



December 3, 2018

RBA Architecture Planning Design
Darby Miera
1104 Park Ave SW
Albuquerque, NM 87102

Re: Sunport Apartments
Mulberry & Bethel
Lots A1 thru F1 & Lots 1A, Block 10, Unit 3
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-29-18 (M15D036)

Dear Mr. Darby

Based upon the information provided in your submittal received 11-29-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. The scale must be shown on the plan. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, on the following scales may be used:

$1" = 20'$
 $1" = 40'$
 $1" = 100'$ (for overall layouts only)
3. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
4. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
5. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
6. Please provide a sight distance exhibit
7. Show the clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
8. Please specify the City Standard Drawing Number when applicable.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

9. Provide notes showing what work is included and on the work order and the private work on site.
10. Work within the public right of way requires a work order with DRC approved plans.
11. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
12. Please clarify Key Note #2 is referencing correct location on site plan.
13. Please include one copy of the traffic circulation layout at the next submittal.

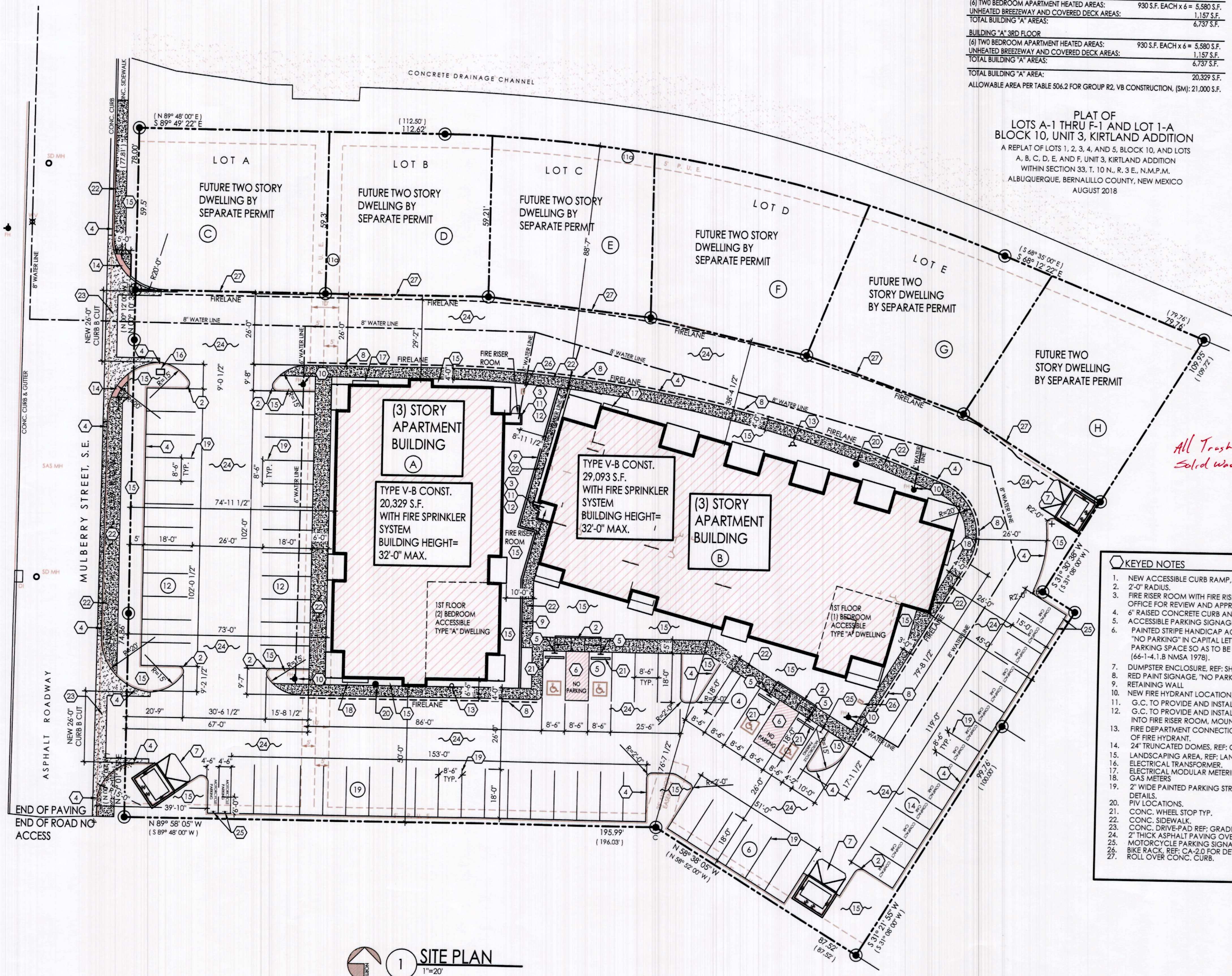
Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Ernie Gomez (505) 924-3981.

