

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT # 1002357  
**M-15 / D 39**

PROJECT TITLE: RNG, LLC, OFFICE/SHOP ZONE MAP/DRG. FILE #: M-15 / D 39  
DRB #: 03 DRB. 00287 (SOP) PC#: 02876 - 01767 WORK ORDER#:

LEGAL DESCRIPTION: LOT 11, N2 COMMERCIAL OFFICE CENTER  
CITY ADDRESS: 1710 RANDOLPH COURT S.E.

ENGINEERING FIRM: ISAACSON & ALFMAN  
ADDRESS: 128 MONROE ST. NE.  
CITY, STATE: ALBUQUERQUE, NM 87108

CONTACT: SCOTT MCGEE  
PHONE: 268-8828  
ZIP CODE:

OWNER: RNG, LLC, Randall S. GURULE, President  
ADDRESS: 8901 Vidal SW  
CITY, STATE: Albuquerque, NM. 87105

CONTACT: Randall S. Gurule  
PHONE: 873-0529  
ZIP CODE:

ARCHITECT: MASTERWORKS ARCHITECTS, INC.  
ADDRESS: 4200 WYOMING AVE B-1  
CITY, STATE: ALBUQUERQUE, NM 87111-3161

CONTACT: JAMES B. CLARK  
PHONE: 242-1866  
ZIP CODE:

SURVEYOR: SURVEYS SOUTHWEST LTD  
ADDRESS: 332 LOMAS BLVD. NE.  
CITY, STATE: ALBUQUERQUE, NM. 87102

CONTACT: DAN GRANEY  
PHONE: 998-03031  
ZIP CODE:

CONTRACTOR: H.L. CLEFF CONSTRUCTION CO., LTD.  
ADDRESS: 500 MONTANO RD. NW.  
CITY, STATE: ALBUQUERQUE, NM. 87107

CONTACT: TRENTON CLEFF  
PHONE: 263-5483  
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

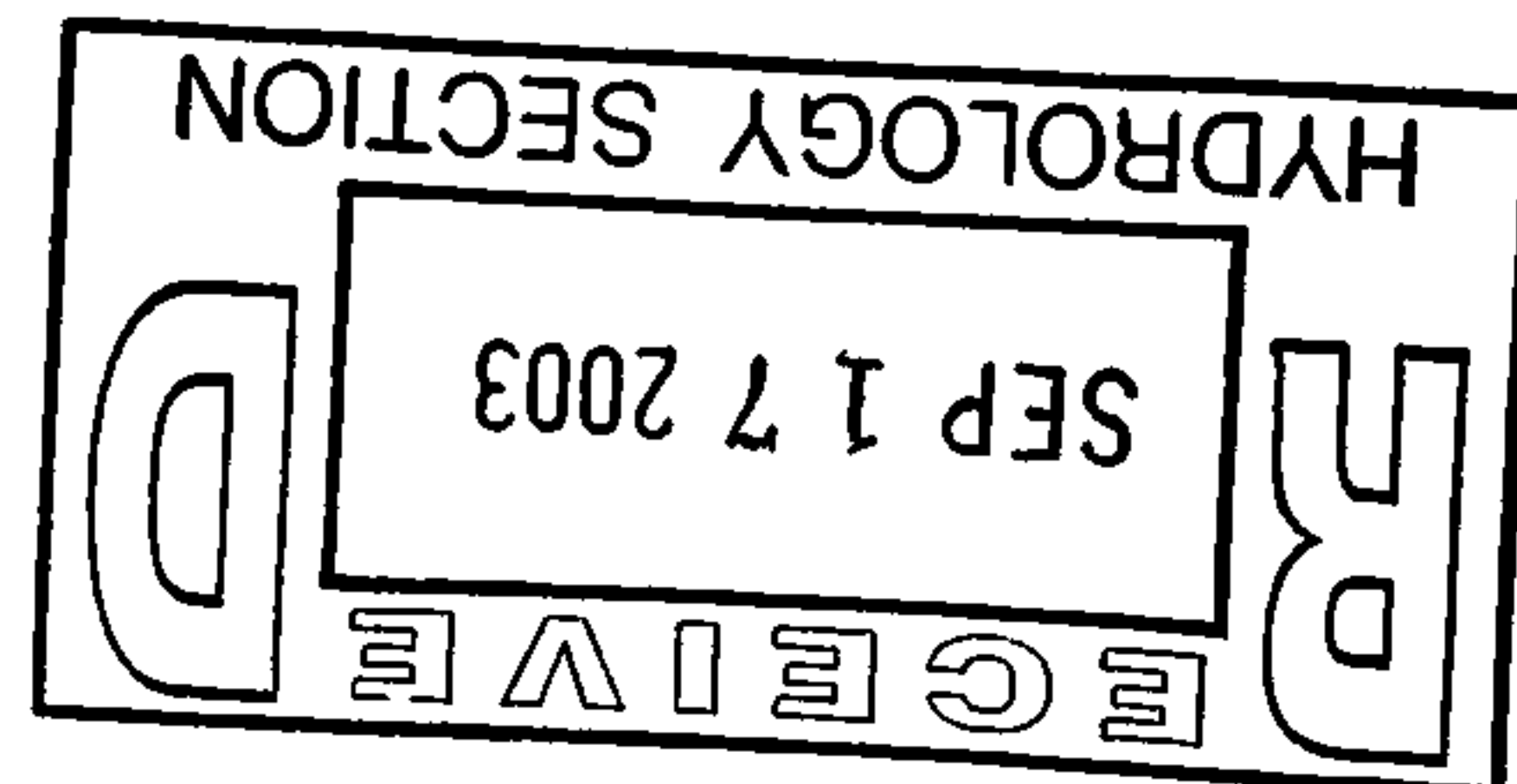
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1" SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

AS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: SEPT. 17, 2003 BY: TRENTON B. CLEFF, PRESIDENT H.L. CLEFF CONST. CO., LTD.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting more than five (5) acres.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

September 17, 2003

James B. Clark, Registered Architect  
4200 Wyoming Blvd NE, Ste B-1  
Albuquerque, NM 87111

Re: Certification Submittal for Final Building Certificate of Occupancy for  
New Office/Shop for RNG., LLC, [M-15 / D39]  
1710 Randolph Ct SE  
Architect's Stamp Dated 09/16/03

Dear Mr. Clark:

The TCL / Letter of Certification submitted on September 17, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

16 September 2003  
Project MW 0283

Development and Building Services  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

