

## BENCH MARK

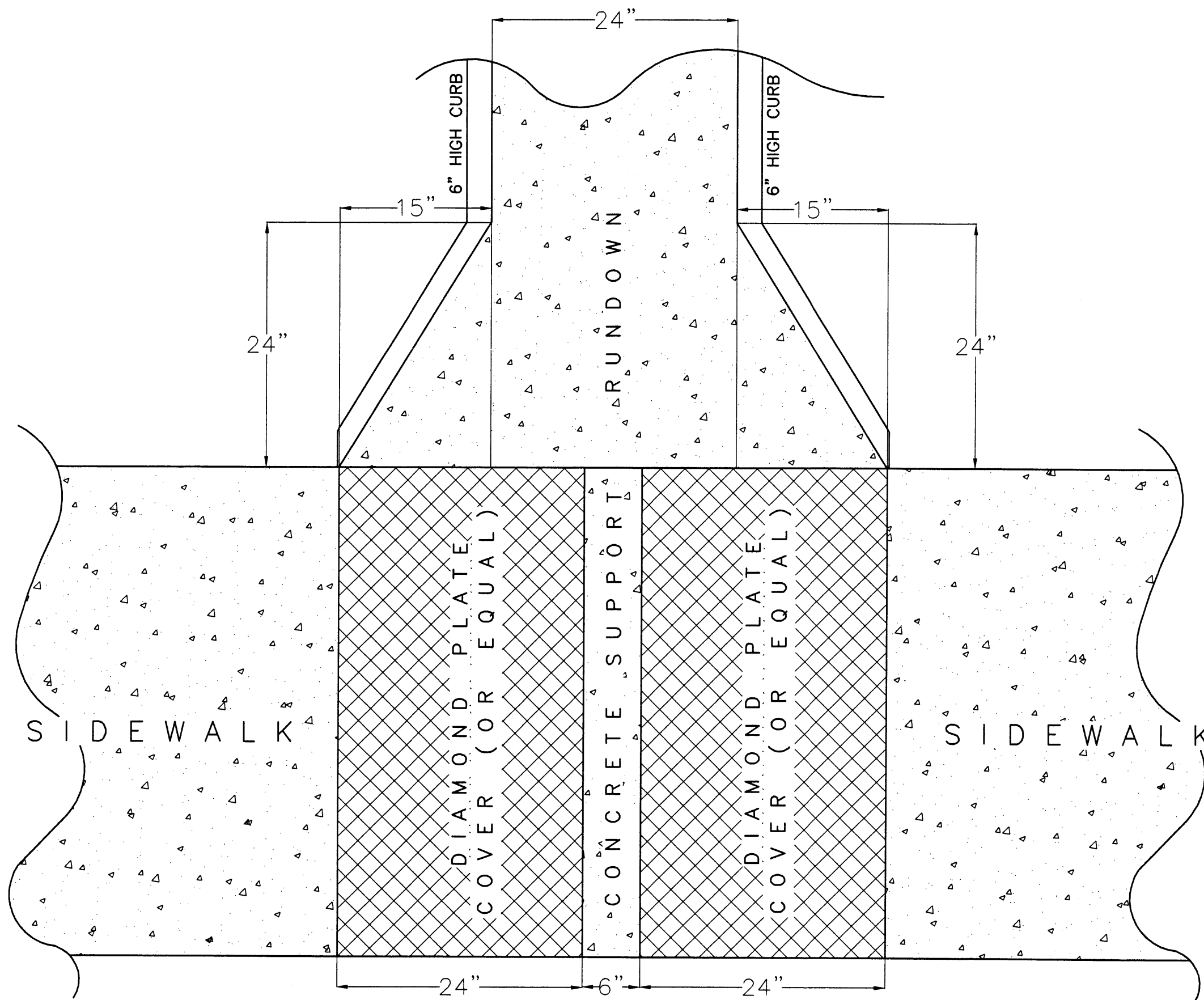
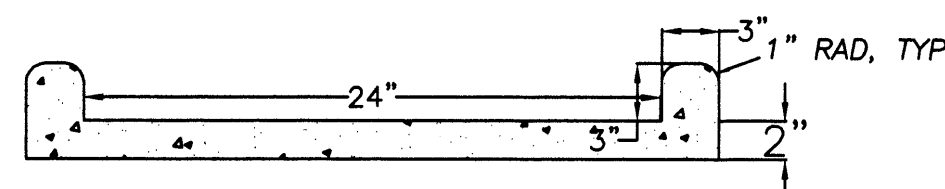
BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE OVER AMAFCA SOUTH DIVERSION CHANNEL. NGVD ELEVATION: 5047.3

## OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.

## DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOT VIA GUTTERS AND DOWNSPOUTS
- EROSION CONTROL MEASURES SHALL BE TAKEN WHERE SLOPES EXCEED 3:1. EROSION CONTROL MEASURES MAY INCLUDE: SHOTCRETE, CONCRETE, IRRIGATED TURF, RIP-RAP WITH GEOTEXTILE BACKING, TERRACING, OR ANY COMBINATION OF TECHNIQUES THEREOF. EROSION CONTROL MEASURES TAKEN SHALL BE DETERMINED BY LANDSCAPE ARCHITECT.
- SIDEWALK CULVERTS SHALL BE CONSTRUCTED PER COA STD DWG 2236. EACH SIDEWALK CULVERT SHALL BE 24" WIDE. ALIGN EDGES OF RUNDOWN WITH SIDEWALK CULVERT.
- TOPOGRAPHIC MAP PROVIDED BY SURVEYS SOUTHWEST.
- RETAINING WALL DESIGN BY OTHERS.



