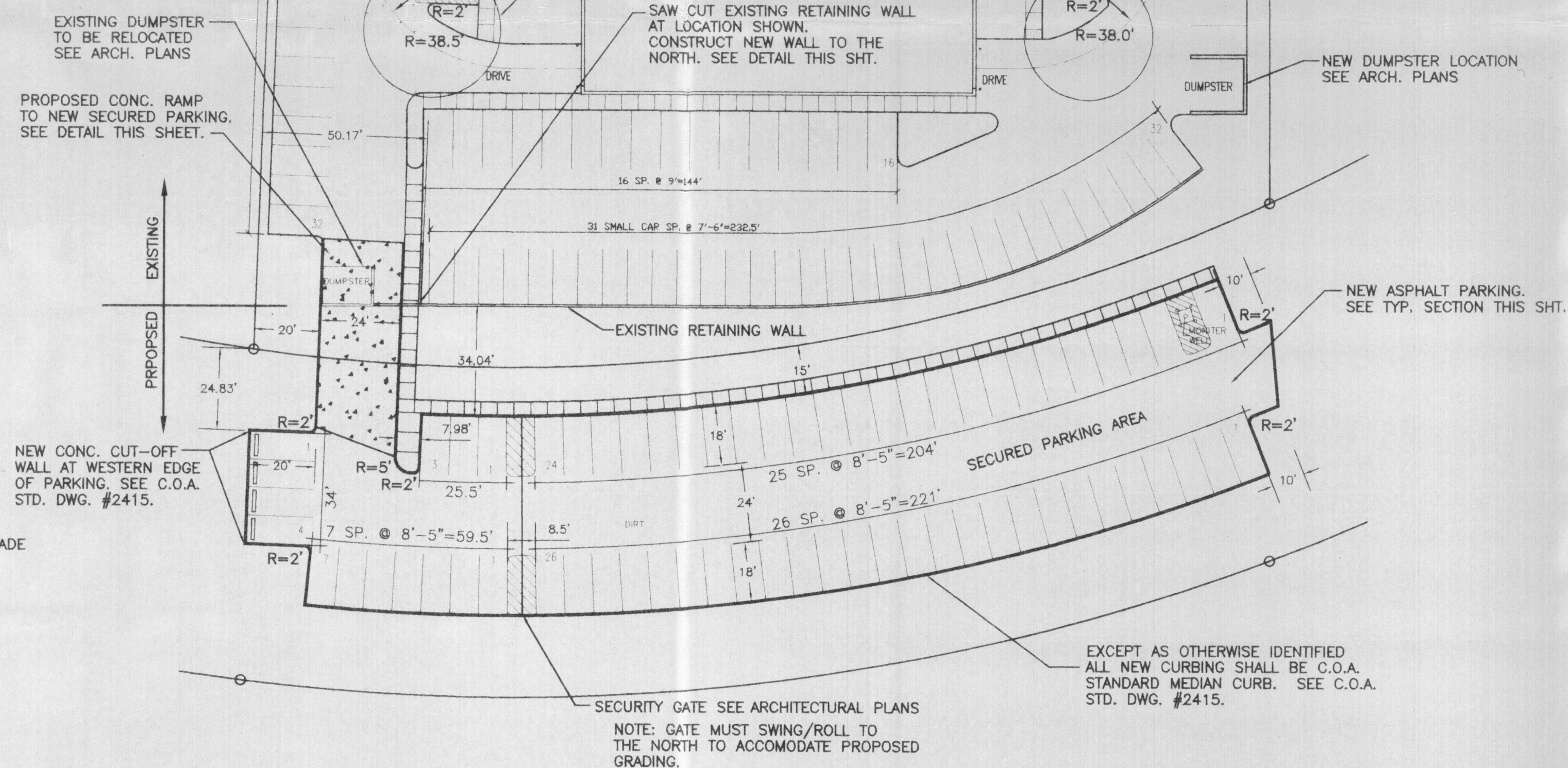
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EXISTING DUMPSTER —  
TO BE RELOCATED  
SEE ARCH. PLANS

PROPOSED CONC. RAMP  
TO NEW SECURED PARKING.  
SEE DETAIL THIS SHEET. —

NEW CONC. CUT-OFF —  
WALL AT WESTERN EDGE  
OF PARKING. SEE C.O.A.  
STD. DWG. #2415.