**Re: Letter of Certification**

**Project: New Office/Shop for  
R.N.Q., LLC  
1710 Randolph Ct. SE  
Albuquerque, New Mexico**

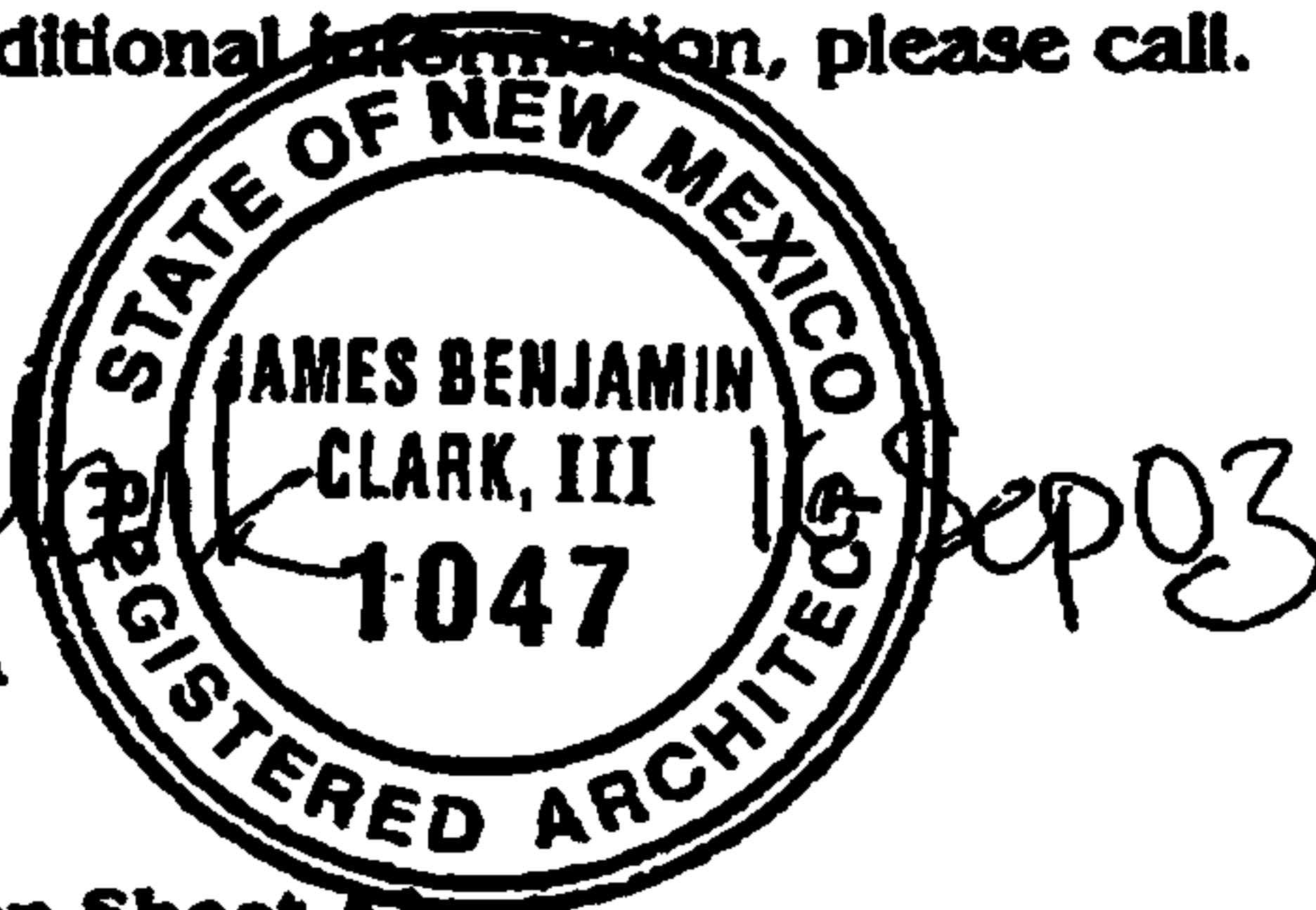
On 7 August 2003, I conducted a Site Observation Visit of the completed facility to confirm the construction of the site improvements.

My observation revealed that the site improvements as constructed are in substantial compliance with the City of Albuquerque approved DRB Site Layout Plan.

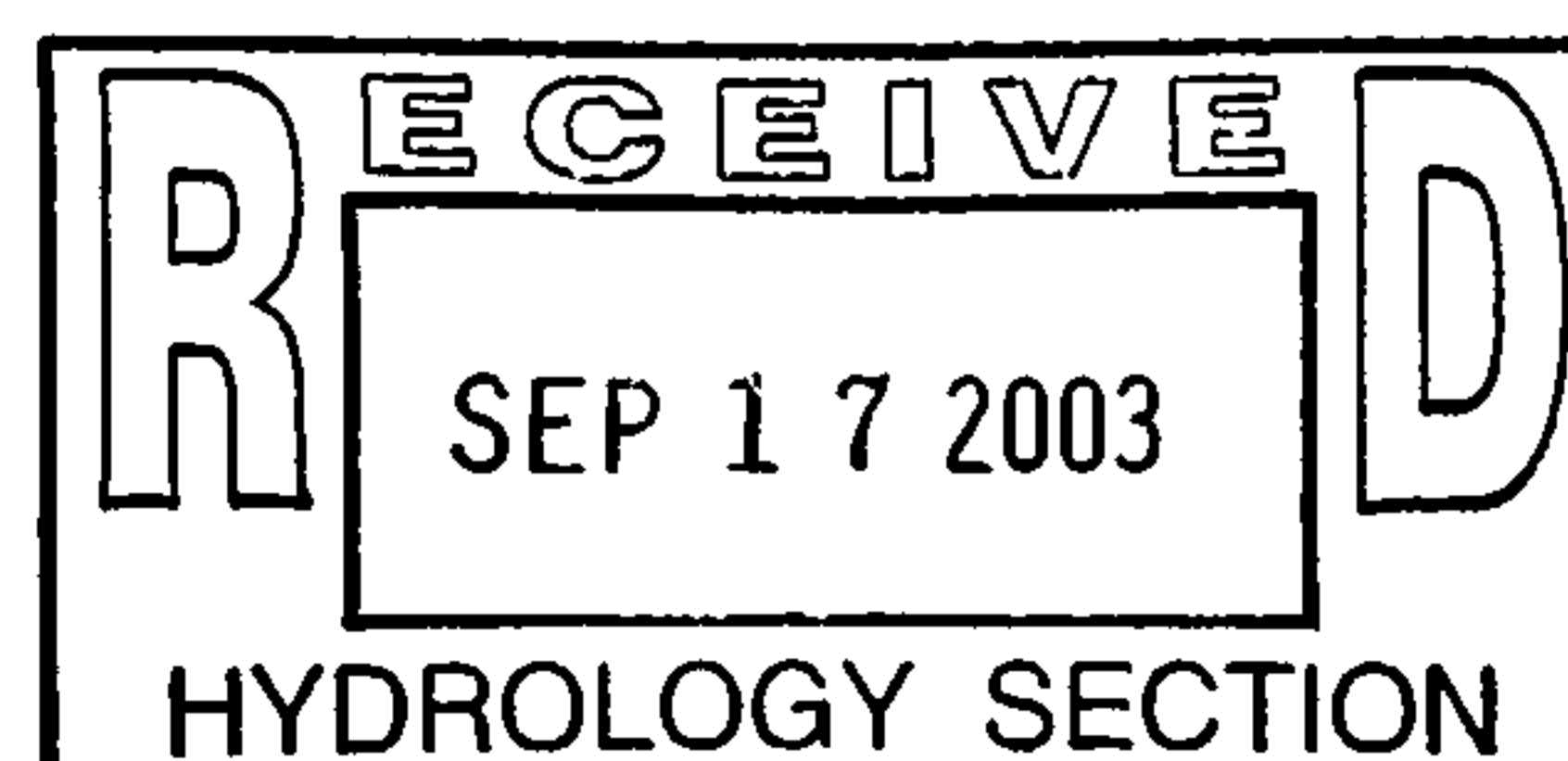
If you need any additional information, please call.