DETAIL "B"  
NOT TO SCALE

CHANNEL CAPACITY CALCULATIONS  
NORTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot R^{2/3} \cdot S$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $R_h = A/P = 0.167$  SQ.FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot 0.033$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)

CHANNEL CAPACITY CALCULATIONS  
SOUTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot R^{2/3} \cdot S$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $R_h = A/P = 0.167$  SQ.FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot 0.033$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)



I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON NOVEMBER 1, 2002, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920

## DRAINAGE DATA: HOLIDAY INN EXPRESS

THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	83,175	0.53	1.56	3,673.6	2.98
		B	9,241	0.78	2.28	600.7	0.48
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	83,175	0.13	0.38	901.1	0.73
		B	9,241	0.28	0.95	215.6	0.20
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	13,428	0.78	2.28	872.8	0.70
		C	0	1.13	3.14	0.0	0.00
		D	78,988	2.12	4.70	13,954.5	8.52
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	13,428	0.28	0.95	313.3	0.29
		C	0	0.52	1.71	0.0	0.00
		D	78,988	1.34	3.14	8,820.3	5.69
TOTAL (EXT)	100					4,274.2	3.5
	10					1,116.7	0.9
TOTAL (DEV)	100					14,827.4	9.2
	10					9,133.6	6.0

## NOTICE TO CONTRACTOR

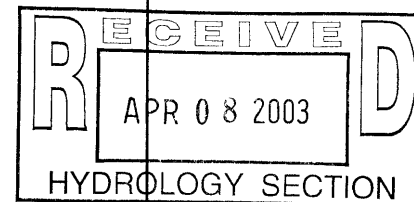
PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

## NOTICE TO CONTRACTORS

1. An excavation/barricade permit will be required before beginning any work within the City of Albuquerque Right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
2. All work detailed on these plans to be done, except as otherwise stated or provided hereon, will be constructed in accordance with "City of Albuquerque Interim Standard Specification for Public Works Construction, 1986", latest revision.
3. Two working days prior to any excavation, the contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
4. Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
5. The contractor will be responsible for performing soil density tests as required by the City of Albuquerque.



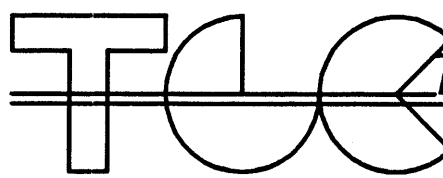
APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. _____ SHEET 1 OF 2
			ZONE ATLAS M-15

## DRAINAGE AND GRADING PLAN

LOTS 1 & 2, BLOCK 4-A  
SUNPORT PARK

FOR: AMERICUS HOSPITALITY/HOLIDAY INN

SHEET C-1

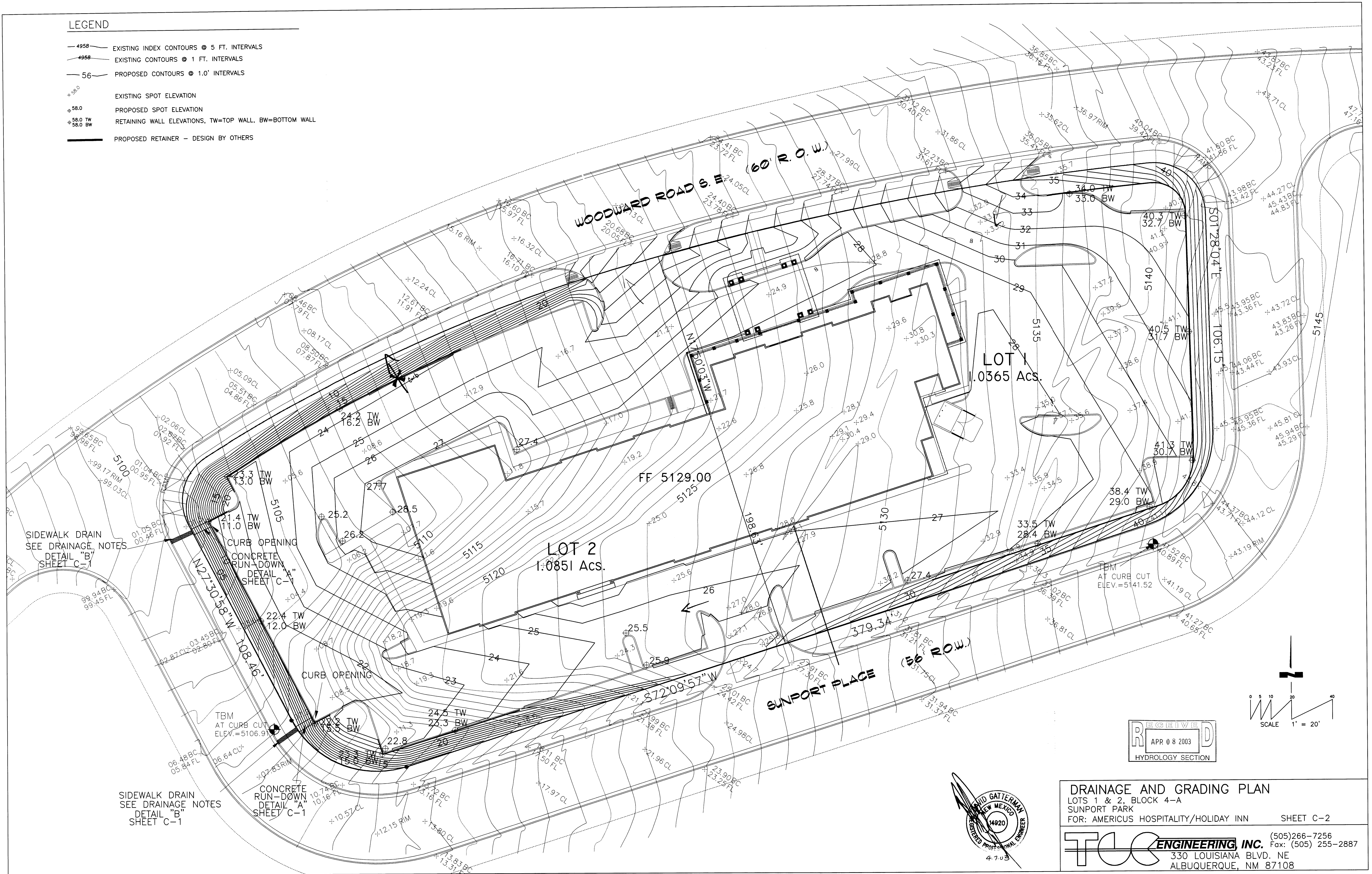


ENGINEERING, INC. (505)266-7256  
330 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87108  
Fax: (505) 255-2887

