

CITY OF ALBUQUERQUE



July 7, 2020

Richard Bennett, RA
RBA Architecture Planning Design
1104 Park Ave. SW
Albuquerque NM 87102

Re: Sunport Apartments
2930 Mulberry SE
Traffic Circulation Layout
Architect's Stamp 06-24-2020 (M15-D036)

Dear Mr. Bennett,

The TCL submittal received 07-06-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



(A) EXIST. STEEL BOLLARD
NTS

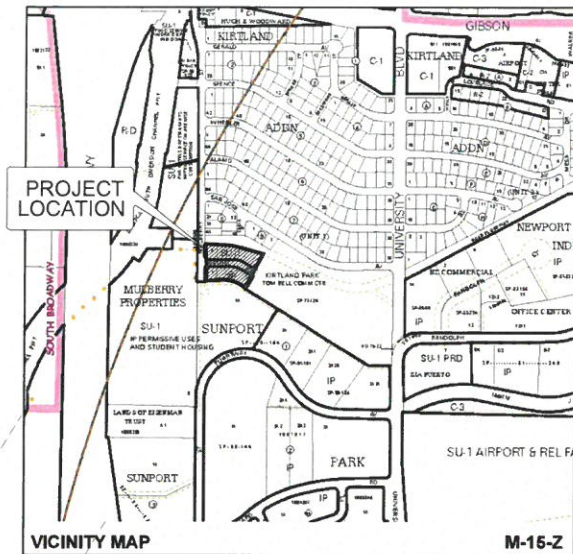


(B) EXIST. BARRICADE
NTS

BUILDING AREAS

BUILDING "A" 1ST FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	1,275 S.F.
TOTAL BUILDING "A" AREAS:	6,855 S.F.
BUILDING "A" 2ND FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	1,157 S.F.
TOTAL BUILDING "A" AREAS:	6,737 S.F.
BUILDING "A" 3RD FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	1,157 S.F.
TOTAL BUILDING "A" AREAS:	6,737 S.F.
TOTAL BUILDING "A" AREA:	20,329 S.F.
ALLOWABLE AREA PER TABLE 506.2 FOR GROUP R2, V8 CONSTRUCTION, (SM): 21,000 S.F.	

BUILDING "B" 1ST FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	2,146 S.F.
TOTAL 1ST FLOOR AREA:	9,773 S.F.
BUILDING "B" 2ND FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	2,034 S.F.
TOTAL 2ND FLOOR AREA:	9,660 S.F.
BUILDING "B" 3RD FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	2,034 S.F.
TOTAL 3RD FLOOR AREA:	9,660 S.F.
TOTAL BUILDING "B" AREA:	29,093 S.F.
ALLOWABLE AREA PER TABLE 506.2 FOR GROUP R2, V8 CONSTRUCTION, (SM): 21,000 S.F.	
NOTE: BUILDING "B" TO BE SEPARATE INTO TWO BUILDINGS WITH A THREE HOUR FIRE BUILDING HORIZONTAL SEPARATION AT 2ND FLOOR CEILING/FLOOR ASSEMBLY.	
REF: BUILDING "B" BUILDING SECTIONS AND THREE HOUR FIRE BUILDING SEPARATION DETAIL.	