Sincerely,

James B. Clark, RA  
Vice President



Encl: DRB Site Plan Sheet A1



**MASTERWORKS ARCHITECTS, INC**

4200 Wyoming Blvd. NE, Suite B-1 Albuquerque, NM 87111  
505-242-1866 • FAX 505-242-1802  
www.masterworksarchitects.com • info@masterworksarchitects.com





## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 11, 2003

Scott McGee, PE  
Isaacson & Arfman  
128 Monroe St NE  
Albuquerque, NM 87108

Re: NZ Commercial - Lot 11 Grading Plan Certification - 1710 Randolph Ct. SE  
Engineer's Stamp dated 3-31-03  
Certification dated 9-8-03 (M15/D39)

Dear Mr. McGee,

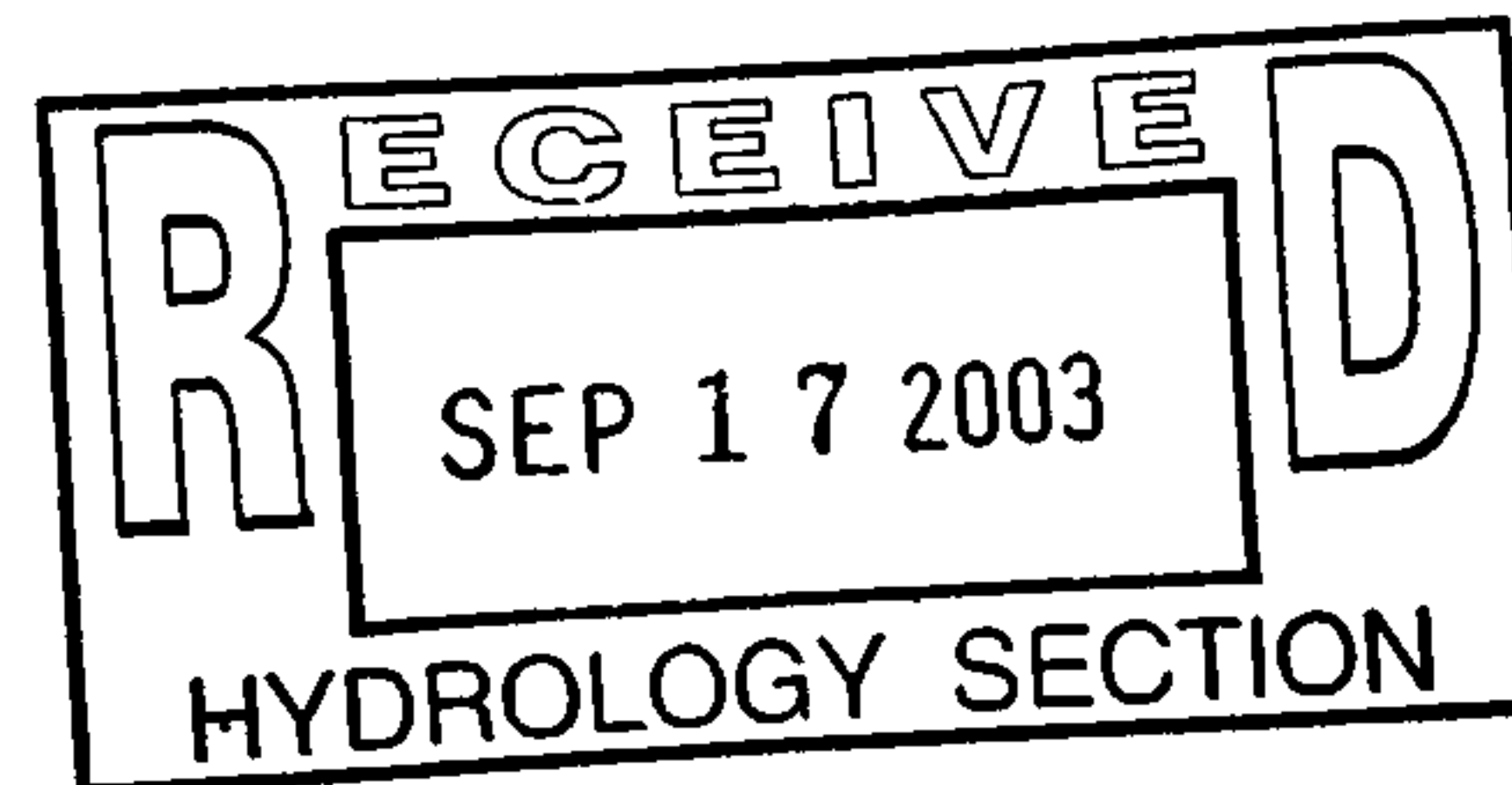
Based upon the information provided in your submittal dated 9-8-03, the above referenced certification is acceptable for Permanent Certificate of Occupancy release by Hydrology.

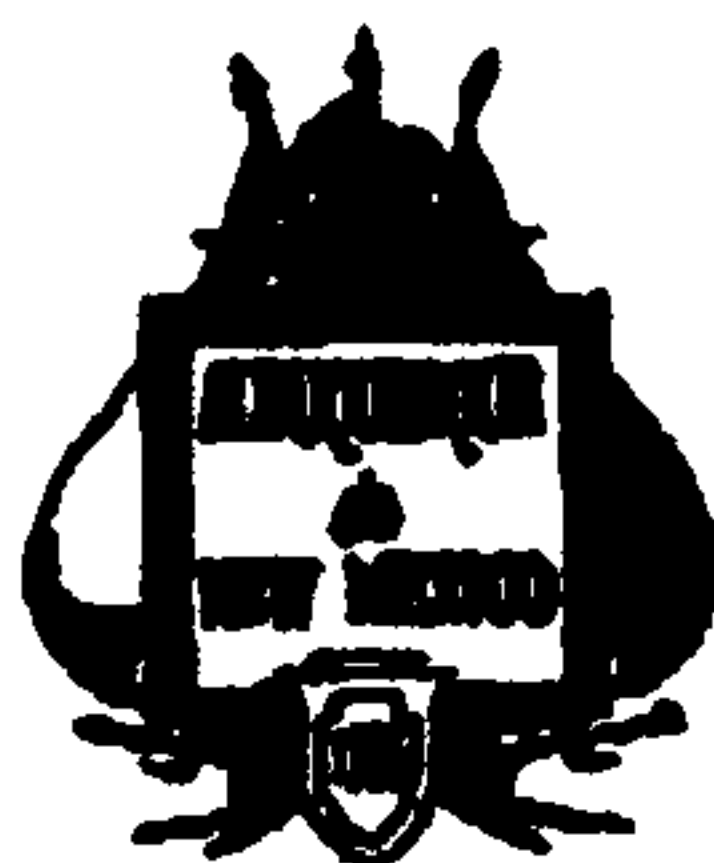
If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva, CoA  
file