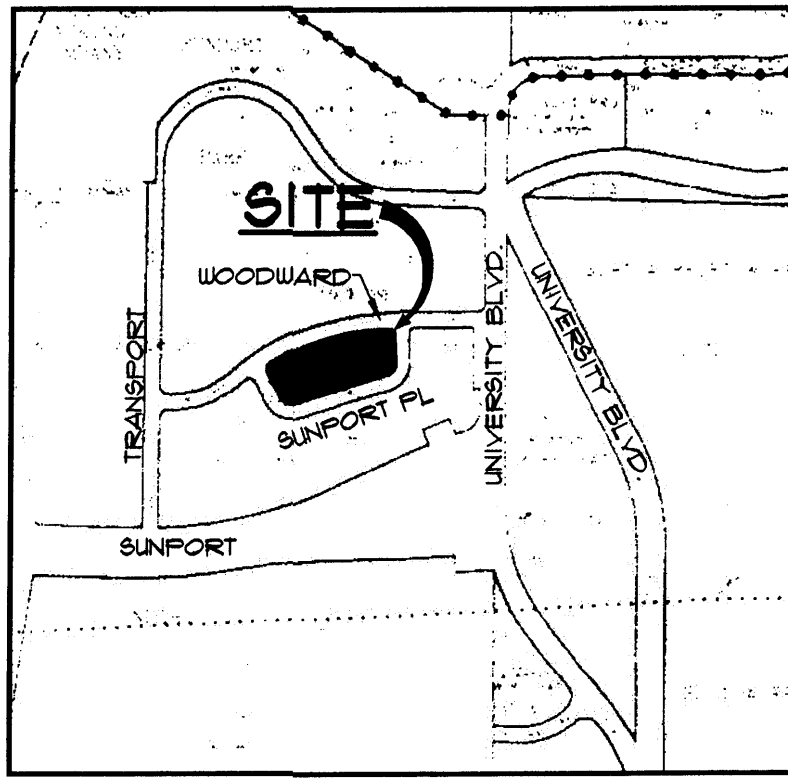


# LEGEND

- 4958 — EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 — EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 — PROPOSED CONTOURS @ 1.0' INTERVALS
- + 58.0 — EXISTING SPOT ELEVATION
- + 58.0 — PROPOSED SPOT ELEVATION
- + 58.0 TW  
+ 58.0 BW — RETAINING WALL ELEVATIONS, TW=TOP WALL, BW=BOTTOM WALL
- — PROPOSED RETAINER — DESIGN BY OTHERS



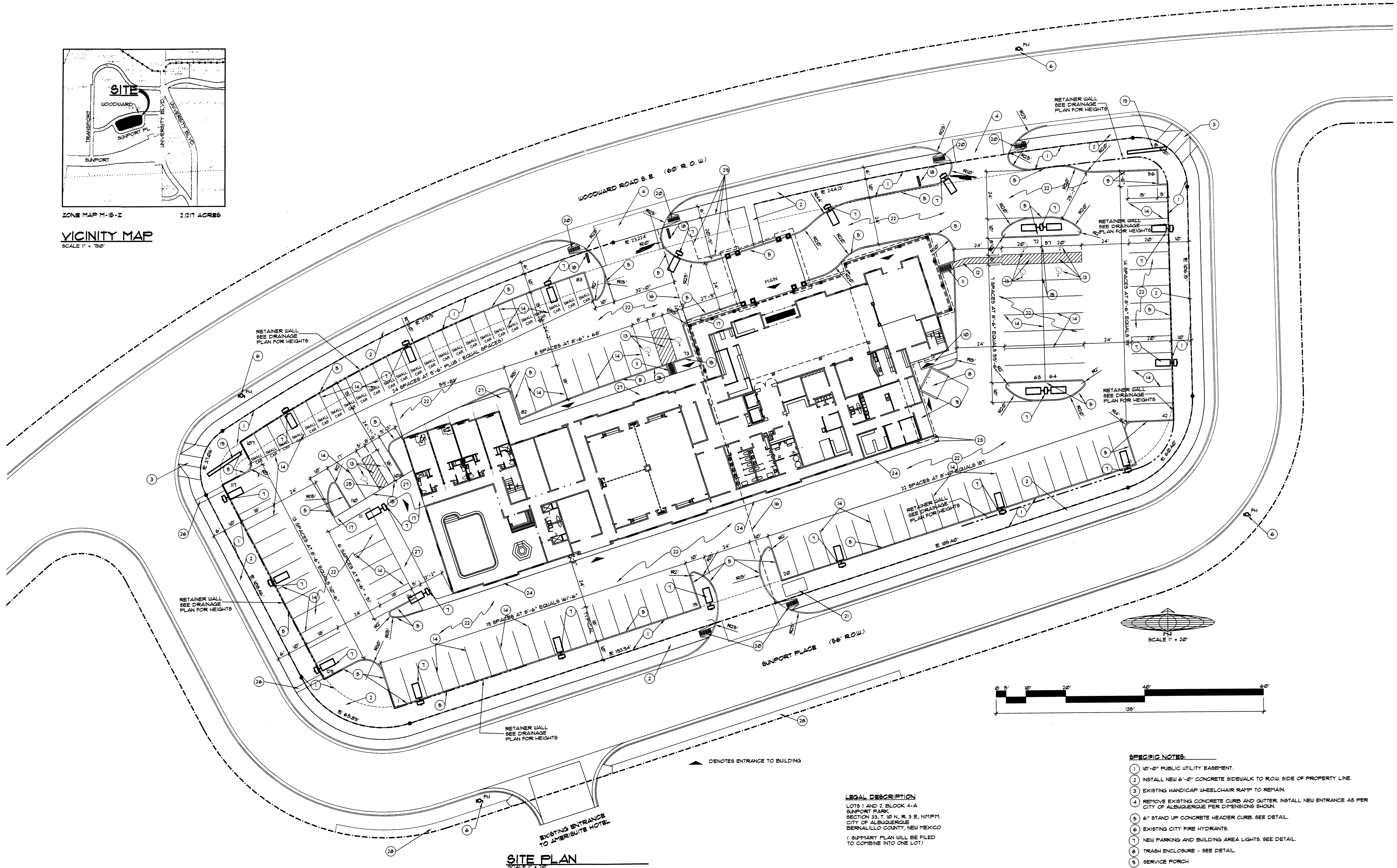




ZONE MAP M-15-2

2.1217 ACRES

VICINITY MAP  
SCALE 1" = 150'



SITE PLAN  
SCALE 1" = 10'

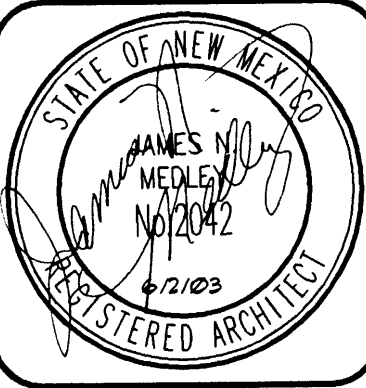
120 RENTAL UNITS -- 1 SPACE PER UNIT -- 120 SPACES  
RESTAURANT -- 54 OCCUPANTS  
LOUNGE -- 21 OCCUPANTS  
RESTAURANT / LOUNGE -- 63 OCCUPANTS / 3 -- 25 SPACES  
TOTAL SPACES REQUIRED 145 SPACES REQUIRED  
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE 14 SPACES  
131 SPACES REQUIRED