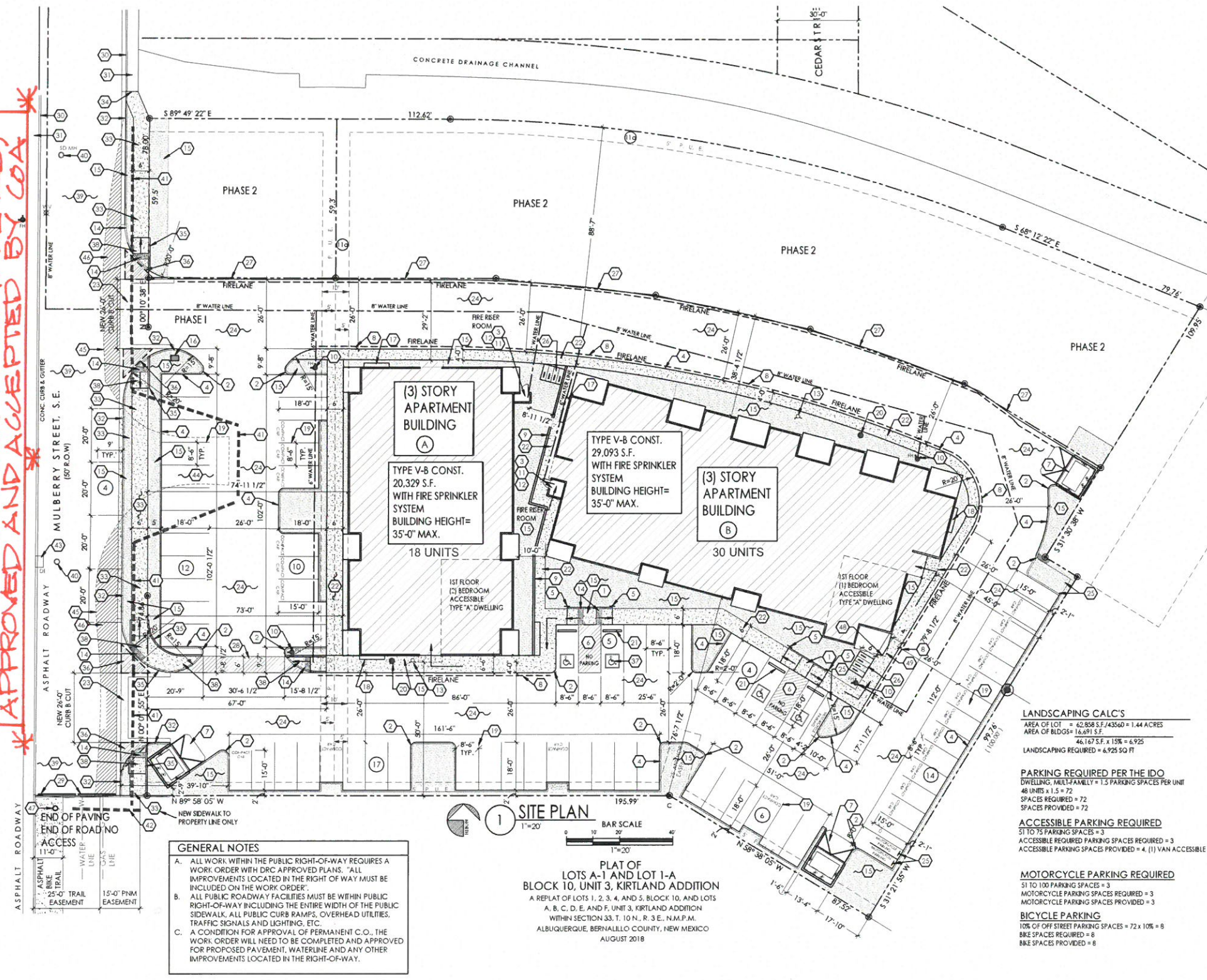


TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 7/7/20

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

CONDITION OF FINAL C.O.A. APPROVAL: WORK ORDER MUST BE COMPLETED, APPROVED AND ACCEPTED BY C.O.A.