# City of Albuquerque

## Environmental Health Department

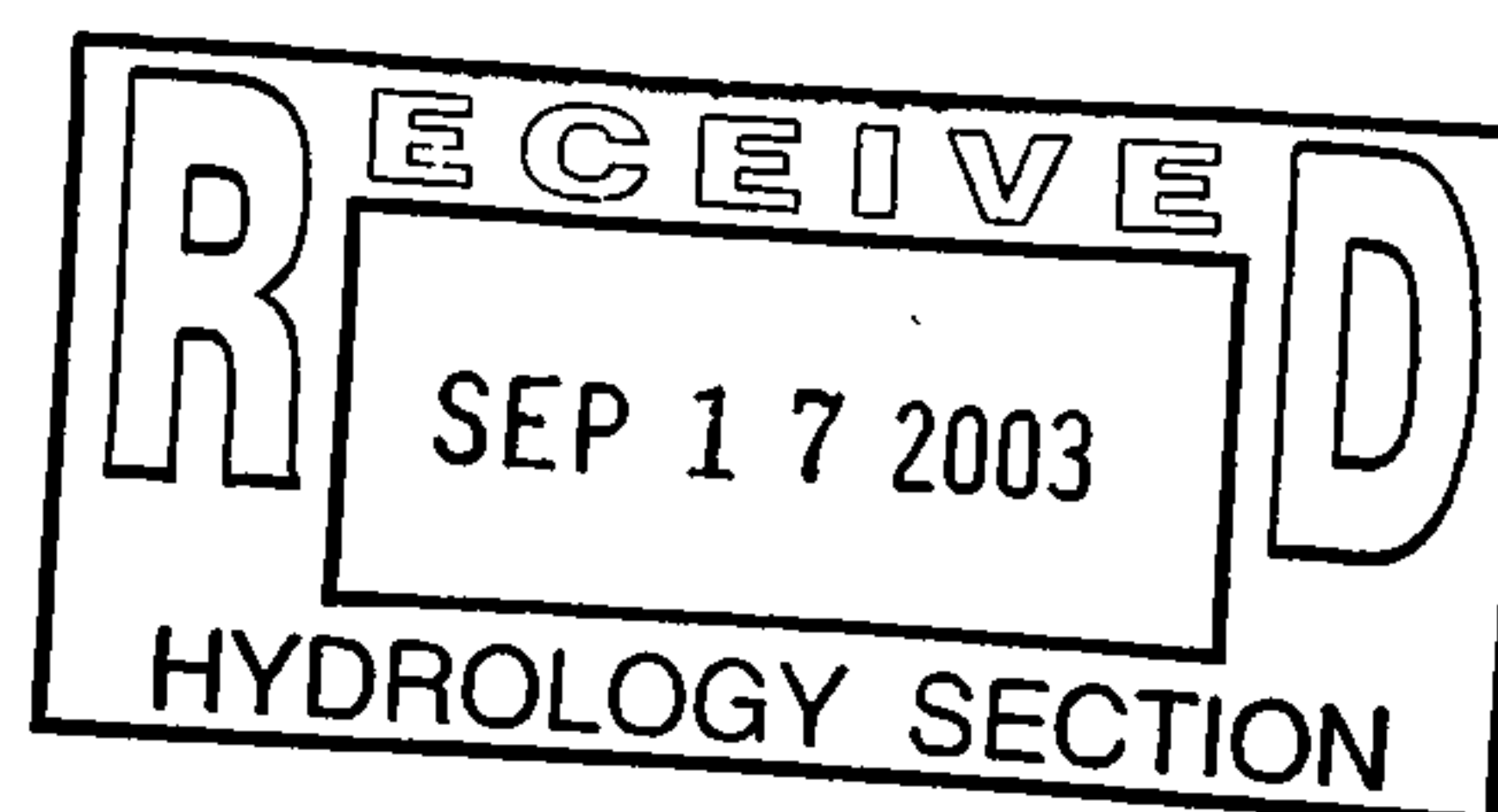
**Martin J. Chavez, Mayor**  
**Interoffice Memorandum**

---

**DATE:** September 11, 2003  
**TO:** Phyllis Villanueva, Planning Department  
**FROM:** Marcia A. Pincus, Environmental Health Department  
**SUBJECT:** Certificate of Occupancy for 1710 Randolph Court

The subject site has been certificated by a professional engineer that the proposed design of the landfill gas remediation was constructed as required; therefore, release of the CO may proceed provided all other Planning Department requirements have been met.

**cc:** Kevin Curran, Legal Department  
 Charles Kolberg, Legal Department  
 Trenton Cleff, H.L. Cleff Construction Co. Ltd. (fax 792.5769)  
 File





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 11, 2003

Scott McGee, PE  
Isaacson & Arfman  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: NZ Commercial – Lot 11 Grading Plan Certification – 1710 Randolph Ct. SE**  
**Engineer's Stamp dated 3-31-03**  
**Certification dated 9-8-03 (M15/D39)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 9-8-03, the above referenced certification is acceptable for Permanent Certificate of Occupancy release by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva, CoA  
file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: NZ COMMERCIAL - LOT 11 ZONE MAP/DRG. FILE #: M-15/D39  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: 712181

LEGAL DESCRIPTION: LOT 11 NZ COMMERCIAL OFFICE CENTER  
CITY ADDRESS: 1710 RANDOLPH CT SE

ENGINEERING FIRM: I & A  
ADDRESS: 128 MONROE NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: SCOTT MCGEE  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: MASTERWORKS ARCHITECTS  
ADDRESS: 516 11 TH ST NW  
CITY, STATE: ALB NM

CONTACT: JIM CLARK  
PHONE: 242-1866  
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING  
ADDRESS: 2412-D MONROE NE  
CITY, STATE: ALB NM

CONTACT: TONY HARRIS  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

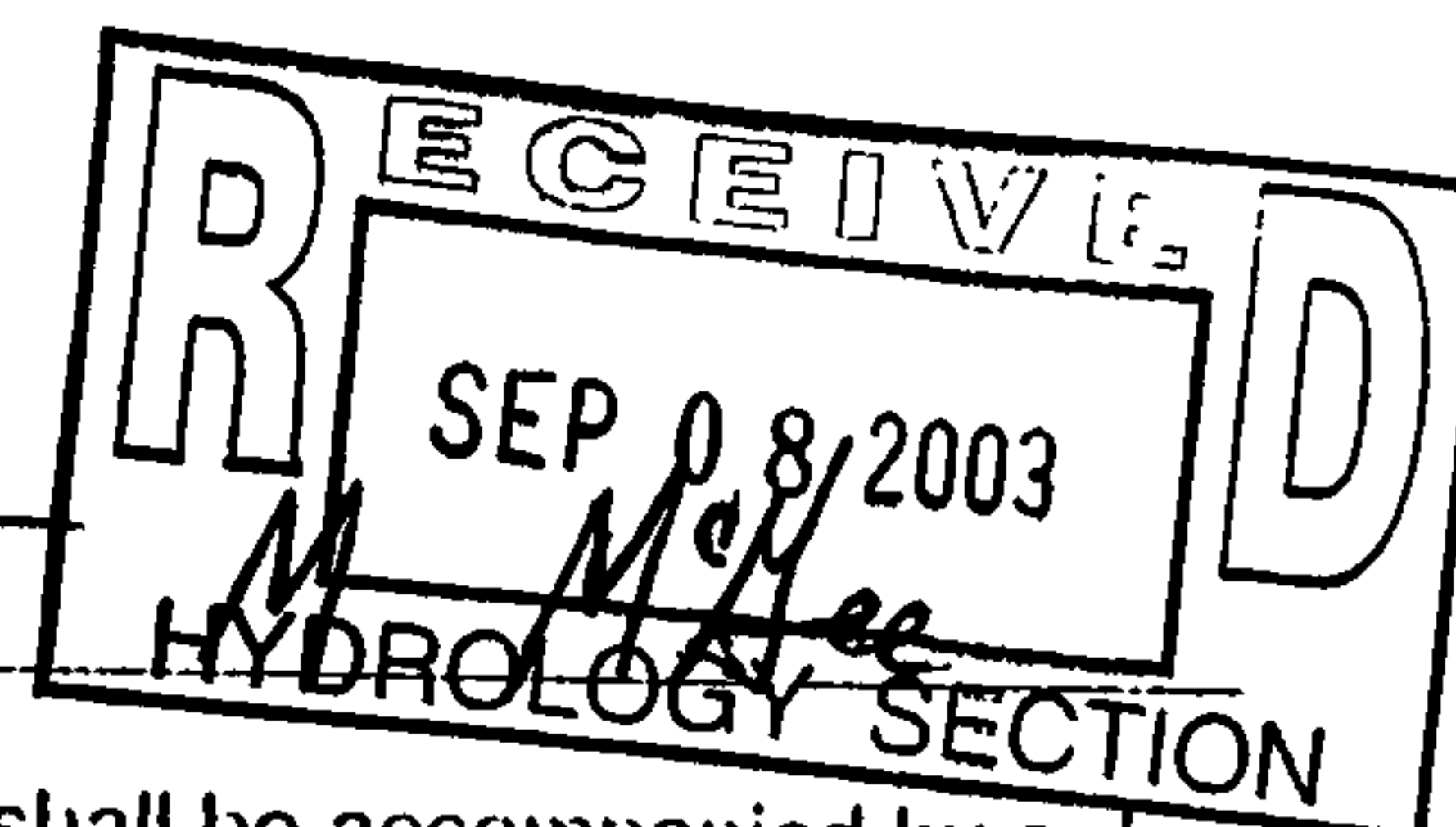
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 09/08/03 BY: Scott McGee