INCLUDED:  
TOTAL SPACES PROVIDED 129 SPACES PROVIDED  
HANDICAP SPACES PROVIDED 8 SPACES PROVIDED  
SMALL CAR SPACES (20% OR 25 PERMITTED) 125 SPACES PROVIDED

LEGAL DESCRIPTION  
LOTS 1 AND 2, BLOCK 4-A  
SUNPORT PARK  
SECTION 33, T. 10 N. R. 3 E. N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
(SUPPORTY PLAN WILL BE FILED  
TO COMBINE INTO ONE LOT)

SPECIFIC NOTES:

- 1' 10'-0" PUBLIC UTILITY EASEMENT.
- INSTALL NEW 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF PROPERTY LINE.
- EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
- REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE PER DIMENSIONS SHOWN.
- 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
- EXISTING CITY FIRE HYDRANTS.
- NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- TRASH ENCLOSURE - SEE DETAIL.
- SERVICE PORCH
- 48" CONCRETE WALK.
- HANDICAP RAMP WITH 6" CURB EACH SIDE.
- 3" WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" WIDE.
- 3" WIDE BLUE HANDICAP STRIPING.
- 3" WIDE YELLOW PARKING SPACE STRIPING.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST, 60" TO BOTTOM A.F.G.
- EXISTING PROPERTY LINE TO BE REMOVED BY SUPPORTY PLAN.
- 60" WIDE CONCRETE SIDEWALK.
- ENTRANCE AND EXIT SIGNS, 24" H X 48" W X 36" H. (NON-ILLUMINATED)
- ILLUMINATED SITE SIGN. SEE DETAIL.
- INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
- EXISTING CONCRETE TRANSFORMER PAD TO BE SCREENED BY LANDSCAPE MATERIAL.
- ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
- 6" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
- CONCRETE SIDEWALK AS DIMENSIONED.
- ASPHALT AND CONCRETE SIDEWALK FLUSH. NO HANDICAP RAMP REQUIRED.
- CONCRETE RUN DOWN ..... SEE DETAIL ON DRAINAGE PLAN.
- 8' WIDE SIDEWALK.
- EXISTING 48" PUBLIC SIDEWALK.
- 20' X 20' WATER METER EASEMENT.



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Phone (505) 292-3514 Fax (505) 294-5593  
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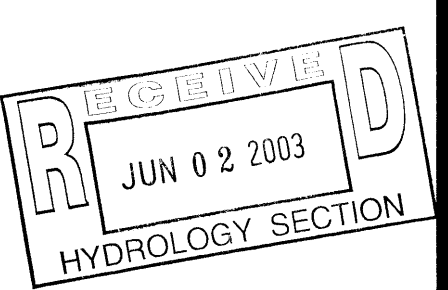
Plan No. 03020  
Date: June 03  
Drawn by: JMM  
Checked by: JMM

Project:  
**Holiday Inn  
HOTEL & SUITES**  
AMERITUS HOSPITALITY INC.

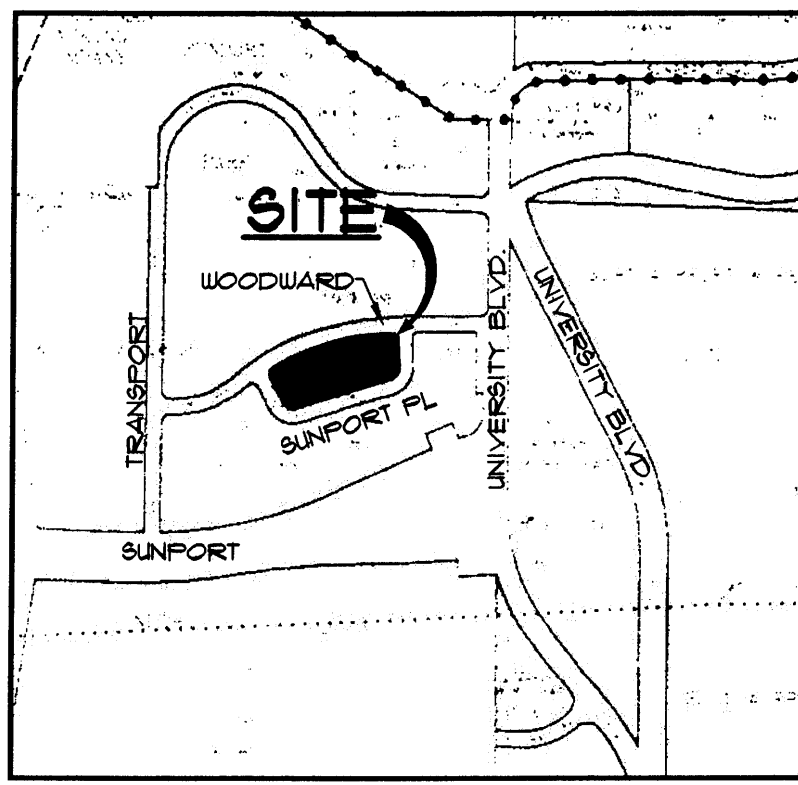
No.	Revision / Issue	Date:

Sheet Description  
**TRAFFIC CIRCULATION  
LAYOUT**

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of





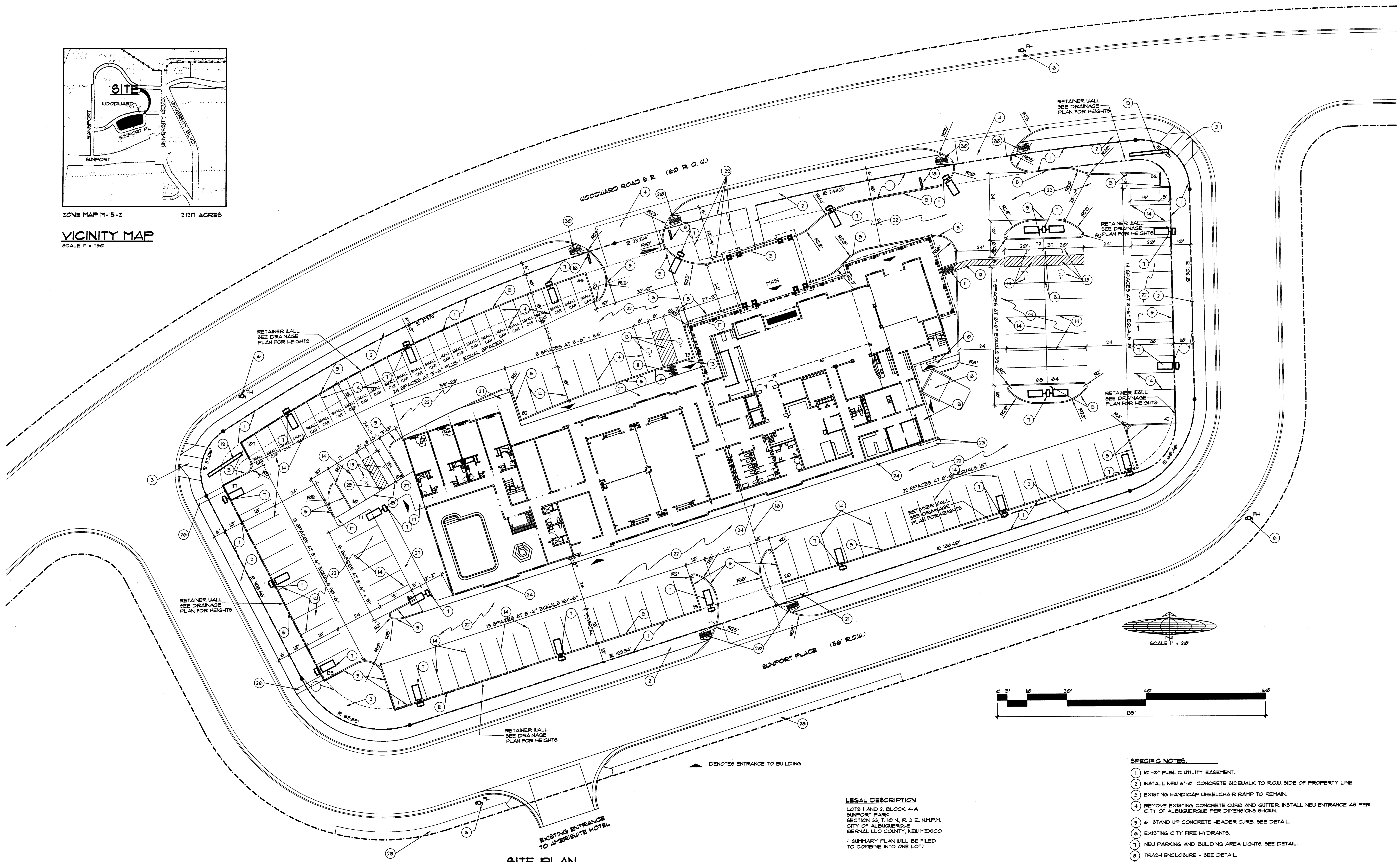


ZONE MAP M-15-Z

2.121 ACRES

VICINITY MAP

SCALE 1" = 150'



SITE PLAN

SCALE 1" = 20'

120 RENTAL UNITS -- 1 SPACE PER UNIT = 120 SPACES  
RESTAURANT -- 54 OCCUPANTS  
LOUNGE -- 21 OCCUPANTS  
RESTAURANT / LOUNGE -- 63 OCCUPANTS / 3 = 21 SPACES  
TOTAL SPACES REQUIRED 141 SPACES

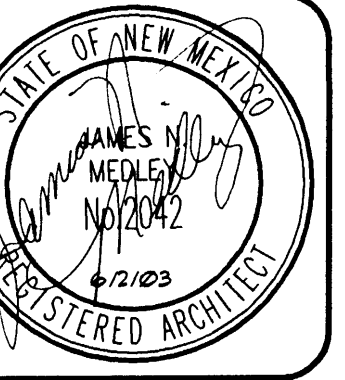
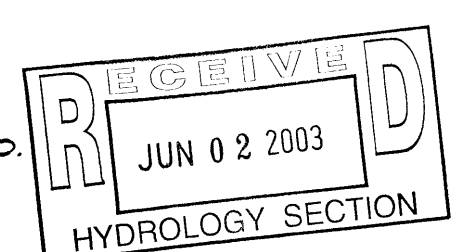
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE 14 SPACES  
TOTAL SPACES PROVIDED 126 SPACES

INCLUDED  
TOTAL SPACES PROVIDED 126 SPACES PROVIDED  
HANDICAP SPACES PROVIDED 8 SPACES PROVIDED  
SMALL CAR SPACES (20' OR 25' PERMITTED) 25 SPACES PROVIDED

LEGAL DESCRIPTION  
LOTS 1 AND 2, BLOCK 4-A  
SUNPORT PARK  
SECTION 33, T. 10 N. R. 3 E. N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
(SUMMARY PLAN WILL BE FILED  
TO COMBINE INTO ONE LOT)

#### SPECIFIC NOTES:

- 10'-0" PUBLIC UTILITY EASEMENT.
- INSTALL NEW 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF PROPERTY LINE.
- EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
- REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE PER DIMENSIONS SHOWN.
- 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
- EXISTING CITY FIRE HYDRANTS.
- NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- TRASH ENCLOSURE - SEE DETAIL.
- SERVICE PORCH.
- 48" CONCRETE WALK.
- HANDICAP RAMP WITH 6" CURB EACH SIDE.
- 3" WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" WIDE.
- 3" WIDE BLUE HANDICAP STRIPING.
- 3" WIDE YELLOW PARKING SPACE STRIPING.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST, 6'-0" TO BOTTOM A.F.G.
- EXISTING PROPERTY LINE TO BE REMOVED BY SUMMARY PLAN.
- 6'-0" WIDE CONCRETE SIDEWALK.
- ENTRANCE AND EXIT SIGNS, 24" H X 48" W X 36" H (NON-ILLUMINATED).
- ILLUMINATED SITE SIGN. SEE DETAIL.
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- CONCRETE SIDEWALK AS DIMENSIONED.
- ASPHALT AND CONCRETE SIDEWALK FLUSH. NO HANDICAP RAMP REQUIRED.
- CONCRETE RUN DOWN ..... SEE DETAIL ON DRAINAGE PLAN.
- 8' WIDE SIDEWALK.
- EXISTING 48" PUBLIC SIDEWALK.
- 20' X 20' WATER METER EASEMENT.