KEYED NOTES

- 6' x 6' LANDING WITH ACCESSIBLE CURB RAMP, REF: DETAIL A/AS-2.0.
- 2' x 4' CURB RAMP, TYP. CURB PER C.O.A. STANDARD DWG. 2415A.
- FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHALL'S OFFICE FOR REVIEW AND APPROVAL.
- 6' RABED CONCRETE CURB, TYP.
- ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE ASILE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.8 NMSA 1978), REF: DETAIL A/AS-2.0.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE "NO PARKING, FIRE LANE, TYP.
- CONC. RETAINING WALL, REF: DETAIL A/AS-2.0 AND GRADING AND DRAINAGE PLAN.
- FIRE HYDRANT LOCATION, TYP. REF: UTILITY PLAN.
- G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM".
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F., TYP.
- FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITH 100 FEET OF FIRE HYDRANT.
- 24" TRUNCATED DOMES, TYP.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PHM.
- ELECTRICAL MODULAR METERING LOCATION, REF: ELECTRICAL SITE PLAN.
- GAS METER BANK PER PHM AND CITY OF ALBUQUERQUE STANDARDS, REF: PLUMBING PLANS.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A/AS-2.0, TYP.
- PV LOCATION.
- CONCRETE WHEEL STOP, TYP.
- 4" THICK CONCRETE SIDEWALK, TYP.
- CONSTRUCT NEW CONCRETE DRIVE-PAD PER C.O.A. STANDARD DWG 2426, REF: GRADING AND DRAINAGE PLAN, NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEOTECHNICAL REPORT.
- FREE STANDING MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS, "MC" PARKING" ON ASPHALT PAVING IN CAPITAL LETTERS, 12" HIGH x 2" WIDE.
- BKE RACKS FOR (4) BIKES, (2) PLACES TYP., BKE RACK SHALL BE 30" TALL x 18" MIN., BKE PARKING SPACES SHALL BE 6'-0" LONG x 2'-0" WIDE FOR EACH BKE, NOTE: A 1'-0" CLEAR ZONE AROUND THE BKE PARKING SPACE. BKE RACKS PER THE C.O.A. I.D. ZONING CODE, REF: BKE RACK DETAIL C3/AS-2.0.
- ROLL OVER CONC. CURB, REF: GRADING AND DRAINAGE PLAN.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
- EXIST. BARRICADE TO REMAIN, TYP. AT END OF EXIST. ROADWAY, SEE PICTURE B/AS-1.0.
- EXIST. CONC. CURB AND GUTTER.
- EXIST. CONC. SIDEWALK.
- CONSTRUCT NEW RABED 8" STD CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
- CONSTRUCT NEW CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430.
- NEW SIDEWALK TRANSITION PER C.O.A. STD. DWG. 2432.
- HEADER CURB, PER C.O.A. STD. DWG 2418.
- 11' x 11' CLEAR SITE TRIANGLE PER DPM, NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA, NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL (4) PLACES, REF: AS-2.0 FOR DETAILS.
- 6' x 6' LANDING WITH ACCESSIBLE CURB RAMP AND HEADER CURB PER C.O.A. STANDARD DWG. 2426.
- EXIST. ASPHALT ROADWAY, NEW ASPHALT PAVING PER C.O.A. STANDARD DWG. 2400, NOTE: ALL NEW WORK IN EXIST. ROADWAY/PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- EXISTING MANHOLE TO REMAIN, TYP.
- EXISTING GUARD RAIL TO BE REMOVED.
- EXISTING GUARD RAIL TO REMAIN.
- EXISTING STORM DRAIN.
- EXISTING ASPHALT TO BE REMOVED, NEW ASPHALT PAVING PER C.O.A. STANDARD DWG. 2400, NOTE: ALL NEW WORK IN EXIST. ROADWAY/PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- EDGE OF EXISTING ASPHALT, NEW ASPHALT PAVING PER C.O.A. STANDARD DWG. 2400, NOTE: ALL NEW WORK IN EXIST. ROADWAY/PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- EXISTING CURB TO BE NEW ASPHALT TO MATCH EXISTING ASPHALT, NEW ASPHALT PAVING PER C.O.A. STANDARD DWG. 2400, NOTE: ALL NEW WORK IN EXIST. ROADWAY/PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- EXISTING CONC. FILLED STEEL PIPE BOLLARD TO REMAIN, SEE DETAIL A/AS-1.0.
- COLUMN LOCATION, REF: ARCH FLOOR PLAN.
- LINE OF 2ND FLOOR DECK ABOVE, REF: ARCH FLOOR PLANS.

