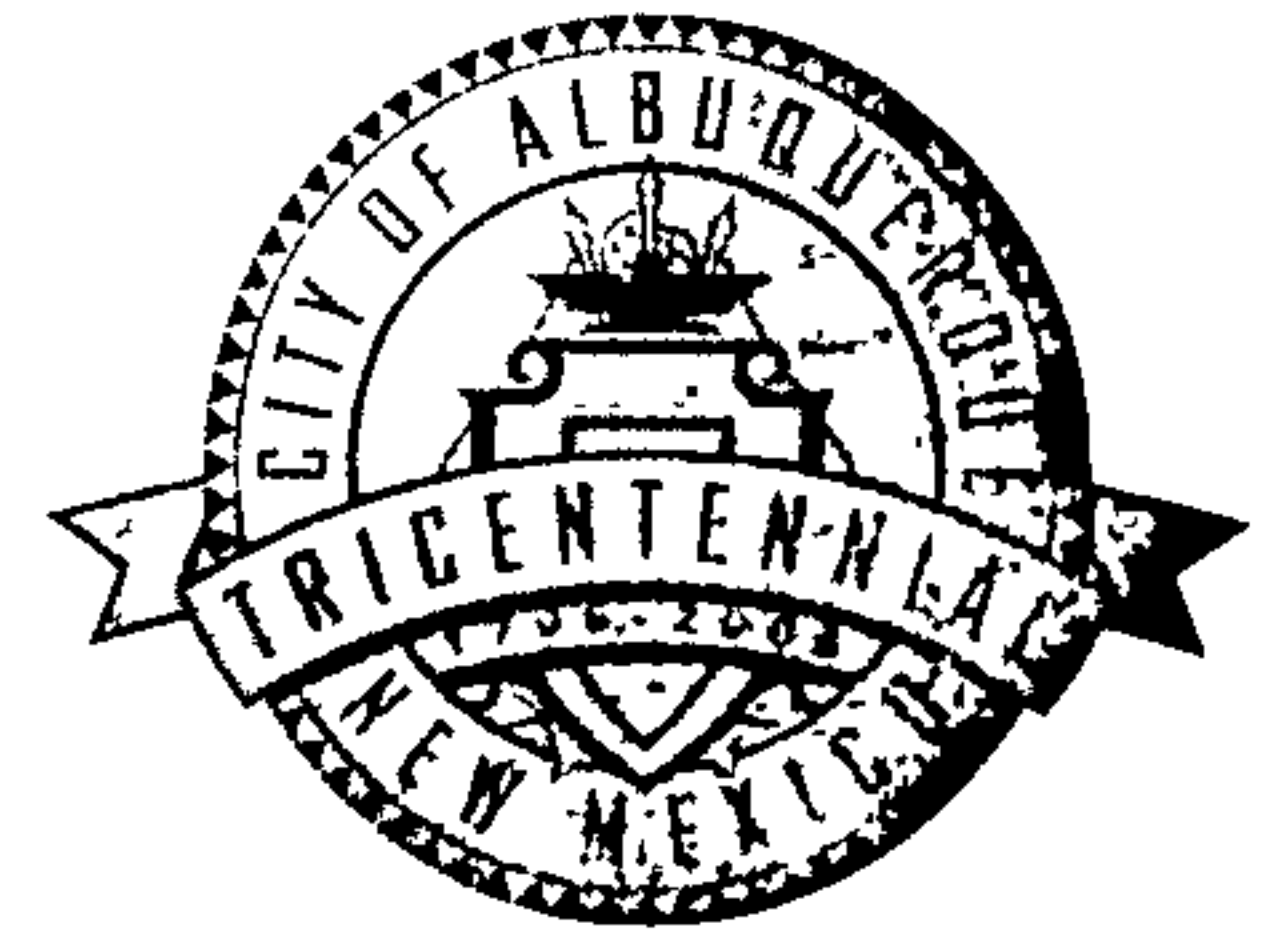
$P_1 = 88.8 - 83.41 = 5.39 \text{ ft} \quad 2.34 \text{ psi}$