JIM MEDLEY, Architect  
No. 36,885  
3100 Christine N. E. Albuquerque, NM 87111  
Phone (505) 292-5551 Fax (505) 294-5593

Plan No. 0202  
Date June 03  
Drawn by JMT  
Checked by JMT

Project:  
Holiday Inn  
HOTEL & SUITES  
AMERITUS HOSPITALITY INC.

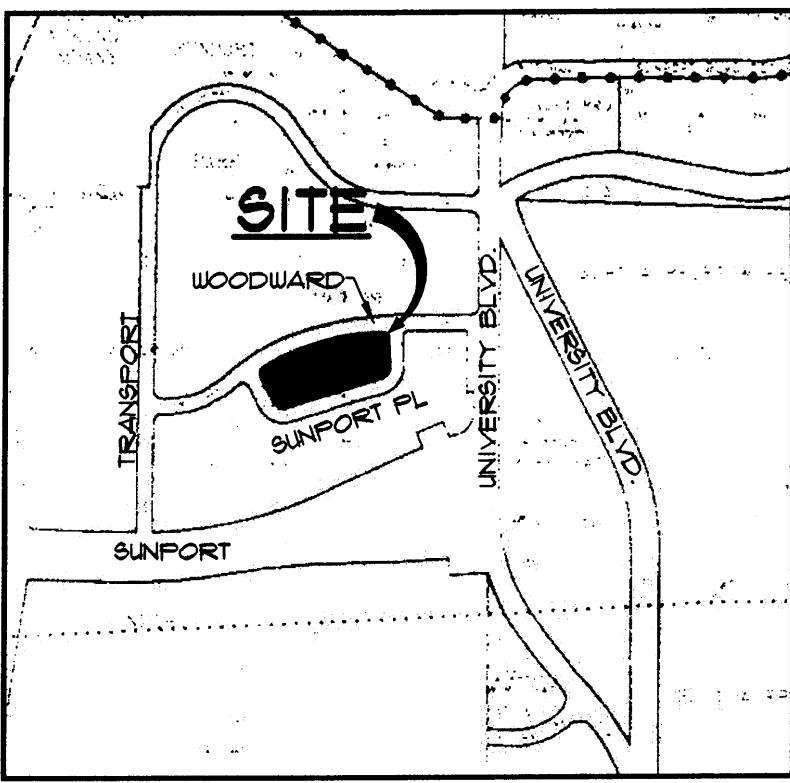
No.	Revision / Issue	Date

Sheet Description  
TRAFFIC CIRCULATION  
LAYOUT

Sheet:

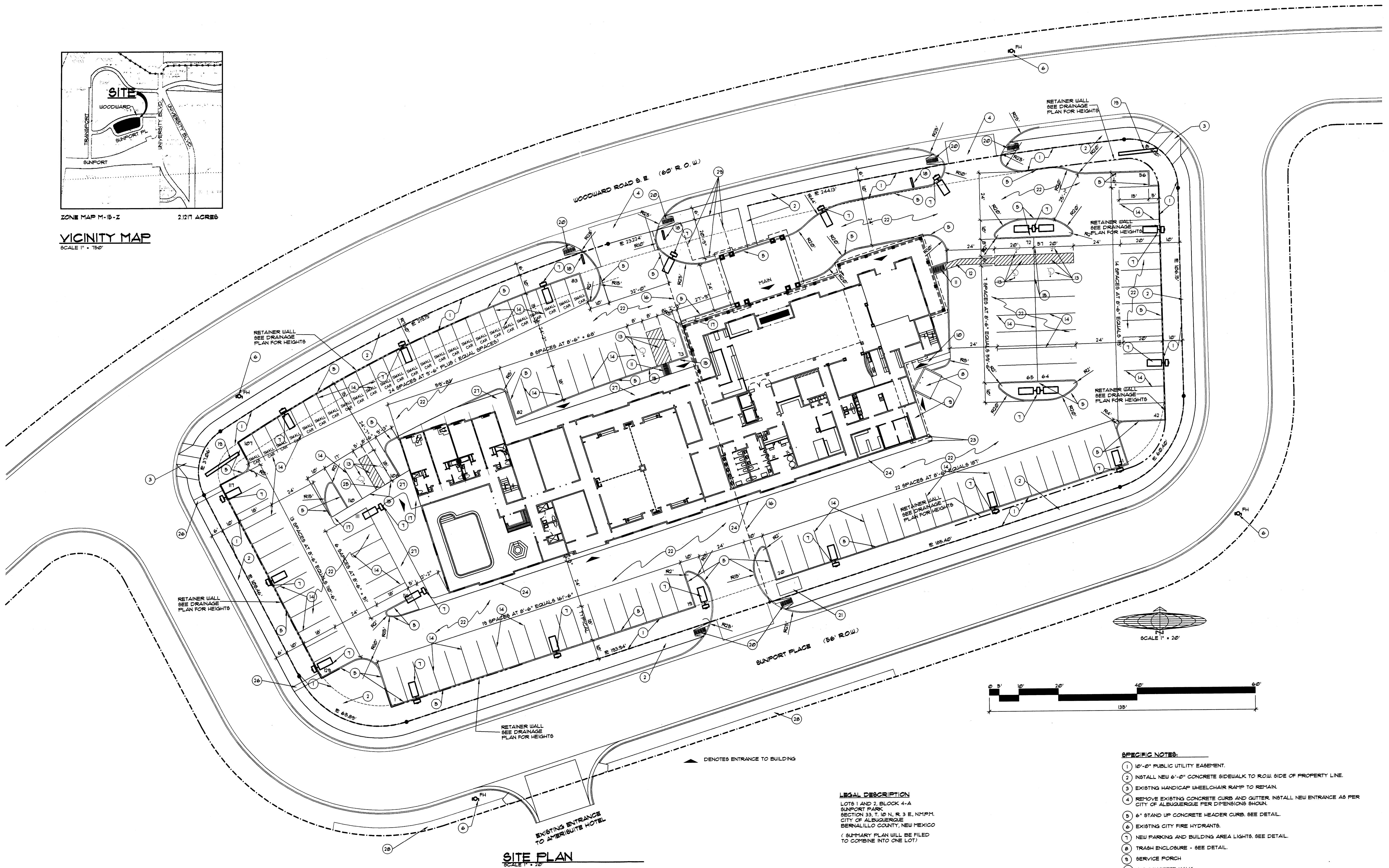
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ZONE MAP M-1-B-Z 2.1217 ACRES