LANDSCAPING CALC'S
AREA OF LOT = 62,858 S.F./43560 = 1.44 ACRES
AREA OF BLDGS = 16,691 S.F.
46,167 S.F. x 15% = 6,925
LANDSCAPING REQUIRED = 6,925 SQ FT

PARKING REQUIRED PER THE IDO
DWELLING, MULTIFAMILY = 1.5 PARKING SPACES PER UNIT
48 UNITS x 1.5 = 72
SPACES REQUIRED = 72
SPACES PROVIDED = 72

ACCESSIBLE PARKING REQUIRED
51 TO 75 PARKING SPACES = 3
ACCESSIBLE REQUIRED PARKING SPACES REQUIRED = 3
ACCESSIBLE PARKING SPACES PROVIDED = 4 (1) VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED
51 TO 100 PARKING SPACES = 3
MOTORCYCLE PARKING SPACES REQUIRED = 3
MOTORCYCLE PARKING SPACES PROVIDED = 3

BICYCLE PARKING
10% OF OFF STREET PARKING SPACES = 72 x 10% = 8
BKE SPACES REQUIRED = 8
BKE SPACES PROVIDED = 8

- #### GENERAL NOTES
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS. "ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER".
 - ALL PUBLIC ROADWAY FACILITIES MUST BE WITHIN PUBLIC RIGHT-OF-WAY INCLUDING THE ENTIRE WIDTH OF THE PUBLIC SIDEWALK, ALL PUBLIC CURB RAMPS, OVERHEAD UTILITIES, TRAFFIC SIGNALS AND LIGHTING, ETC.
 - A CONDITION FOR APPROVAL OF PERMANENT C.O.A., THE WORK ORDER WILL NEED TO BE COMPLETED AND APPROVED FOR PROPOSED PAVEMENT, WATERLINE AND ANY OTHER IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY.

SITE PLAN
1"=20'
0 10 20 40
1"=20'
PLAT OF LOTS A-1 AND LOT 1-A BLOCK 10, UNIT 3, KIRTLAND ADDITION
A REPLAT OF LOTS 1, 2, 3, 4, AND 5, BLOCK 10, AND LOTS A, B, C, D, E, AND F, UNIT 3, KIRTLAND ADDITION WITHIN SECTION 33, T. 10 N., R. 3 E., N.M.P.M. ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUGUST 2018