$P_2 = 0$

Q = 17.25



CITY OF ALBUQUERQUE



March 12, 2008

Tina Reames, R.A.
Cherry / See / Reames Architects
220-A Gold Ave. SW
Albuquerque, NM 87102

Re: Thomas Bell Community Center, 3001 University Blvd SE , Traffic Circulation Layout
Architect's Stamp dated 3-12-08 (M15-D030)

Dear Ms. Reames,

The TCL submittal received 3-12-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

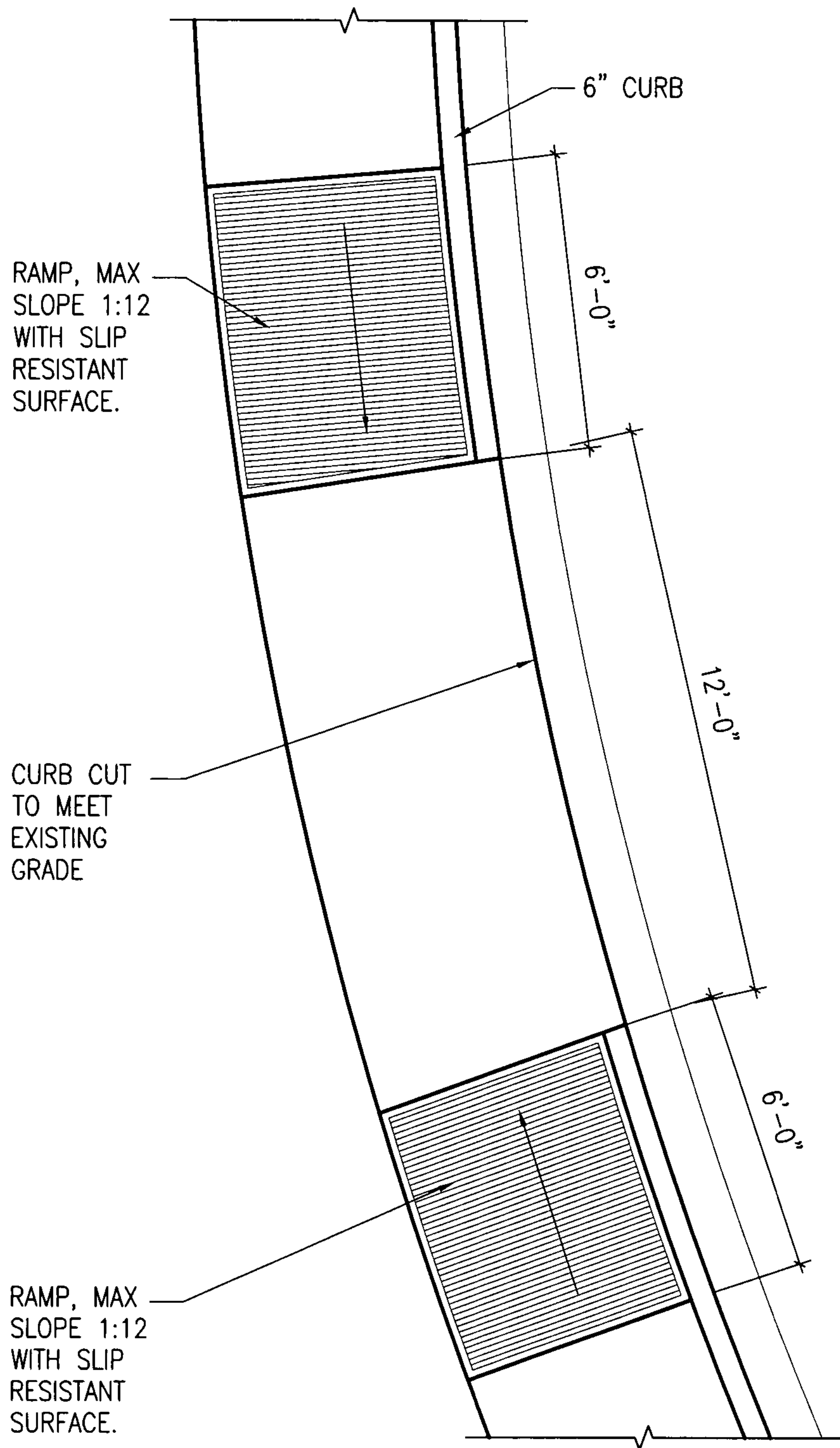
When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