VICINITY MAP  
SCALE 1" = 150'



SITE PLAN  
SCALE 1" = 20'

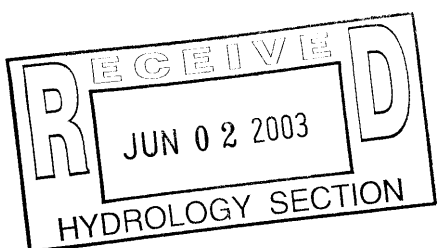
100 RENTAL UNITS -- 1 SPACE PER UNIT -- 100 SPACES  
RESTAURANT -- 84 OCCUPANTS  
LOUNGE -- 21 OCCUPANTS  
RESTAURANT / LOUNGE -- 69 OCCUPANTS / 3 -- 25 SPACES  
TOTAL SPACES REQUIRED 145 SPACES REQUIRED  
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE 14 SPACES  
131 SPACES PROVIDED

INCLUDED  
TOTAL SPACES PROVIDED 125 SPACES PROVIDED  
HANDICAP SPACES PROVIDED 8 SPACES PROVIDED  
SMALL CAR SPACES (20% OR 15 PERMITTED) 25 SPACES PROVIDED

LEGAL DESCRIPTION  
LOTS 1 AND 2, BLOCK 4-A  
SUNPORT PARK  
SECTION 35, T. 10 N., R. 3 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
(SUMMARY PLAN WILL BE FILED  
TO COMBINE INTO ONE LOT)

SPECIFIC NOTES:

- 1) 10'-0" PUBLIC UTILITY EASEMENT.
- 2) INSTALL NEW 6'-0" CONCRETE SIDEWALK TO R.O.W. SIDE OF PROPERTY LINE.
- 3) EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
- 4) REMOVE EXISTING CONCRETE CURBS AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE PER DIMENSIONS SHOWN.
- 5) 6" STAND UP CONCRETE HEADER CURBS. SEE DETAIL.
- 6) EXISTING CITY FIRE HYDRANTS.
- 7) NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- 8) TRASH ENCLOSURE - SEE DETAIL.
- 9) SERVICE PORCH.
- 10) 48" CONCRETE WALK.
- 11) HANDICAP RAMP WITH 6" CURBS EACH SIDE.
- 12) 3" WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" WIDE.
- 13) 3" WIDE BLUE HANDICAP STRIPING.
- 14) 3" WIDE YELLOW PARKING SPACE STRIPING.
- 15) 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST, 60" TO BOTTOM A.F.G.
- 16) EXISTING PROPERTY LINE TO BE REMOVED BY SUMMARY PLAN.
- 17) 60" WIDE CONCRETE SIDEWALK.
- 18) ENTRANCE AND EXIT SIGNS, 24" H X 48" W X 36" H (NON-ILLUMINATED).
- 19) ILLUMINATED SITE SIGN. SEE DETAIL.
- 20) INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
- 21) EXISTING CONCRETE TRANSFORMER PAD TO BE SCREENED BY LANDSCAPE MATERIAL.
- 22) ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
- 23) 6" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
- 24) CONCRETE SIDEWALK AS DIMENSIONED.
- 25) ASPHALT AND CONCRETE SIDEWALK FLUSH. NO HANDICAP RAMP REQUIRED.
- 26) CONCRETE RUN DOWN ..... SEE DETAIL ON DRAINAGE PLAN.
- 27) 9" WIDE SIDEWALK.
- 28) EXISTING 48" PUBLIC SIDEWALK.
- 29) 20' X 20' WATER METER EASEMENT.



JHM Medley, Architect  
NCAAB Certificate No. 35,895  
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Rev. No. 0302  
Date June 03  
Drawn by JHM  
Checked by JHM