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 10, 2003

Scott McGee, PE  
Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

*SOI 9 ALSO APPROVED*  
*[Signature]*

**RE: NZ Commercial - Lot 11 Grading and Drainage Plan (M-15/D39)**  
**Engineer's Stamp Dated March 31, 2003**

*Permit  
pulls.*

Dear Mr. McGee:

The above referenced grading and drainage plan received April 1, 2003 is approved for Building Permit. Upon completion of the project the engineer will need to certify the project per the DPM for Certificate of Occupancy release.

This site requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you having any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions please call me at 924-3982

Sincerely,

*Carlos A. Montoya*

Carlos A. Montoya, PE  
City Floodplain Administrator

C: File  
Charles Caruso, Public Works Hydrology



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: NZ COMMERCIAL - LOT 11 ZONE MAP/DRG. FILE #: M-15/D39  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 11 NZ COMMERCIAL OFFICE CENTER  
CITY ADDRESS: 1710 RANDOLPH CT SE

ENGINEERING FIRM: I & A  
ADDRESS: 128 MONROE NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: SCOTT MCGEE  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: MASTERWORKS ARCHITECTS  
ADDRESS: 516 11 TH ST NW  
CITY, STATE: ALB NM

CONTACT: JIM CLARK  
PHONE: 242-1866  
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING  
ADDRESS: 2412-D MONROE NE  
CITY, STATE: ALB NM

CONTACT: TONY HARRIS  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

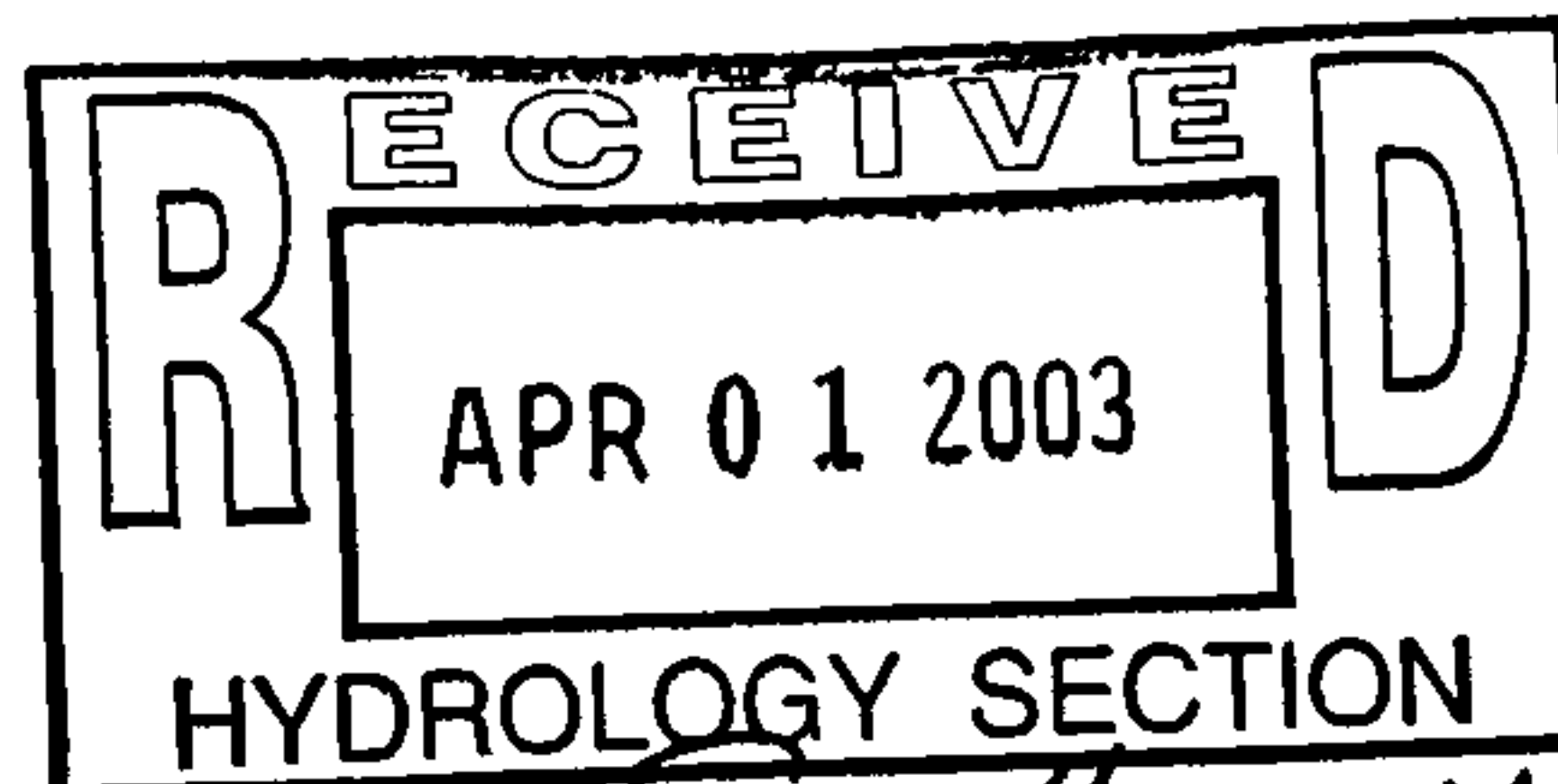
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

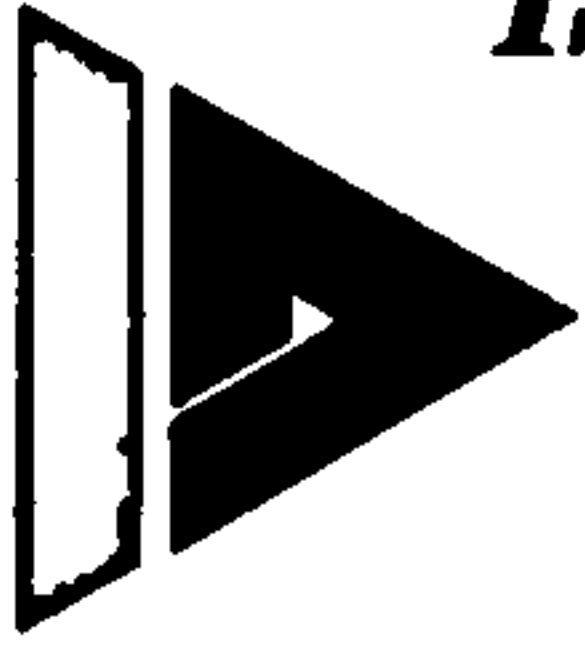
- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/01/03 BY: SCOTT M MCGEE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



**ISAACSON & ARFMAN, P.A.**

**Consulting Engineering Associates**

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE  
Scott M. McGee, PE*

April 1, 2003

Mr. Carlos Montoya, PE  
City Floodplain Administrator  
Hydrology Development Section  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87102

**RE: NZ Commercial – Lot 11 (M15/D39)  
1710 Randolph Ct. SE**

Dear Mr. Montoya;

Your review comments of 12/19/02 have been addressed with this resubmittal for Building Permit approval. The adjacent property owner has signed the plan allowing for grading on the adjacent Lot 10. An exhibit is also included to show the offsite basin (Lot 10). This exhibit is from the original grading plan prepared for this subdivision by Andrews, Asbury, and Robert in 1982. No grading appears to have been performed since that time.