RANDOLPH ROAD S.E.



EXCEPT AS OTHERWISE IDENTIFIED  
— ALL NEW CURBING SHALL BE C.O.A.  
STANDARD MEDIAN CURB. SEE C.O.A.  
STD. DWG. #2415.

SCALE: 1" = 30'

PARKING REQUIREMENTS:

REQUIRED:

FIRST FLOOR	15695/200 = 78
SECOND FLOOR	10226/300 = 34
THIRD FLOOR	10226/300 = 34

TOTAL = 146  
8 HDCP INCL 1 VAN

PROVIDED:

LOWER LEVEL (EXISTING AREA)

109 STANDARD SPACES

31 SMALL CAR SPACES

10 STD. HDCP. SPACE  
1 HDCP VAN. SPACE

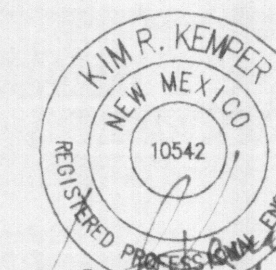
TOTAL 151 GRACES

TOTAL 151 SPACES

UPPER LEVEL

14 STANDARD

50 SECURED SPACES (



## I.N.S. PARKING EXPANSION TRAFFIC CIRCULATION LAYOUT

KEMPER—VAUGHAN  
CONSULTING ENGINEERS

3700 COORS RD. N.W. • ALBUQUERQUE, NEW MEXICO 87120 • (505) 831-4520

Designed	KRK	Drawn		Checked	KRK	Sheet	of	2	2
File	RANDOLPH TCI		Date	AUGUST 1999					



## GENERAL NOTES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHTS-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

## GENERAL LEGEND

EXISTING CONTOUR	175
PROPOSED CONTOUR	85
EXISTING SPOT ELEVATION	x 48.55
PROPOSED SPOT ELEVATION	56.4
FLOWLINE	→
FLOW DIRECTION ARROW	→
PROPOSED CONCRETE	—
TOP OF CURB ELEVATION	TC
TOP OF WALL ELEVATION	TW
FLOWLINE ELEVATION	FL
TOP OF ASPHALT	TA
POWER POLE	PP

## BENCH MARK

CITY OF ALBUQUERQUE CONTROL STATION "G-9A", AN ALUM. CAP SET IN THE CENTER OF GIBSON BLVD., 920' WEST OF BUENA VISTA STREET, M.S.L. ELEVATION = 5143.07

