

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 28, 2023

Richard P. Bennet, RA
RBA Architecture, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Sunport Apartments- Phase 2
2920 Mulberry St. SE
Traffic Circulation Layout
Architect's Stamp 02-28-23 (M15-D036)

Dear Mr. Bennet,

The TCL submittal received 01-24-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

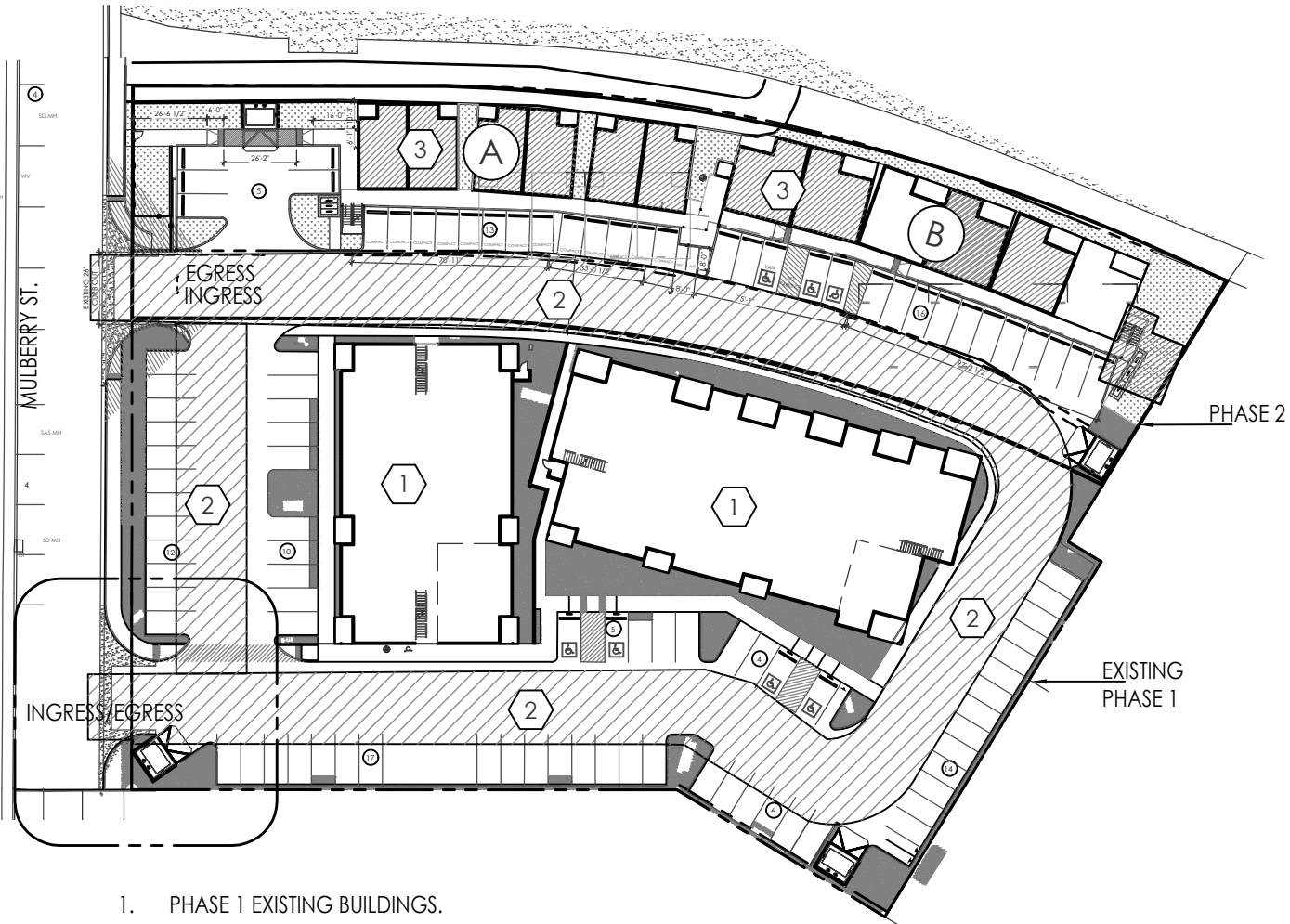
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