If you have any additional comments or questions, please call me at 268-8828.

Sincerely,

**ISAACSON & ARFMAN, P.A.**

Scott M. McGee, PE

SMM/rtl

Attachments

Existing 6"

1. Maintenance of all drainage improvements shown hereon shall be the responsibility of the Owner.
2. Asphalt rundowns & earthen dike along south side of Randolph Court S.E. are temporary and shall be removed & replaced with permanent measures upon development of each individual lot.

**RECORD DRAWING**



**ANDREWS, ASBURY & ROBERT, INC.**  
— CONSULTING ENGINEERS —  
ALBUQUERQUE 81-263 NEW MEXICO

**CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION**

# NZ COMMERCIAL - OFFICE CENTER

## GRADING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer			Liquid Waste	NA	
A.C.E - Design	<i>[Signature]</i>	11.6.82	Traffic	N.A. RZF	
A.C.E - Hydrology	<i>[Signature]</i>	2.4.82	Water	NA	

**DRAWING  
NO.**

**1355**

**SHEET                      OF**

3

OF

10

**MOVED FOR  
TRACTION.**

LSH 4/15/82



OFFSITE  
EXHIBIT

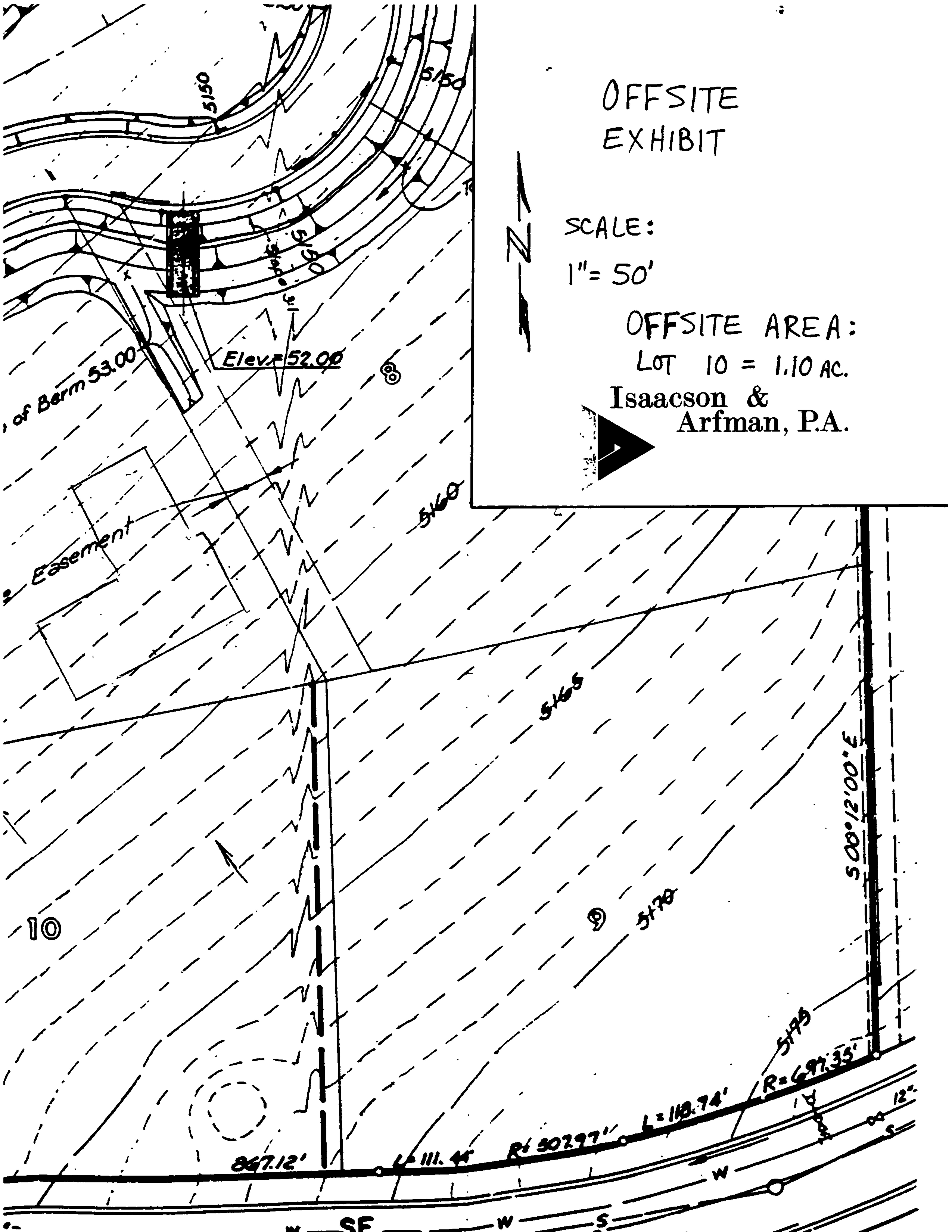
SCALE:

1" = 50'

OFFSITE AREA:

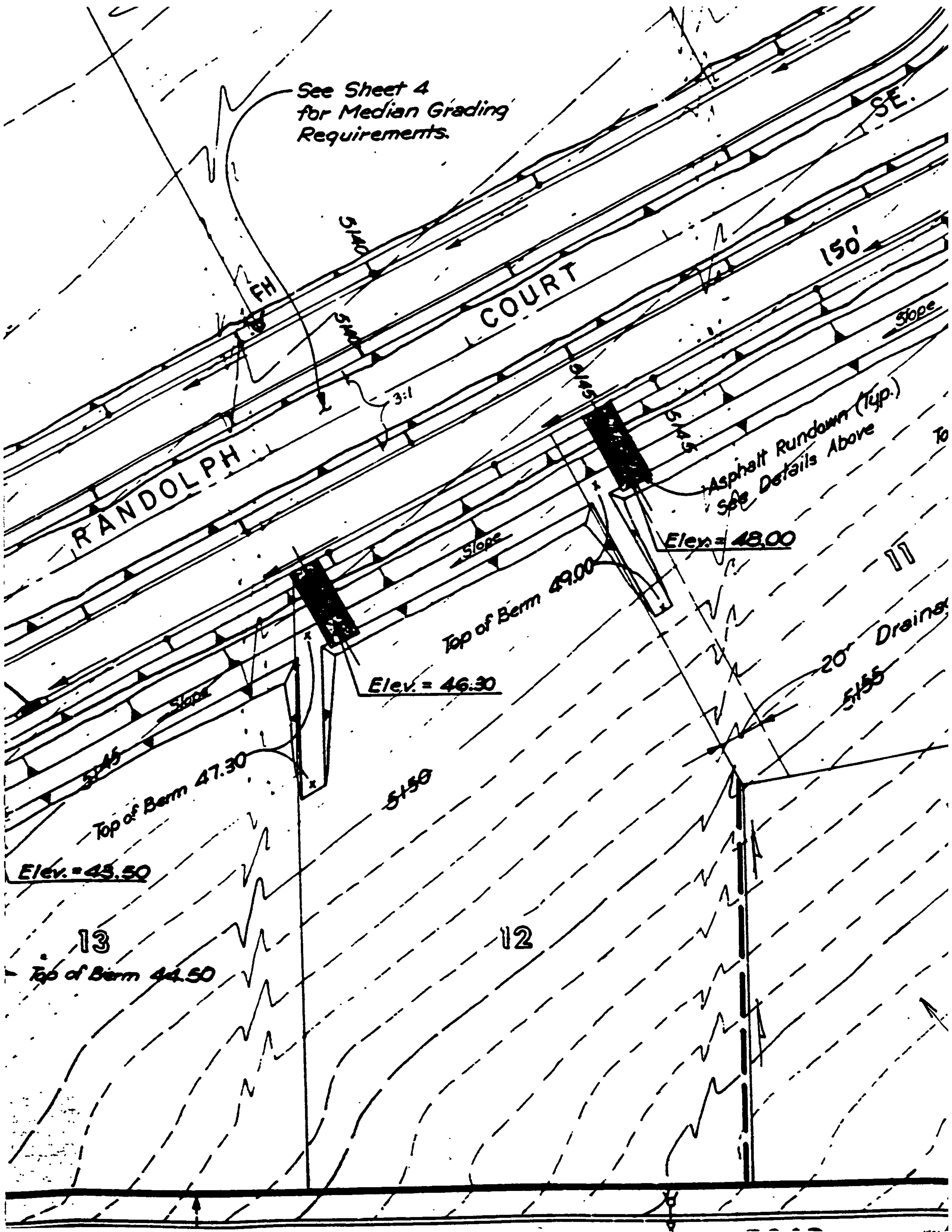
LOT 10 = 1.10 AC.