Sincerely,



Ernie Gomez
Plan Checker, Transportation & Hydrology
Development Review Services

EG via: email
C: CO Clerk, File

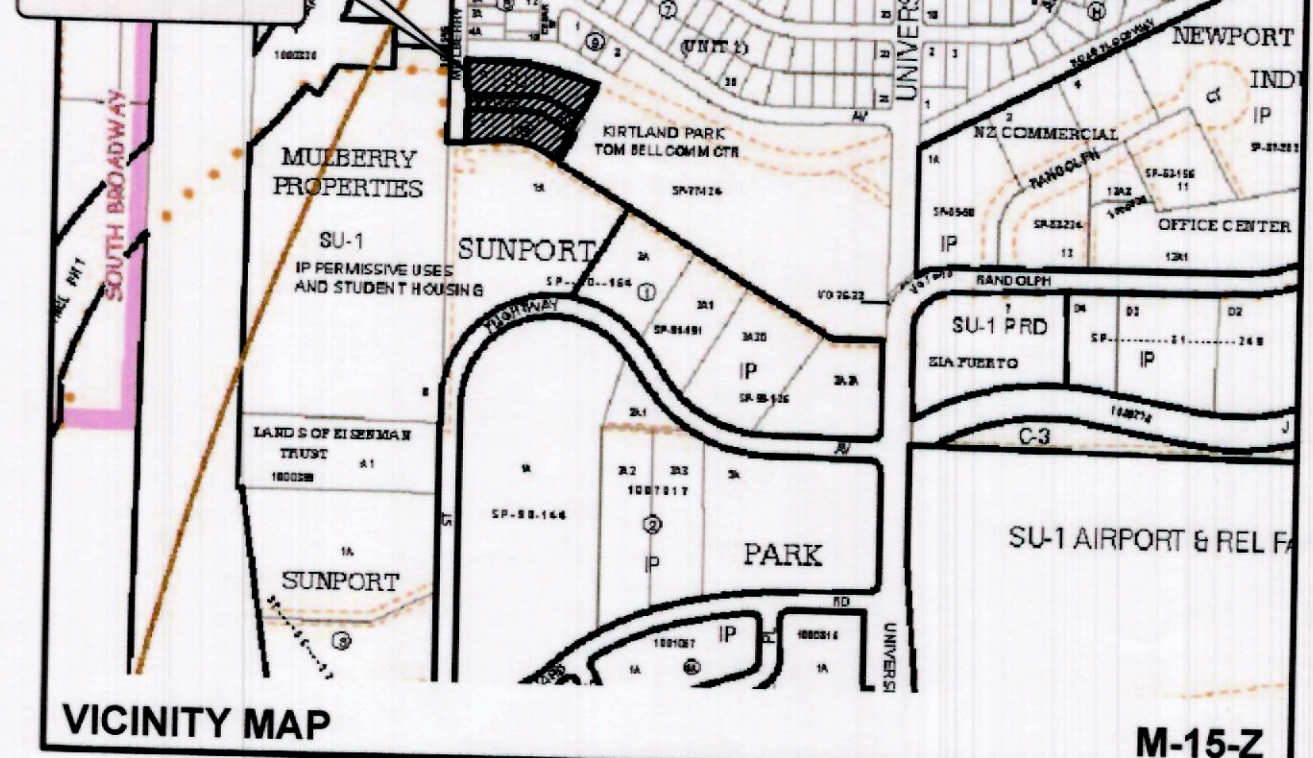


BUILDING AREAS

BUILDING "A" 1ST FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	1,275 S.F.
TOTAL BUILDING "A" AREAS:	6,855 S.F.
BUILDING "A" 2ND FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	1,157 S.F.
TOTAL BUILDING "A" AREAS:	6,737 S.F.
BUILDING "A" 3RD FLOOR	
(6) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 6 = 5,580 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	1,157 S.F.
TOTAL BUILDING "A" AREAS:	6,737 S.F.
TOTAL BUILDING "A" AREA:	20,329 S.F.
ALLOWABLE AREA PER TABLE 506.2 FOR GROUP R2, V8 CONSTRUCTION, (SM): 21,000 S.F.	