BUILDING AREAS			
BUILDING "A" 1ST FLOOR			
(4) EFFICIENCY APARTMENT HEATED AREAS:	555 S.F. EACH x 4=	2220 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO		797 S.F.	
TOTAL:		3,018 S.F.	
BUILDING "A" 2ND FLOOR			
(4) EFFICIENCY APARTMENT HEATED AREAS:	555 S.F. EACH x 4=	2220 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO		797 S.F.	
TOTAL:		3,018 S.F.	
BUILDING "A" 3RD FLOOR			
(4) EFFICIENCY APARTMENT HEATED AREAS:	555 S.F. EACH x 4=	2220 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO		797 S.F.	
TOTAL:		3,018 S.F.	
TOTAL BUILDING "A" AREA:		9,054 S.F.	
BUILDING "B" 1ST FLOOR			
(4) 1 BEDROOM APARTMENT HEATED AREAS:	672 S.F. EACH x 4 =	2,688 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:		971 S.F.	
TOTAL		3,659 S.F.	
BUILDING "B" 2ND FLOOR			
(4) 1 BEDROOM APARTMENT HEATED AREAS:	672 S.F. EACH x 4 =	2,688 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:		971 S.F.	
TOTAL		3,659 S.F.	
BUILDING "B" 3RD FLOOR			
(4) 1 BEDROOM APARTMENT HEATED AREAS:	672 S.F. EACH x 4 =	2,688 S.F.	
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:		971 S.F.	
TOTAL		3,659 S.F.	
TOTAL BUILDING "B" AREA:		10,977 S.F.	
ALLOWABLE AREA PER TABLE 506.2 FOR GROUP R2, V8 CONSTRUCTION, (SM): 21,000 S.F.			



1. PHASE 1 EXISTING BUILDINGS.
2. EXISTING 26' WIDE ASPHALTED DRIVEWAY.
3. PHASE 2 PROPOSED BUILDINGS.

KEY SITE PLAN
NOT TO SCALE

IDO REQUIREMENTS R-ML	
USABLE OPEN SPACE REQUIRED 225 SF X 24 1 BR UNITS = 5400 SF.	USABLE OPEN SPACE PROVIDED 5,6184 SF.
LANDSCAPING AREA REQUIRED 32,234 SF /43560 = 0.74 AC. 20,598 SF BLDGS AREA 11,636 SF X 15% = 1,745 SF	LANDSCAPING AREA PROVIDED 3,912 SF.
PARKING SPACES REQUIRED 1 SPACE X 12 STUDIO UNIT= 12 SPACES 1.2 SPACES X 12 1 BR UNIT= 14 SPACES REQUIRED 26 SPACES	PARKING SPACES PROVIDED 29 PARKING SPACES 5 ON STREET PARKING SPACES 9 COMPACT SPACES (25% = 7 ALLOWED) 43 PARKING SPACES PROVIDED
ACCESSIBLE PARKING = 2 SPACES MOTORCYCLE SPACES= 2 SPACES BICYCLE SPACES = 3 SPACES	3 SPACES PROVIDED 2 SPACES PROVIDED 3 SPACES PROVIDED
MAXIMUM BUILDING HEIGHT 38'	BUILDING HEIGHT 36'

Approved Padlock Installation



PADLOCK

NTS
PADLOCK LOCATED IN THE SOUTH SIDE GATE, (SEE KEYNOTE 38). THIS GATE WILL PROVIDE ACCESS FOR THE SOLID WASTE, AND FIRE DEPARTMENT, ONLY.
NOTE: WE WILL MAKE ARRANGEMENTS FOR THE GATE TO BE OPEN FROM 7AM TO 8 PM ON THE DESIGNATED DAY FOR GARBAGE AND RECYCLING.