Isaacson &  
Arfman, P.A.





See Sheet 4  
for Median Grading  
Requirements.





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 19, 2002

Scott McGee  
Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

**RE: NZ Commercial - Lot 11 Grading and Drainage Plan (M-15/D39)  
Engineer's Stamp Dated November 19, 2002**

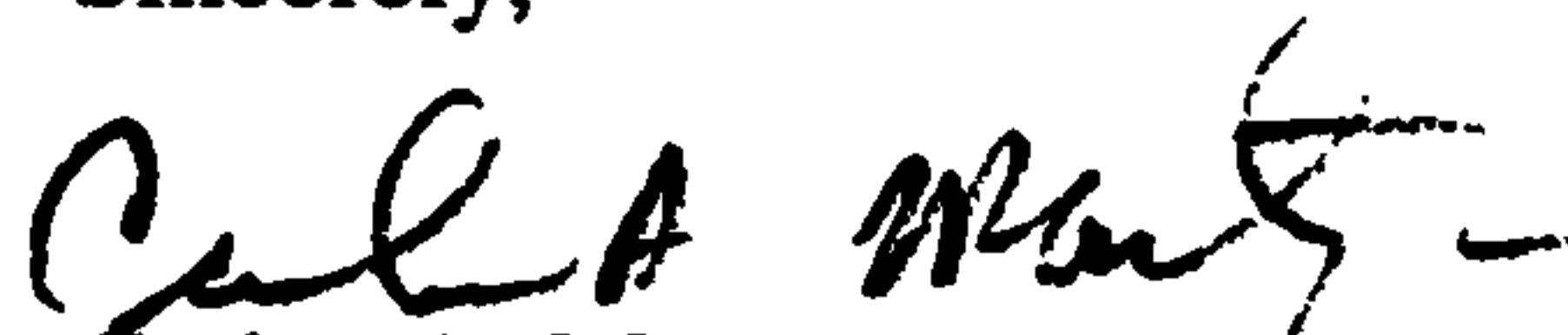
Dear Mr. McGee:

The above referenced grading and drainage plan received November 19, 2002 is approved for Site Plan for Building Permit Action by the DRB. Prior to Building Permit approval, the following comments must be addressed:

- Offsite grading requires permission of the owners of the property to be graded.
- Please provide offsite drainage basin.

If you have any questions please call me at 924-3982

Sincerely,

  
Carlos A. Montoya, PE  
City Floodplain Administrator

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/11/2002)

M-15/D39

PROJECT TITLE: NZ COMMERCIAL - LOT 11 ZONE MAP/DRG. FILE #: ~~M-15~~  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 11 NZ COMMERCIAL OFFICE CENTER  
CITY ADDRESS: 1710 RANDOLPH CT SE

ENGINEERING FIRM: I & A  
ADDRESS: 128 MONROE NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: SCOTT MCGEE  
PHONE: 268-8828  
ZIP CODE: 87108

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: MASTERWORKS ARCHITECTS  
ADDRESS: 516 11 TH ST NW  
CITY, STATE: ALB NM

CONTACT: JIM CLARK  
PHONE: 242-1866  
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING  
ADDRESS: 2412-D MONROE NE  
CITY, STATE: ALB NM

CONTACT: TONY HARRIS  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

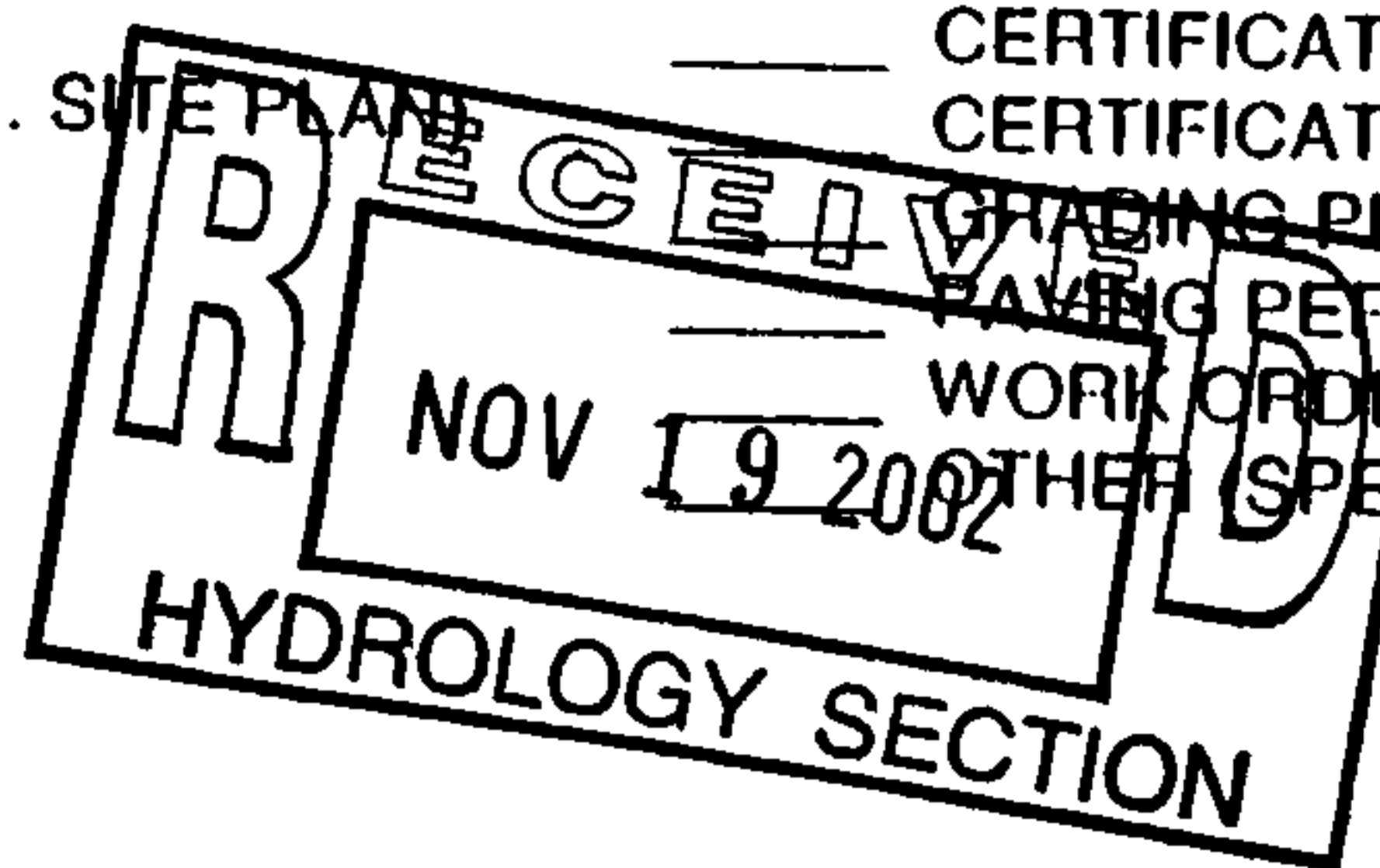
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: NOV. 19, 2002 BY: Scott M McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 7, 2003