C5
CI-201

RAMP DETAIL

SCALE: 1/4" = 1'-0"



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 28, 1994

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR KIRTLAND PARK PARKING LOT (M15-D30)
CERTIFICATION STATEMENT DATED 3/23/94.

Dear Mr. Mortensen:

Based on the information provided on your March 23, 1994 submittal, Engineer Certification for the above referenced site is acceptable.

Please be advised that any further development will constitute an upgrading of the existing storm sewer capacity.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8420

c: Andrew Garcia
Parks & Recreation, Thomas Bell Community Center
File

DRAINAGE INFORMATION SHEET

930193

PROJECT TITLE: KIRTLAND PARK ZONE ATLAS/DRNG. FILE #: M15/D30
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: KIRTLAND PARK / THOMAS BELL COMMUNITY CENTER
CITY ADDRESS: UNIVERSITY AVE. SE
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: C.O.A. CONTACT: _____
ADDRESS: _____ PHONE: _____
ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY PROVIDED

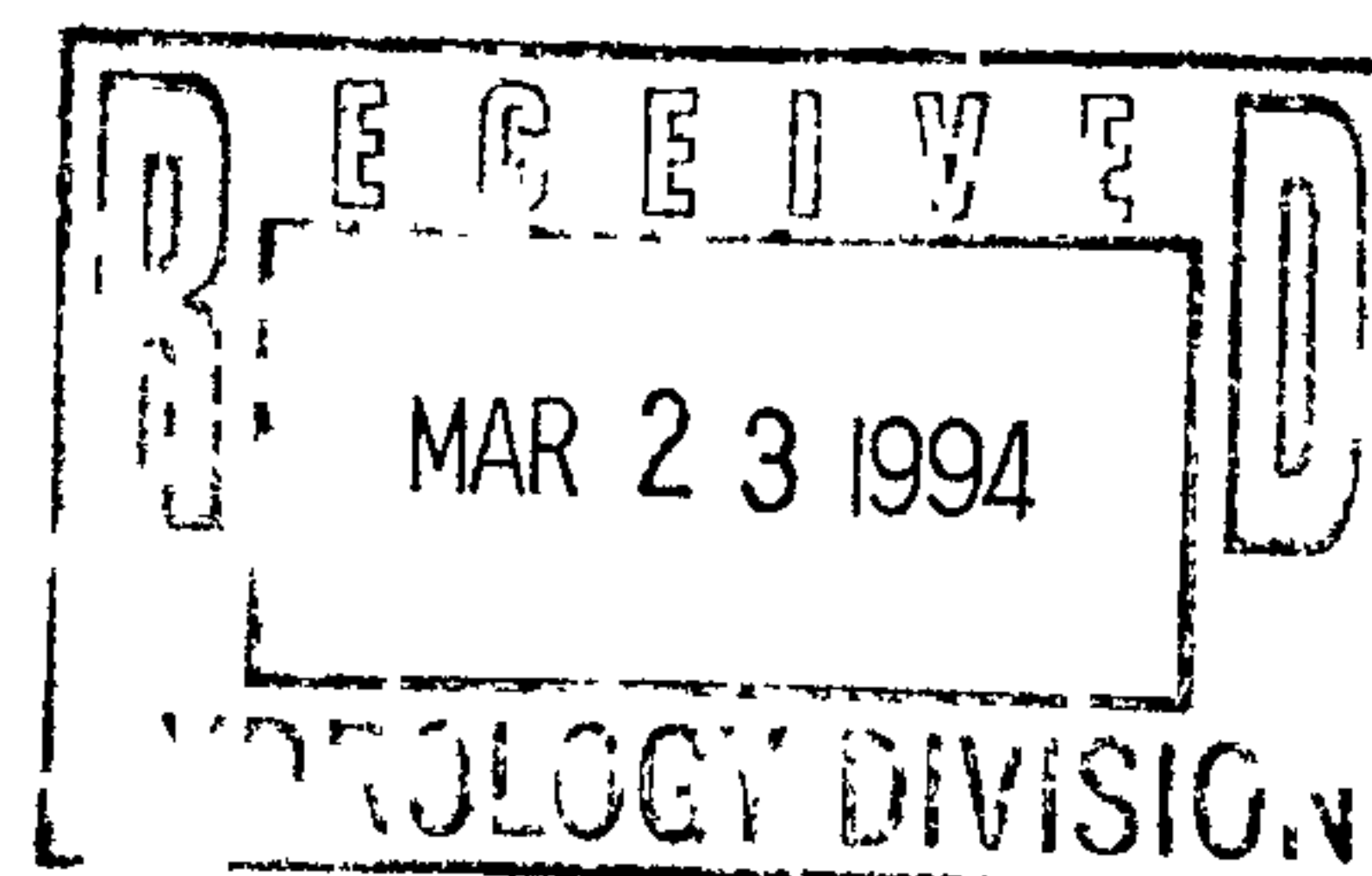
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