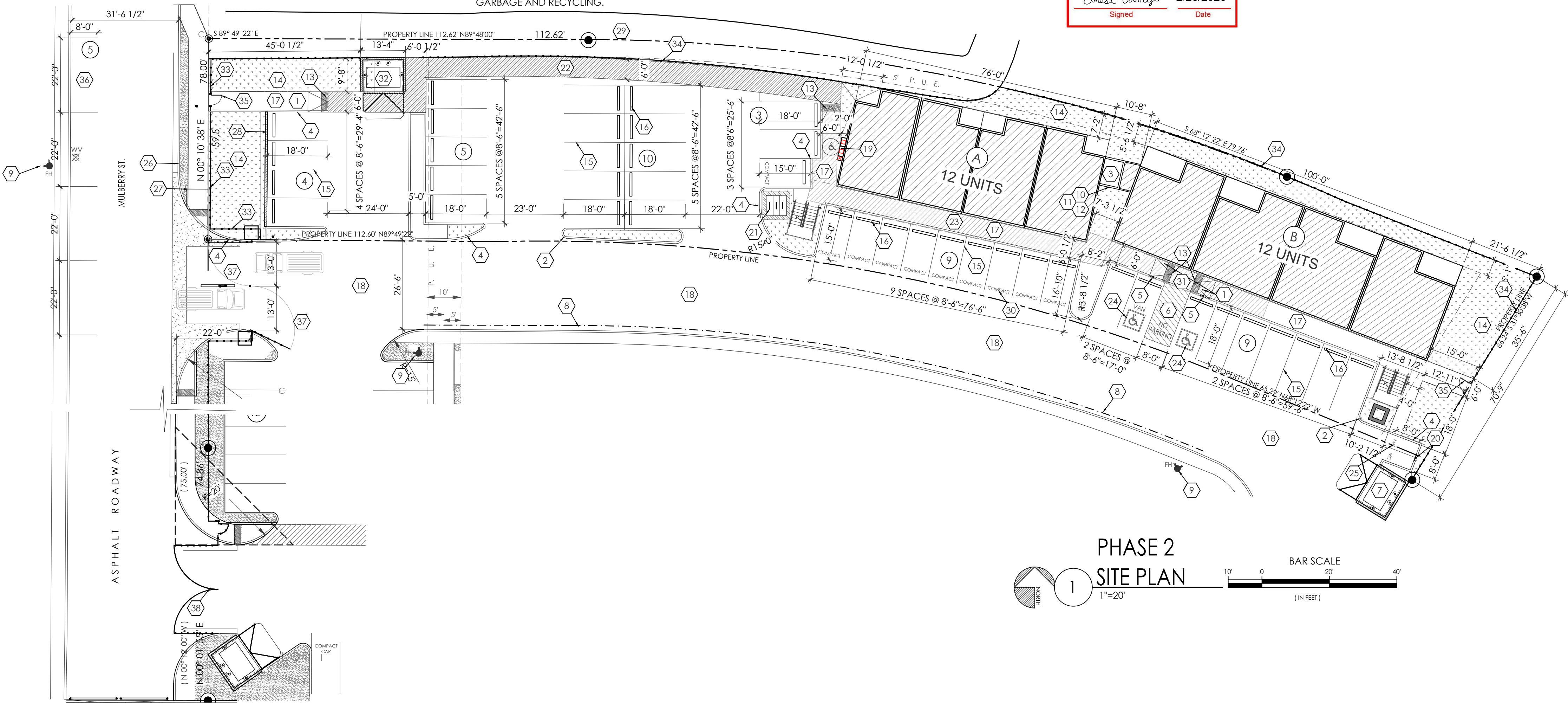
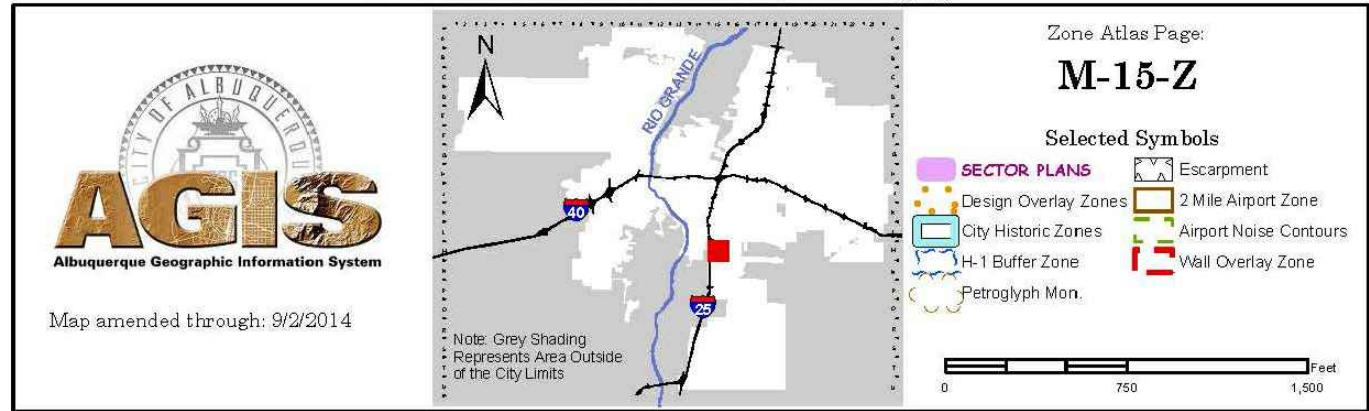
KEYED NOTES