Jim Clark  
Masterworks Architects, Inc.  
516 11<sup>th</sup> Street NW  
Albuquerque, New Mexico 87102

**RE: Traffic Circulation Layout Plan for Office Shop for RNG, LLC (M15-D39) Not Dated**

Dear Mr. Clark:

I have reviewed the referenced TCL and forward the following comments.

1. Please date your stamp for the next submittal.
2. It appears that the new sidewalk is not located in the 53 foot City of Albuquerque easement.
3. Please place curbing between landscaping and the asphalt parking if needed.
4. Please place curbing east of the ADA space and next to the 8-foot concrete walk. This curbing would be used to protect people on the 8-foot walk from vehicles backing up.

If you have any questions please call me a 924-3982.

Sincerely,

Carlos A. Montoya  
City Floodplain Administrator



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 1/11/2002)

M-15/D39

PROJECT TITLE OFFICE SHOP FOR RNG, LLC ZONE MAP/DRG. FILE # M-15-2  
 DRB # \_\_\_\_\_ EPC# 1002357 WORK ORDER# \_\_\_\_\_

LEGAL DESCRIPTION LOT 11, NZ COMMERCIAL CENTER  
 CITY ADDRESS 1710 RANDOLPH COURT SE, ABQ, NM

ENGINEERING FIRM ISAACSON & ARFMAN P.A.  
 ADDRESS 128 MONROE ST. NE  
 CITY, STATE: ABQ, NM

CONTACT: SCOTT MCGEE  
 PHONE: 268-8828  
 ZIP CODE: 87108

OWNER: RNG, LLC  
 ADDRESS 8901 VIDAL RD SW  
 CITY, STATE: ABQ, NM

CONTACT: RANDALL GURULE  
 PHONE: 873-5024  
 ZIP CODE: 87105

ARCHITECT: MASTERWORKS ARCHITECTS INC.  
 ADDRESS 516 11th St NW  
 CITY, STATE: ABQ, NM

CONTACT: JIM CLARK  
 PHONE: 242-1866  
 ZIP CODE: 87102

SURVEYOR \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: H.L. CLEFF CONST. CO.  
 ADDRESS PO Box 10283  
 CITY, STATE: ABQ NM

CONTACT: TRENT CLEFF  
 PHONE: 345-0308  
 ZIP CODE: 87184

## CHECK TYPE OF SUBMITTAL:

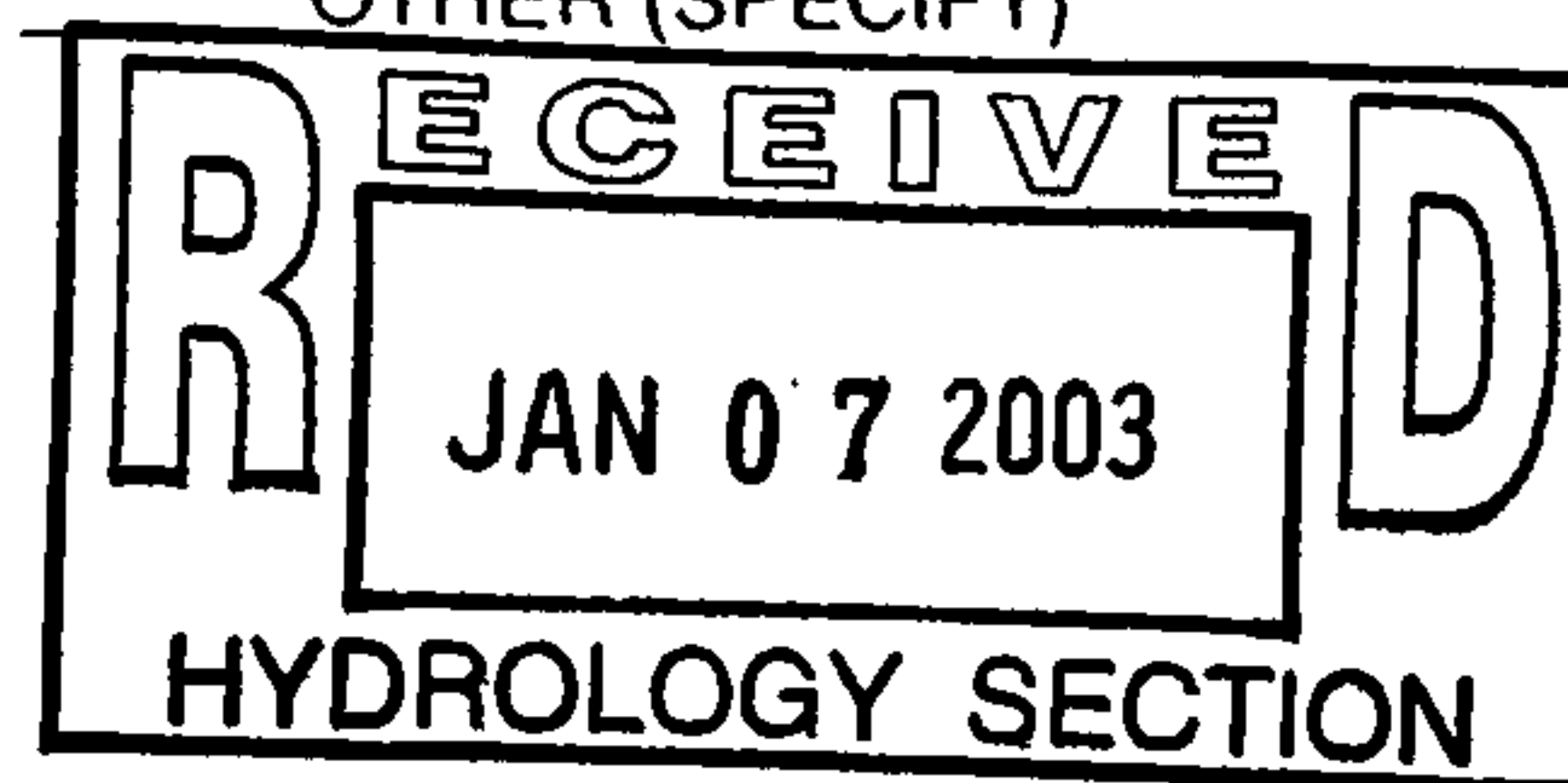
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED.

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED 6 feb 03

BY JAMES B. CLARK  
Masterworks Architects, Inc

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.