PLAT OF
LOTS A-1 THRU F-1 AND LOT 1-A
 A REPLAT OF LOTS 1, 2, 3, 4, AND 5, BLOCK 10, AND LOTS
 A, B, C, D, E, AND F, UNIT 3, KIRTLAND ADDITION
 WITHIN SECTION 33, T. 10 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2018

PROJECT LOCATION



BUILDING "B" 1ST FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	2,146 S.F.
TOTAL 1ST FLOOR AREA:	9,773 S.F.
BUILDING "B" 2ND FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	2,034 S.F.
TOTAL 2ND FLOOR AREA:	9,660 S.F.
BUILDING "B" 3RD FLOOR	
(3) TWO BEDROOM APARTMENT HEATED AREAS:	930 S.F. EACH x 3 = 2,790 S.F.
(7) ONE BEDROOM APARTMENT HEATED AREAS:	691 S.F. EACH x 7 = 4,837 S.F.
UNHEATED BREEZEWAY AND COVERED DECK AREAS:	2,034 S.F.
TOTAL 3RD FLOOR AREA:	9,660 S.F.
TOTAL BUILDING "B" AREA:	29,093 S.F.
ALLOWABLE AREA PER TABLE 506.2 FOR GROUP R2, V8 CONSTRUCTION, (SM): 21,000 S.F.	
NOTE: BUILDING "B" TO BE SEPARATE INTO TWO BUILDINGS WITH A THREE HOUR FIRE BUILDING SEPARATION DETAIL AT 2ND FLOOR CEILING/3RD FLOOR ASSEMBLY.	
REF: BUILDING "B" BUILDING SECTIONS AND THREE HOUR FIRE BUILDING SEPARATION DETAIL	

LANDSCAPING CALC'S
 AREA OF LOT = 62,858 SQFT/435500=1.44 ACRES
 AREA OF BLDGS= 14,691 SQFT
 46,167 SQFT X 115% = 5,309 S.F.
 LANDSCAPING REQUIRED = 6,925 SQ FT

*All Trust Endorses, See Accessible
 Solid Waste Hauler Calloges 11-29-18*

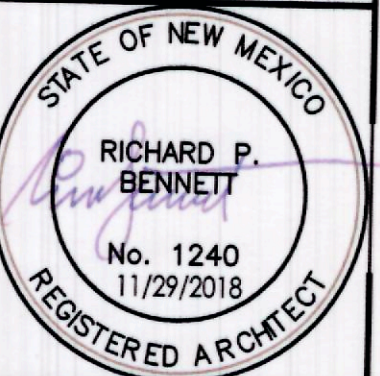
KEYED NOTES

1. NEW ACCESSIBLE CURB RAMP, PER CITY OF FAIR STANDARDS, (C.O.P.), REF: G&D PLANS.
2. 2'-0" RADIUS.
3. FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL.
4. 6" RAISED CONCRETE CURB AND GUTTER, TYP., REF: G&D PLANS.
5. ACCESSIBLE PARKING SIGNAGE, PER C.O.P. STANDARDS.
6. PAINTED STRIP HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAIL. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.8 NMSA 1978).
7. DUMPSTER ENCLOSURE, REF: SHEET AS-2.0.
8. RED PAINT SIGNAGE, "NO PARKING FIRE LANE", TYP.
9. RETAINING WALL.
10. NEW FIRE HYDRANT LOCATION, REF: UTILITY SITE PLAN.
11. G.C. TO PROVIDE AND INSTALL AT FIRE RISER ROOM DOOR SIGNAGE STATING "FIRE RISER ROOM".
12. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
13. FIRE DEPARTMENT CONNECTION (FDC) LOCATION: NOTE: FDC LOCATION TO BE WITHIN 100 FEET OF FIRE HYDRANT.
14. 24" TRUNCATED DOMES, REF: GRADING AND DRAINAGE PLANS.
15. LANDSCAPING AREA, REF: LANDSCAPING PLAN AND GRADING AND DRAINAGE PLAN.
16. ELECTRICAL TRANSFORMER.
17. ELECTRICAL MODULAR METERING LOCATION.
18. GAS METERS.
19. 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, REF: CA-2.0 FOR DETAILS.
20. PIV LOCATIONS.
21. CONC. WHEEL STOP TYP.
22. CONC. SIDEWALK.
23. CONC. DRIVE-PAD REF: GRADING AND DRAINAGE PLAN.
24. 2" THICK ASPHALT PAVING OVER BASE COURSE, TYP.
25. MOTORCYCLE PARKING SIGNAGE PER CITY REQUIREMENTS.
26. BIKE RACK, REF: CA-2.0 FOR DETAIL.
27. ROLL OVER CONC. CURB.

1 SITE PLAN
 1"=20'

SUNPORT APARTMENTS
SITE PLAN
ALBUQUERQUE, NM
PROJECT #1844

REVISION DATE



DATE
 11-27-2018

SHEET NUMBER
AS-1.0



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Sunport Apartments Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots A-1 thru F-1 and Lot 1-A, Block 10, Unit 3, Kirtland Addition

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RBA Architecture Planning Design Contact: Darby Miera

Address: 1104 Park Ave SW

Phone#: 505-242-1859 Fax#: _____ E-mail: darby@rba81.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☒ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/29/2018 By: Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____