MARCH 23, 1994

BY:

GARY R. BITNER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 29, 1992

Fred Arfman
Isaacson & Arfman
128 Monroe Street NE
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR KIRTLAND PARK ACCESS ROAD (M-15/D30) PLAN DRAWING DATED
FEBRUARY 20, 1992 AND ADDITIONAL BACKUP INFORMATION DATED APRIL 3, 1992

Dear Mr. Arfman:

Based on the information provided on your February 26, 1992 and April 3, 1992
submittals, the above referenced site is approved for grading, paving and work
order.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

Bernie J. Montoya, CE
Engineering Assistant

BJM:jc
WP+3250

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND PK. ACCESS RD. ZONE ATLAS/DRNG. FILE #: M-15/d30

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: KIRTLAND PARK, KIRTLAND PARK ADDITION

CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED ARFMAN

ADDRESS: 128 MONROE ST. N.E. PHONE: 268-8828

OWNER: CITY OF ALBUQUERQUE CONTACT: PARKS & RECREATION

ADDRESS: P.O. Box 1293 PHONE: 857-8640

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: VIGIL ENGINEERING CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: CITY P.W.D. CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

☒ DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAINAGE PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

____ OTHER

PRE-DESIGN MEETING:

☒ YES

____ NO

☒ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

☒ GRADING PERMIT APPROVAL

☒ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

____ DRAINAGE REQUIREMENTS

☒ OTHER WORK ORDER (SPECIFY)

APR 3 1992

DATE SUBMITTED: FEB 10, 1992

BY: FRED C. ARFMAN, P.E.

FOR ISAACSON & ARFMAN, P.A.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-15 DATE: 10/02/91
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: Kirtland Park & Tom Bell Community Center
STREET ADDRESS: University Blvd & San Jose Av
LEGAL DESCRIPTION: Kirtland Park Addt.

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
X GRADING/PAVING PERMIT _____ OTHER _____

ATTENDANCE: WHO Fred Artman REPRESENTING Isaacson & Artman
Gilbert Aldaz C.O.A.