SUNPORT APARTMENTS
SITE PLAN
ALBUQUERQUE, NM
2930 MULBERRY S.E.
PROJECT #1844

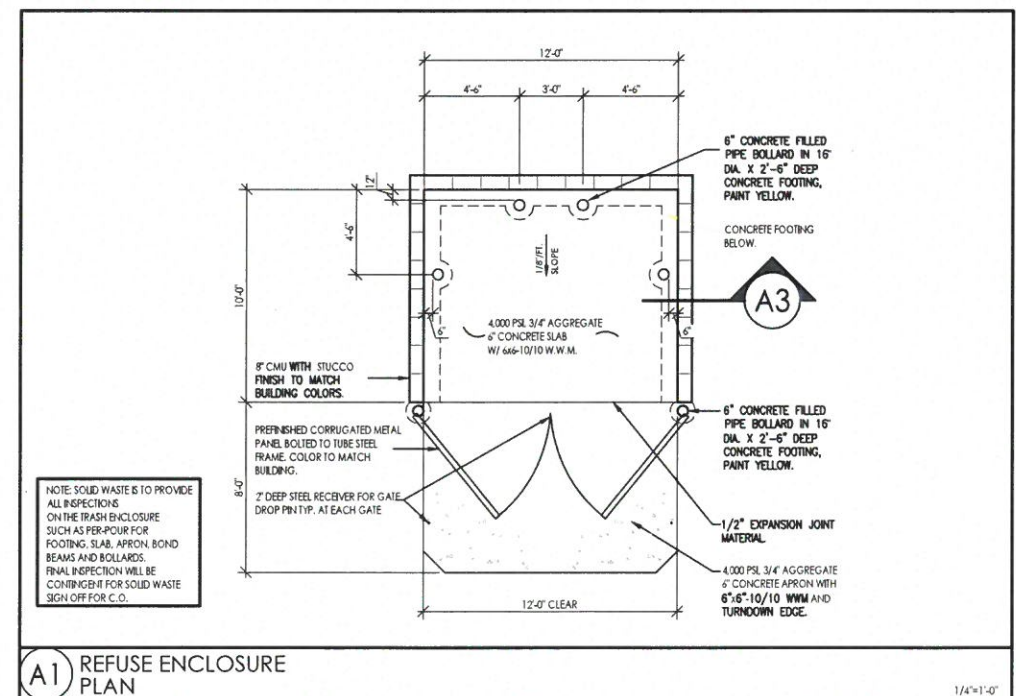
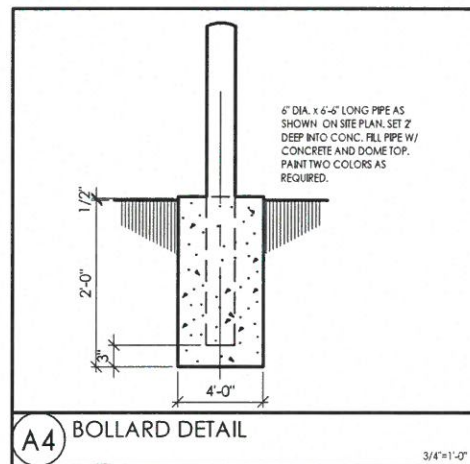
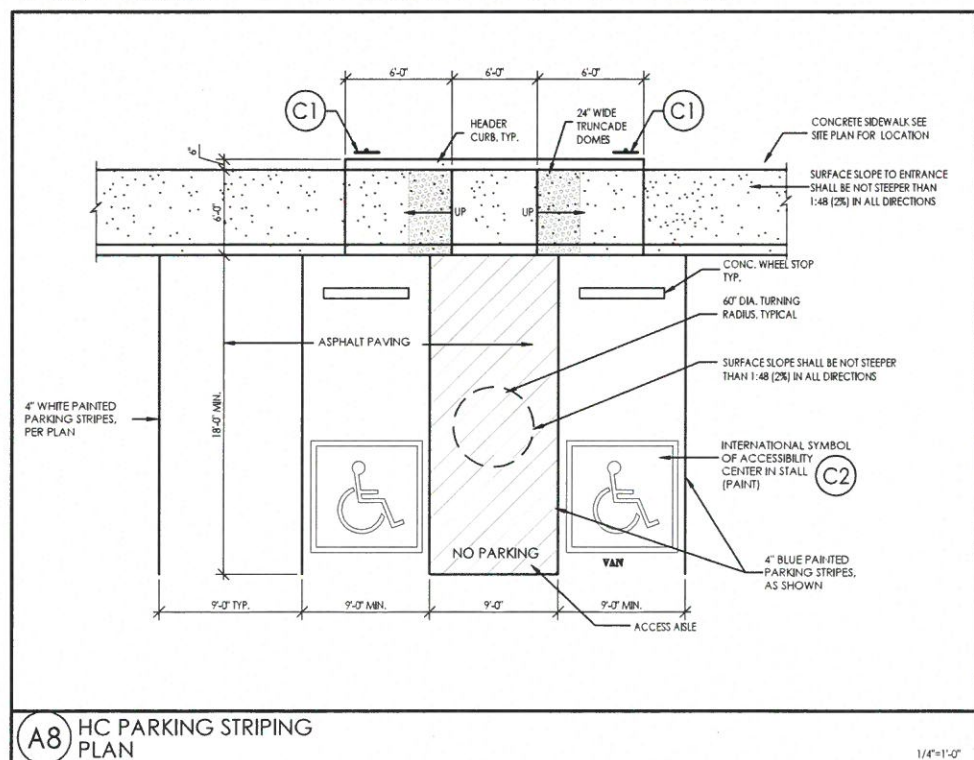
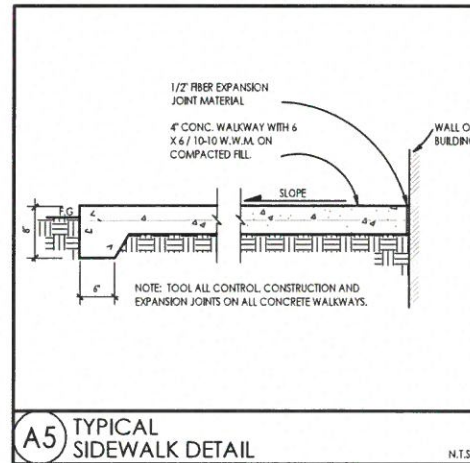
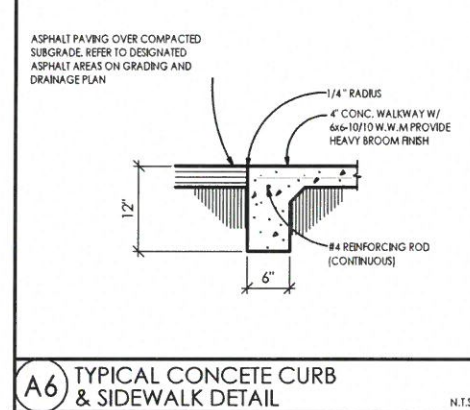
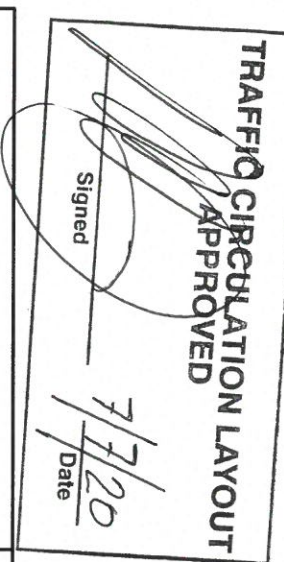
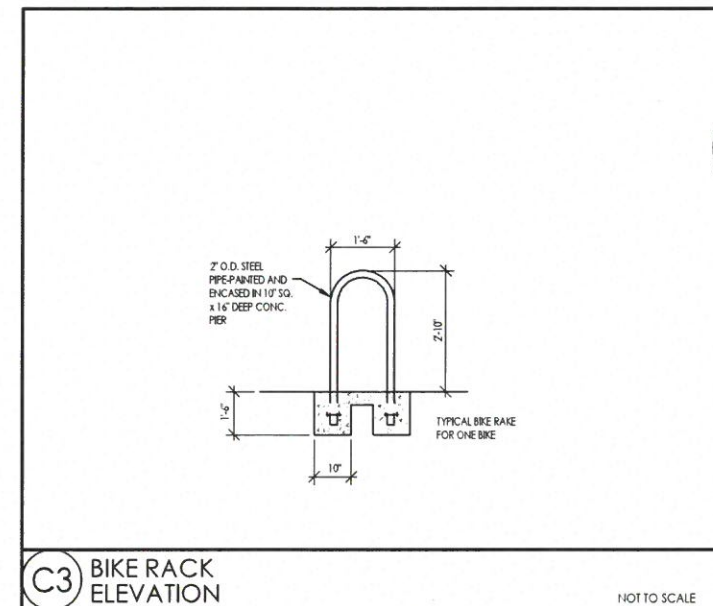