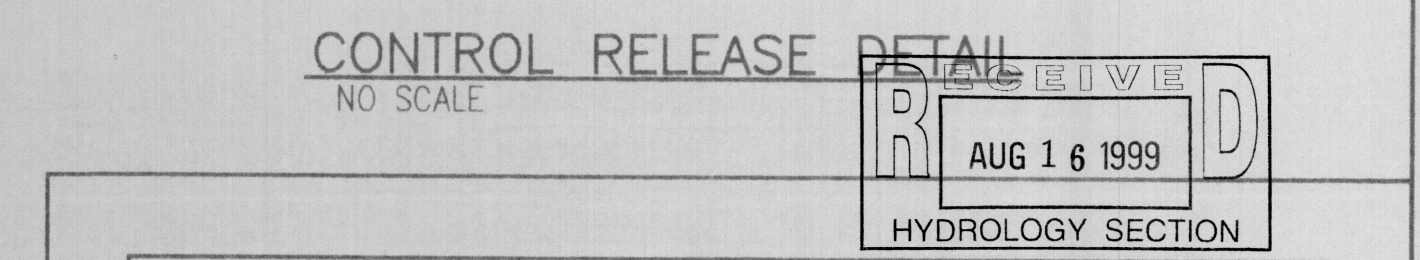
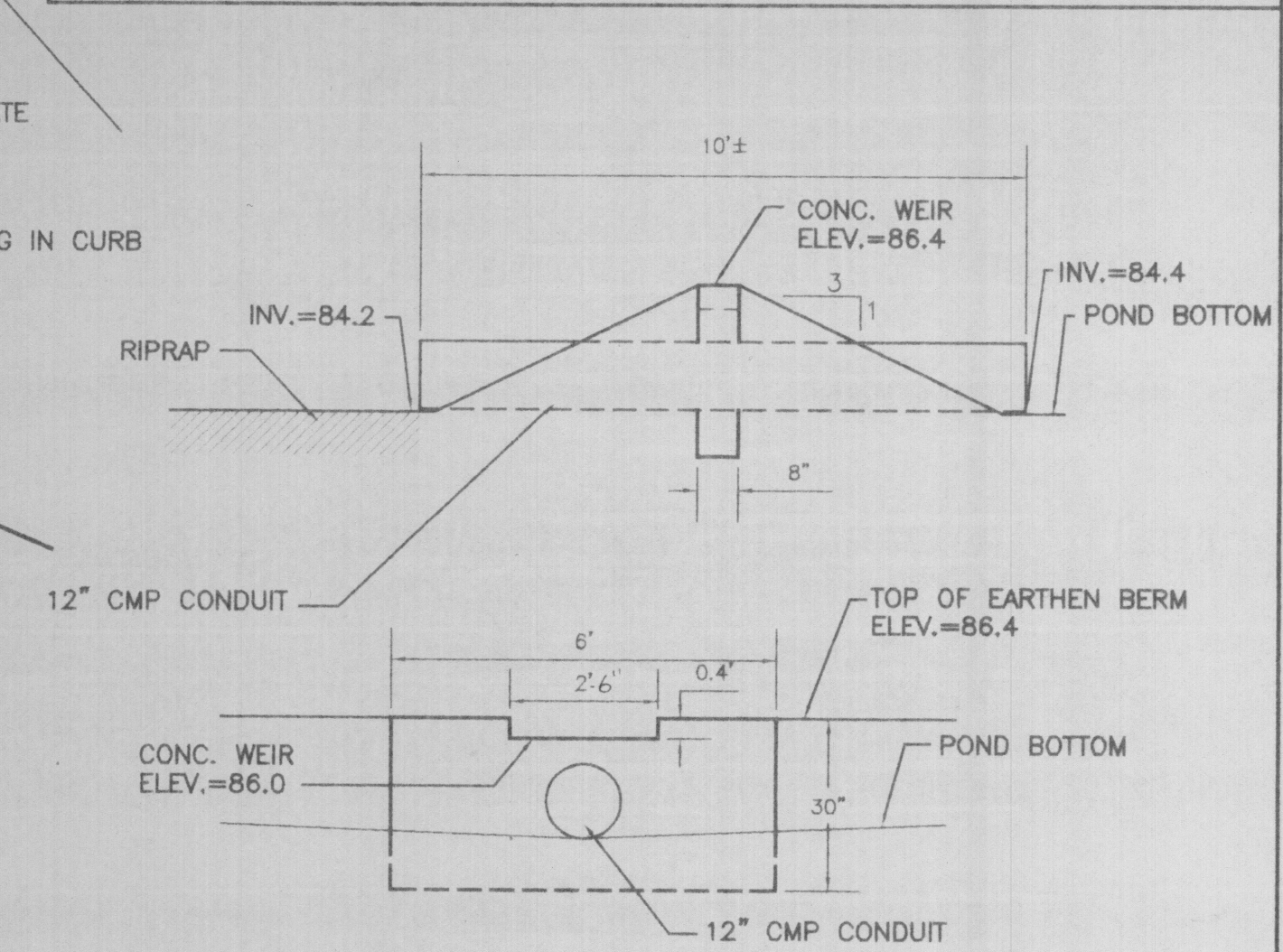
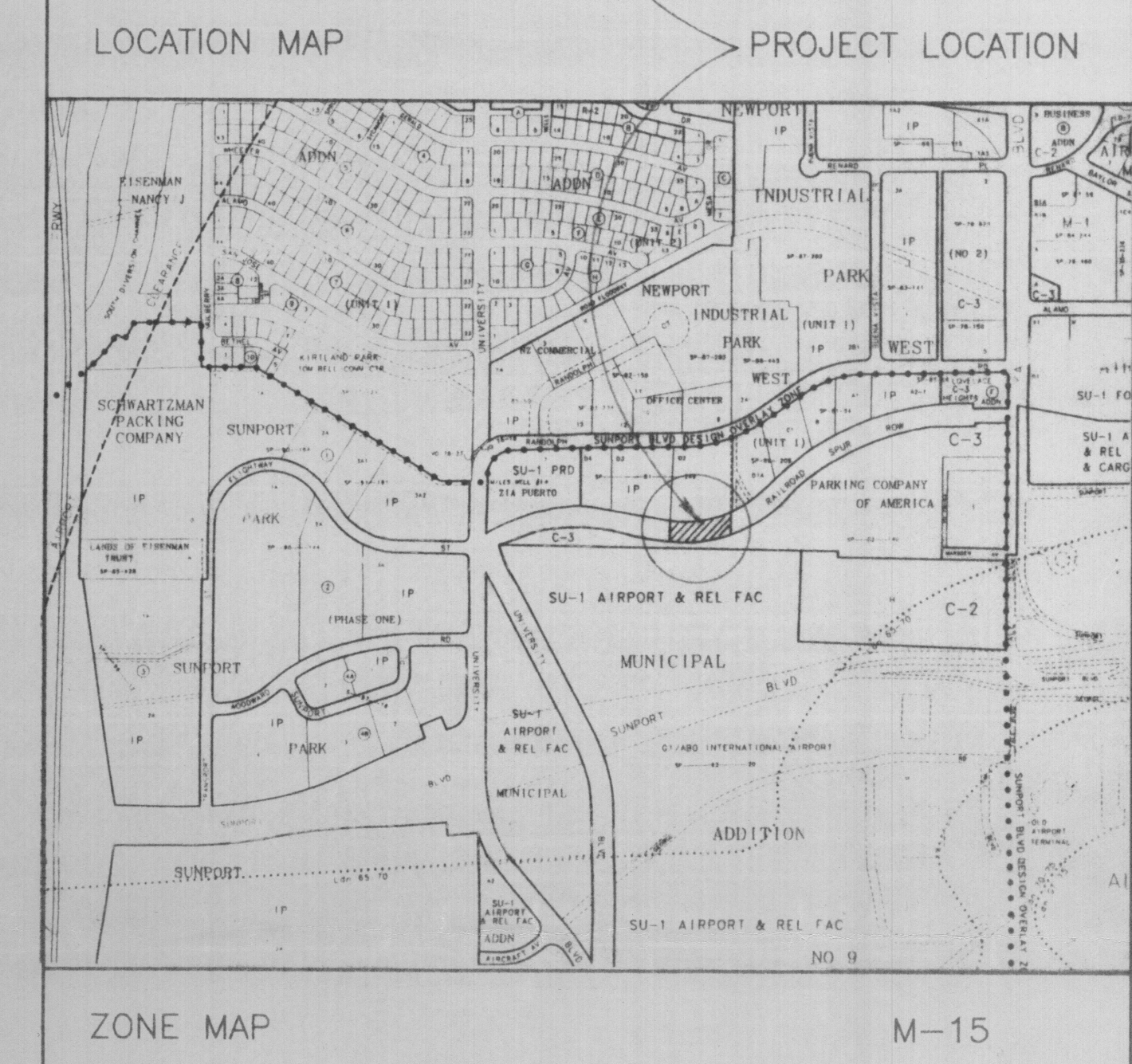
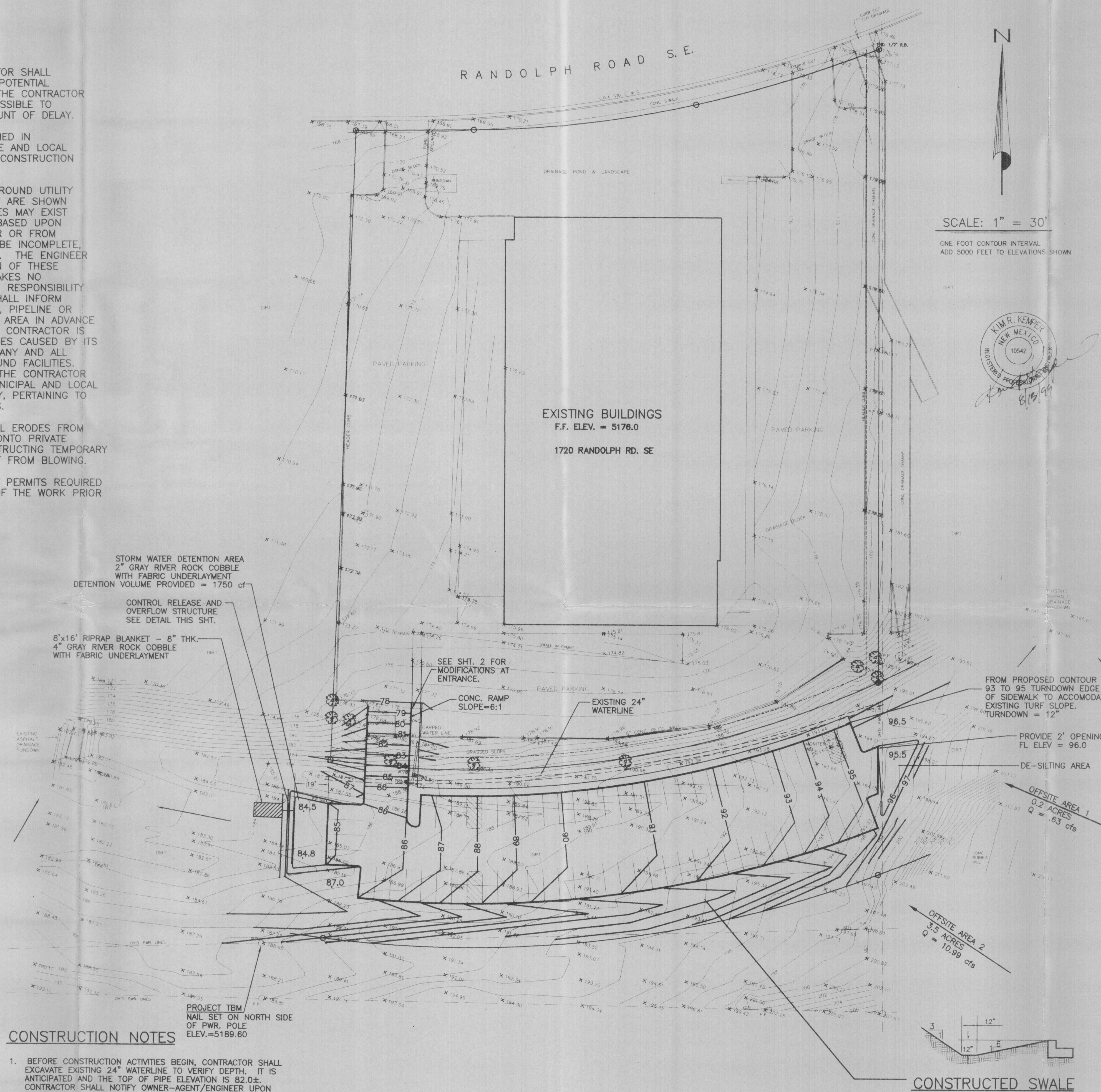
## LEGAL DESCRIPTION

LOT D-2 OF NEWPORT INDUSTRIAL PARK WEST, UNIT 1, PLAT FILED 8/24/81 IN C18-168

## CONSTRUCTION NOTES

1. BEFORE CONSTRUCTION ACTIVITIES BEGIN, CONTRACTOR SHALL EXCAVATE EXISTING 24" WATERLINE TO VERIFY DEPTH. IT IS ANTICIPATED AND THE TOP OF PIPE ELEVATION IS 82.0±. CONTRACTOR SHALL NOTIFY OWNER-AGENT/ENGINEER UPON VERIFICATION OF WATERLINE ELEVATION.

## PROPOSED PARKING LOT IMPROVEMENTS



I.N.S. PARKING EXPANSION GRADING AND DRAINAGE PLAN			
KEMPER-VAUGHAN CONSULTING ENGINEERS			
3700 COORS RD. N.W. • ALBUQUERQUE, NEW MEXICO 87120 • (505) 831-4520			
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File	RANDOLPH G&D	Date	AUGUST 1999
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