FINDINGS:

1. Proposing a Parking Lot & Access Road Into
Park Just South of Kirtland Channel.
2. It appears free discharge is appropriate
if flows can be routed to
Kirtland Channel.
3. It appears a storm drain is the
best solution with a run-down transition
into the top of channel, preferable
do not cut into channel → work order item
4. A drainage plan is required prior to
grading/paving

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature]
TITLE: C.O.A.
DATE: 10-02-91

SIGNED: [Signature]
TITLE: V.P.
DATE: 10-2-91

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

KIRTLAND PARK IMPROVEMENT

**ACCESS ROAD, PARKING LOT, AND
STORM DRAIN**

SUPPLEMENTAL SITE INFORMATION AND HYDROLOGICAL CALCULATIONS

FEBRUARY 1991

APR 3 1992

PREPARED BY:

**ISAACSON & ARFMAN, P.A.
128 MONROE STREET, NE
ALBUQUERQUE, NEW MEXICO**

GENERAL NOTES

LEGAL DESCRIPTION: Kirtland Park, Kirtland Park Addition, filed as SP-77-167.

ENGINEER: Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, NM 87108
Attn: Fred C. Arfman, P.E.

SURVEYOR: City of Albuquerque
City Surveyor, February 1988
and
Vigil Engineering, August 1991

BENCHMARK: AMAFCA brass tablet "SDC 12-1" located at the inlet works of the Kirtland Channel at the South Diversion Channel.
ELEV. = 5,047.30

TBM: A scribe on top of wall 4 feet (\pm) southeast of sprinkler control box south of Tom Bell Community Center.

ZONING: City Park

AREA: 2.74 acres (119,660 square feet) The southeasterly portion of the park only.

FLOOD HAZARD: No part of this portion of the park area nor any other portion is subject to a flood hazard area (exception being Kirtland Channel) as determined by Panel No. 350002-0035 of the October 14, 1983 edition of the FEMA maps and the subsequent revisions.

LOCATION & DESCRIPTION

The parcel is situated in the southeast quadrant of the park and includes the Tom Bell Community Center. The study area runs along the southerly property line of the park and abuts the vacated right-of-way of University Boulevard.

DRAINAGE CHARACTERISTICS:

EXISTING: The study area is bordered on the north by the existing curb faces of the north curb of vacated Bethel Avenue and the header curb of the existing dirt parking area. The easterly limits of the study area is the west curb of vacated

University Boulevard and as stated, the park's south boundary is the southerly limit and the west parking lot header curb defines the area's westerly limit.

The study area consists of a single on-site drainage basin. Only those minor off-site flows entering onto the parking lot are accepted by the basin. All other upland off-site flows are either accepted by old University Boulevard and diverted to the north and are eventually discharged into the Kirtland Channel, or are deflected to the south by existing off-site berms.

Presently, all storm waters generated from the site will overland flow with minor channelization against the existing curb & gutter, and travel across the park and eventually discharge into the Kirtland Channel.

HYDROLOGY:

EXISTING: The subject drainage basin is within the boundaries of Precipitation Zone No. 2 (east of Rio Grande and west of San Mateo Boulevard). As such, the P_{360} (6 hr.-100 yr. storm) has a depth of 2.35 inches.

The total drainage area (on- and off-site) consists of 3.06 acres of fully developed community center with associated paved parking and a semi-developed park area containing native grass cover and a dirt parking area with a dirt access road.

Peak Discharge (using a 10-minute time of concentration), cfs/Ac. 100 yr. Zone 2 (Table 9)

LAND TREATMENT	AREA (Ac.)	PEAK DISCHARGE (cfs./Ac.)
A	0.77	1.56
B	0.63	2.28
C	1.08	3.14
D	0.59	4.70

$$\begin{aligned} \text{Total } Q_p &= (1.56)(0.77) + (2.28)(0.63) + (3.14)(1.08) + (4.70)(0.59) \\ &= 8.8 \text{ cfs} \end{aligned}$$