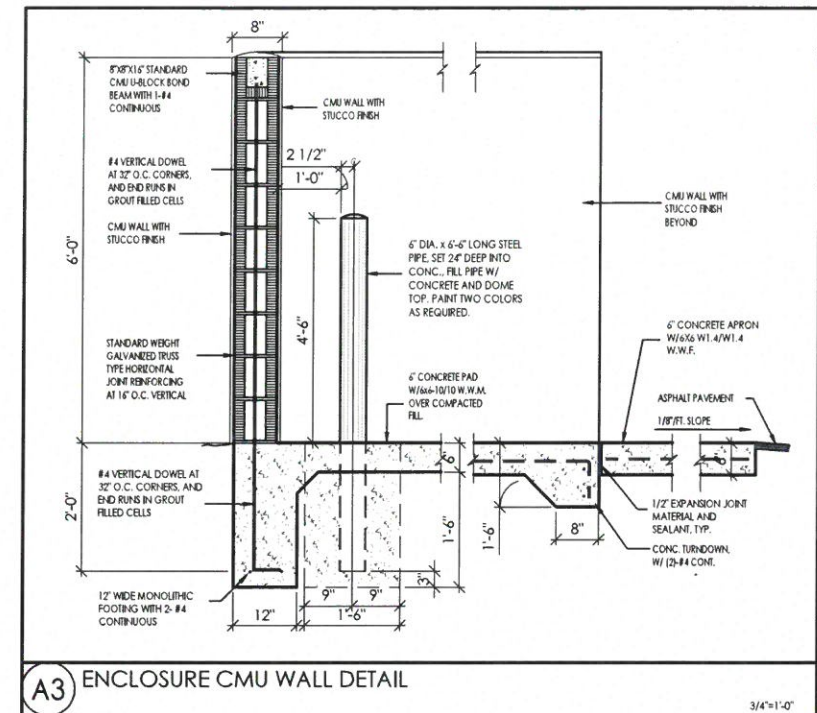
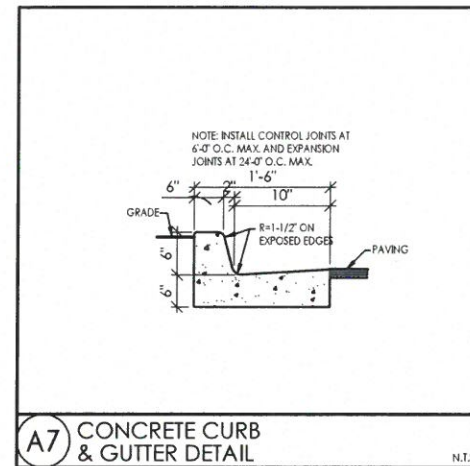
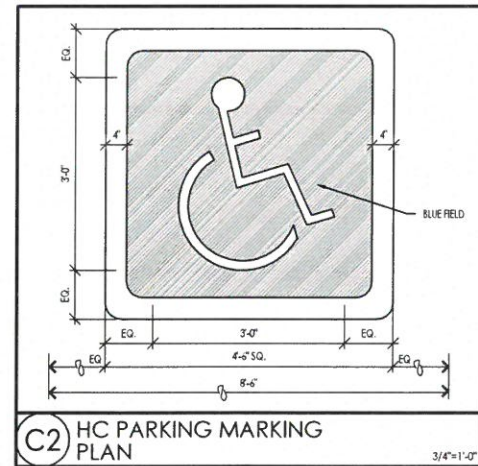
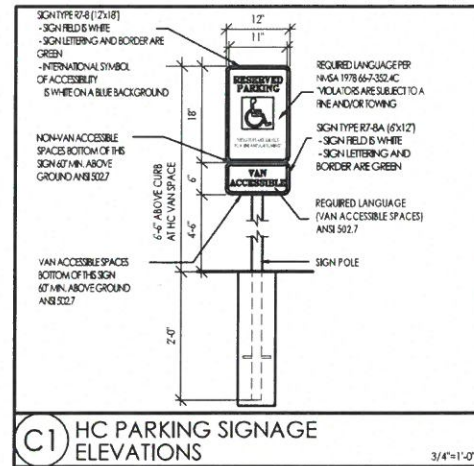
REVISION DATE

STATE OF NEW MEXICO
REGISTERED ARCHITECT
RICHARD P. BENNETT
No. 1240
07/07/20

RBA
ARCHITECTURE
DESIGN
1500 First Ave. NW
Albuquerque, NM 87102
www.rbaarch.com

DATE
05-07-2020

SHEET NUMBER
AS-1.0



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

SUNPORT APARTMENTS
SITE DETAILS
ALBUQUERQUE, NM
PROJECT #1844

REVISION DATE	
	
	RBA REGISTERED PLANNING DESIGN
	1000 Park Ave. SW Albuquerque, NM 87102 Tel: 505-243-1543 Fax: 505-243-1544 www.rba-nm.com
DATE	
12-12-2018	
SHEET NUMBER	
AS-2.0	