1. ACCESSIBLE CURB RAMP, REF: DETAIL A10 AND A-8/AS-2.0.
2. 2'-0" CURB RADIUS, TYP., CURB PER C.O.A. STANDARD DWG. 2415A.
3. FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHALL'S OFFICE FOR REVIEW AND APPROVAL.
4. 6" RAISED CONCRETE CURB, TYP. PER C.O.A. STD. DWG 2415A.
5. ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
6. PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE. LOCATE SIGN (66-1-4.1.8 NMSA 1978), REF: DETAIL A8/AS-2.0.
7. EXISTING DUMPSTER ENCLOSURE.
8. FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. 503.3.1
9. FIRE HYDRANT LOCATION, TYP. REF: UTILITY PLAN.
10. G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM".
11. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM. MOUNT BOX 5'-0" HIGH A.F.F., TYP.
12. FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITH 100 FEET OF FIRE HYDRANT.
13. 24" TRUNCATED DOMES, TYP.
14. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
15. 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0., TYP.
16. CONCRETE WHEEL STOP, TYP.
17. 4" THICK CONCRETE SIDEWALK, TYP. AS-A6/AS-2.0
18. EXISTING ASPHALT ROADWAY.
19. MAIL BOXES
20. MOTOR CYCLE PARKING SIGNAGE PER CABQ STANDARDS, REF DETAIL C5/AS-2.1.
21. BIKE RACK FOR (5) BICYCLES, REF DETAIL C4/AS-2.0.
A. 30" TALL X 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES, COMB/TOASTER RACKS ARE NOT ALLOWED
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
22. 6' FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
23. 6 FT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY (HATCHED AREA ONLY ON PLANS).
24. HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL (2) PLACES, REF: C2/AS-2.0 FOR DETAILS.
25. "MC" PARKING" ON ASPHALT PAVING IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, REF: DETAIL: A3/AS-2.0.
26. EXISTING CONCRETE CURB AND GUTTER
27. EXISTING CONCRETE SIDEWALK, AND ACCESSIBLE RAMP.
28. PER THE I.D.O. SECTION 14-16-5-6(F)(1)(I) G.C. TO BUILD 36" HIGH MIN. MASONRY WALL AND FINISHED OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FACADE OF THE PRIMARY BUILDING, REF: SHEET AS-2.0 DETAIL C3
29. EXISTING BIKE WAY
30. PAINTED "COMPACT" WHITE ON PAVEMENT PER CABQ STANDARDS, WHERE SHOWN ON PLANS, REF DETAILS A4/AS-2.0
31. 6' X 6' LANDING WITH ACCESSIBLE CURB RAMP AND HEADER CURB PER C.O.A. STANDARD DWG. 2426.
32. DUMPSTER ENCLOSURE, WITH 8' HIGH HIGH, REF DETAIL: A1/AS2.0
33. 6" OPEN IRON FENCE.
34. 8" CHU WALL 4' OPEN IRON FENCE 2' TOTAL HEIGHT=6'
35. 3080 ACCESS GATE.
36. ON STREET PARKING.
37. 13' SWINGING GATE.
38. PHASE 1, SWINGING GATE, FOR FIRE AND SOLID WASTE DEPARTMENT ONLY, SEE ATTACHED PADLOCK DETAIL. NOTE: WE WILL MAKE ARRANGEMENTS FOR THE GATE TO BE OPEN FROM 7AM TO 8 PM ON THE DESIGNATED DAY FOR GARBAGE AND RECYCLING.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Alonzo
Signed Date 2/28/2023

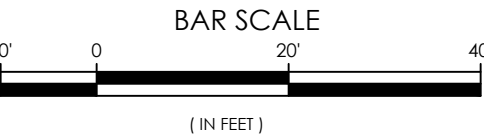
VICINITY MAP M-15-Z



PHASE 2

SITE PLAN

1"=20'



PHASE 1
INGRESS/EGRESS
1"=20'
SEE KEY SITE PLAN FOR LOCATION

SUNPORT APARTMENTS-PHASE 2
SITE PLAN
2920 MULBERRY ST. SE
ALBUQUERQUE, NM.
PROJECT # 2311

REVISION	DATE
RBA ARCHITECTURE, PC ARCHITECTURE PLANNING DESIGN 1000 Ave. SE Albuquerque, NM 87102 www.rba.com	
DATE	2/28/2023
SHEET NUMBER	AS-1.00