Volume

$$\begin{aligned} \text{Weighted E} &= \frac{(0.53)(0.77) + (0.78)(0.63) + (1.13)(1.08) + (2.12)(0.59)}{0.77 + 0.63 + 1.08 + 0.59} \\ &= 1.10 \text{ inches} \end{aligned}$$

$$\text{Volume} = \frac{1.10}{12} (3.07)(43560) = 12,236 \text{ cu.ft.}$$

PROPOSED IMPROVEMENTS

The park improvements; access road, and parking lot define the dividing edge of the subject drainage basin with the remaining developed park. The subject drainage basin will have the developed storm water flow routed overland and by the new street flow to the catch basin along the westerly curb of the paved parking area. The surface hydrology is determined as follows:

Peak Discharge (using a 10-minute time of concentration), cfs/Ac. 100 yr. Zone 2 (Table 9)

LAND TREATMENT	AREA (Ac.)	PEAK DISCHARGE (cfs./Ac.)
A	0.75	1.56
B	0.87	2.28
C	0.10	3.14
D	1.35	4.70

$$\begin{aligned}\text{Total } Q_p &= (1.56)(0.75) + (2.28)(0.87) + (3.14)(0.10) + (4.70)(1.35) \\ &= 9.8 \text{ cfs}\end{aligned}$$

Volume

$$\begin{aligned}\text{Weighted E} &= \frac{(0.53)(0.75) + (0.78)(0.63) + (1.13)(0.10) + (2.12)(1.35)}{0.75 + 0.87 + 0.10 + 1.35} \\ &= 1.26 \text{ inches}\end{aligned}$$

$$\text{Volume} = \frac{1.26}{12} (3.07)(43560) = 14,042 \text{ cu.ft.}$$

STORM DRAIN ANALYSIS:

The proposed 18" diameter RCP storm drain and catch basin will accept and convey storm waters to the southerly edge of the concrete-lined Kirtland Channel. Since the storm drain outlet structure is designed above the existing top of channel elevation, no modifications to the channel are proposed.

CATCH BASIN:

From Plate 22.3 D-5 from the DPM using depth of flow above normal gutter grade equal to 0.5 feet and parking lot cross slope of 0.045 ft./ft. the Q allowable accepted into the grating is approximately 9.5 cfs. Additional capacity should be expected through the curb opening.

STORM DRAIN:

The 18" diameter RCP storm drain has the following hydraulic data:

Slope	=	2.29%
Length	=	315 ft.
n	=	0.014
Q_{100}	=	9.8 cfs
H_{ENT}	=	2.0

Using Manning formula for pipe flow, the flow characteristics were derived:

Q	=	13.5 cfs > 9.8	O.K.
V	=	2.1 FPS	
D_{ACT}	=	0.7 D = 14.70"	

SUMMARY

The additional impervious paving of the access road and the parking lot results in an increase of 1 cfs (8.8 vs. 9.8) in runoff rate and 1,806 cu.ft. (12,836 vs. 14,042) of increased storm water volume. These values represent respectively an 11% and 15% increase.

The proposed storm drain satisfies the requirements of a public system. It is not known if the drain will be maintained by Park Management or the Public Works Department. The storm drain outlet works do not require any modification to the existing concrete-lined channel.

In summary, the proposed improvements intercept the storm water flows generated from 3.07 acres of park and community center area and divert them directly to the Kirtland Channel via a 21" diameter storm drain. Without these improvements, those storm waters would overland flow to the northwest and eventually enter into the said channel or exit the park along the westerly property line.

Letter of Transmittal

To HYDROLOGY SECTION
PWD
CITY OF ALBUQUERQUE

Date 04-03-92
Job No. _____

Attn: BERNIE MONTOTA

Reference KIRTLAND PK. (M-15/D30)

Gentlemen:

We transmit to you 1 copy(ies) of the following

- | | |
|--|--|
| <input type="checkbox"/> _____ Plats | <input type="checkbox"/> Shop Drawings |
| <input type="checkbox"/> _____ Plans | <input type="checkbox"/> Submittals |
| <input type="checkbox"/> Specifications | <input type="checkbox"/> Material Specifications |
| <input checked="" type="checkbox"/> <u>SUPPLEMENTAL DR.</u> Report | <input type="checkbox"/> Copy of Letter |
| <input type="checkbox"/> _____ | |
| <input type="checkbox"/> _____ | |

This information is transmitted:

- | | |
|---|--|
| <input checked="" type="checkbox"/> As per your request | <input checked="" type="checkbox"/> For your files |
| <input type="checkbox"/> For your review & approval | <input type="checkbox"/> For your use |
| <input type="checkbox"/> For your information | <input type="checkbox"/> Please review & return |
| <input type="checkbox"/> For your attention | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature | <input type="checkbox"/> Please advise |
| <input type="checkbox"/> _____ | |
| <input type="checkbox"/> _____ | |

Remarks: IN RESPONSE TO YOUR MAR. 18, 1992 LETTER, COMMENT #2.

THE PARK IMPROVEMENTS CALL FOR COMPLETE TURF AND/OR
LANDSCAPING IMPROVEMENTS ALONG THE ENTIRE LENGTH OF
ROADWAY, ~~WHERE~~

By: FRED ARFMAN

Copies To _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1992

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR KIRTLAND PARK ACCESS ROAD
(M-15/D30) ENGINEER'S STAMP DATED FEBRUARY 20, 1992

Dear Mr. Arfman:

Based on the information provided on your submittal of February 26, 1992, I have no problem with the concept proposed. Prior to final work order approval, I will need the following:

1. Hydraulics for the proposed catch basin, line and outlet structure.
2. All sediment, if any, must be controlled prior to entering the proposed roadway. Asphalt curbs on both sides may be appropriate.
3. If what I am requiring above is part of the DRC package, please provide a copy with your resubmittal.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+3250)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: KIRTLAND PK. ACCESS RD. ZONE ATLAS/DRNG. FILE #: M-15/P30

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: KIRTLAND PARK, KIRTLAND PARK ADDITION

CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED ARFMAN

ADDRESS: 128 MONROE ST. N.E. PHONE: 268-8828

OWNER: CITY OF ALBUQUERQUE CONTACT: PARKS & RECREATION

ADDRESS: P.O. Box 1293 PHONE: 357-8640

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: VIGOR ENGINEERING CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: CITY P.W.D. CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☒ YES
- ☐ NO
- ☒ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER WORK ORDER (SPECIFY)

FEB 26 1992

DATE SUBMITTED: FEB 20 1992

BY: FRED C. ARFMAN, P.E.

FOR ISAACSON & ARFMAN, P.A.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: M-15 DATE: 5/24/91 @ 11:00

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: Kirtland Park

STREET ADDRESS: 1

LEGAL DESCRIPTION: Kirtland Park Addition. Rpt of a portion of Kirtland Addition Unit 3

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
X GRADING/PAVING PERMIT X OTHER
W.O.

ATTENDANCE: WHO REPRESENTING
Jake Vigil 897-4193 Vigil Engineering
Fred Aguirre Hydrology Dev. Section

FINDINGS:
An APPROVED DRAINAGE plan is required for a paving permit and W.O. approval. No objection to constructing an inlet into the channel with ~~a~~ SUFFICIENT catch BASINS to INTERCEPT AND CONVEY the storm runoff from the ~~area~~ PROPOSED parking lot PLUS ~~any~~ ANY existing off-site to the KIRTLAND channel. However, I recommend DISCUSSION with the Project Engineer ~~of~~ (SCOTT DAVIS) of the KIRTLAND channel for any ADDITIONAL information.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Fred Aguirre

SIGNED: Jacob Aguil

TITLE: _____

TITLE: _____

DATE: 5/24/91

DATE: 5/24/91

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.