Project:  
**Holiday Inn**  
**HOTEL & SUITES**  
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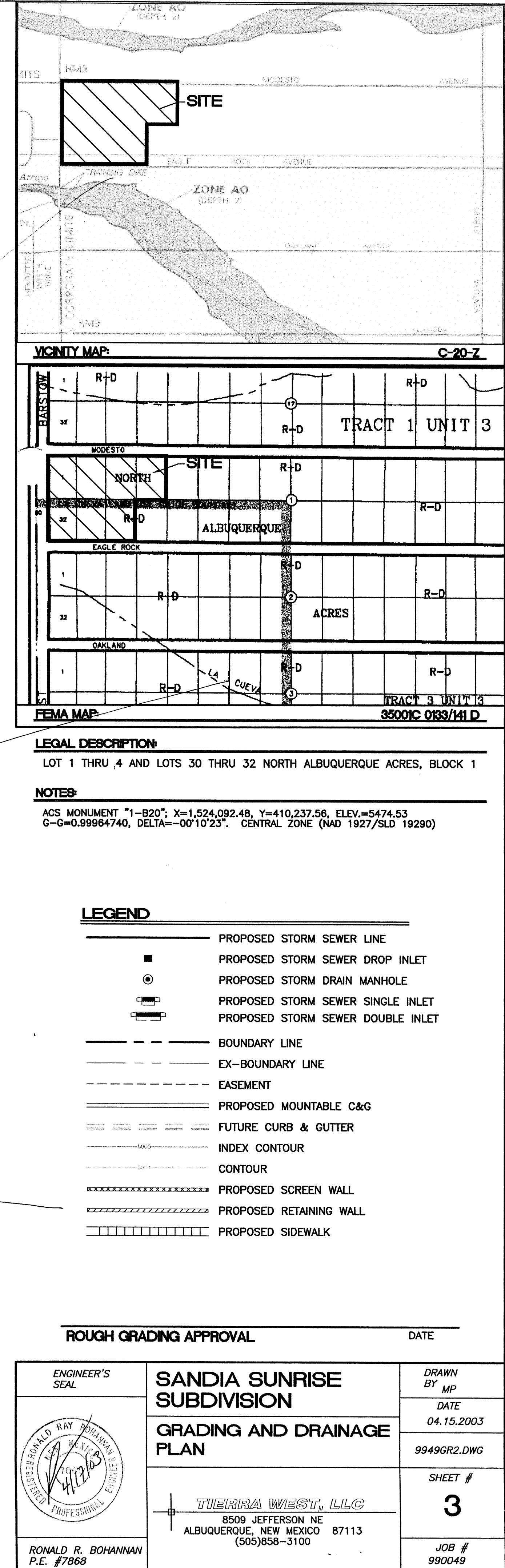
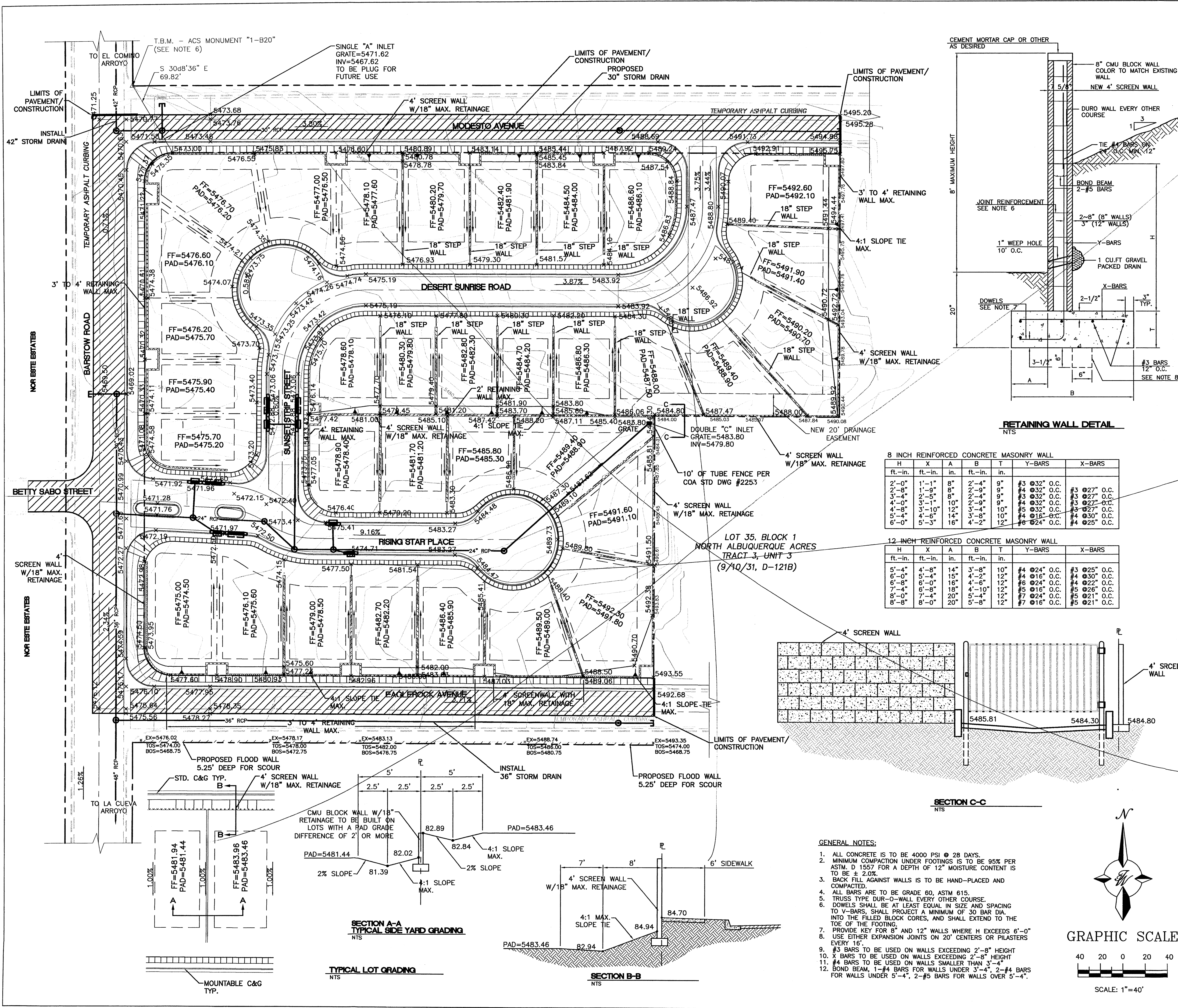
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Sheet Description  
**TRAFFIC CIRCULATION  
LAYOUT**

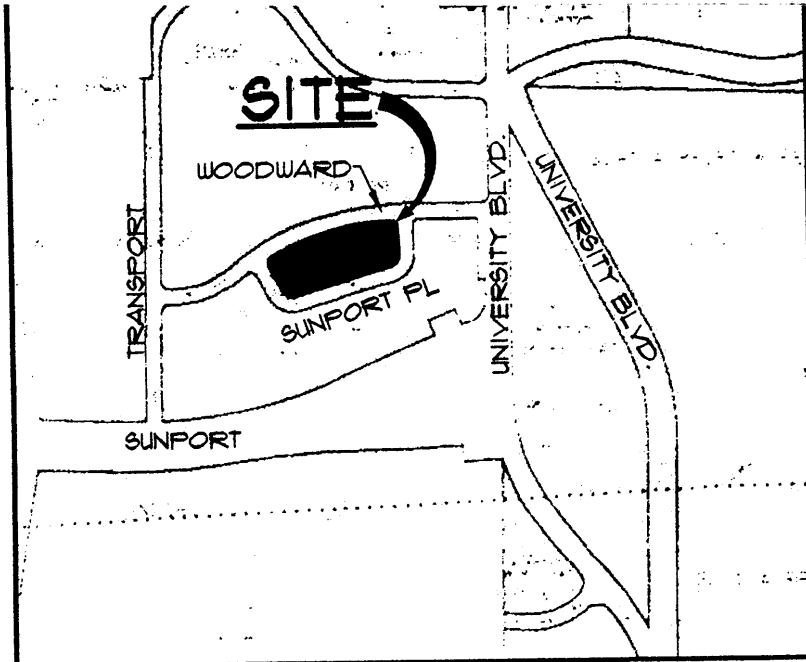
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ZONE MAP M-1B-Z

2.1211 ACRES

### VICINITY MAP

SCALE 1" = 150'

RETAINER WALL  
SEE DRAINAGE  
PLAN FOR HEIGHTS

RETAINER WALL  
SEE DRAINAGE  
PLAN FOR HEIGHTS

RETAINER WALL  
SEE DRAINAGE  
PLAN FOR HEIGHTS

▲ DENOTES ENTRANCE TO BUILDING

### SITE PLAN

SCALE 1" = 20'

120 RENTAL UNITS -- 1 SPACE PER UNIT = 120 SPACES  
RESTAURANT -- 54 OCCUPANTS  
LOUNGE -- 21 OCCUPANTS  
RESTAURANT / LOUNGE -- 69 OCCUPANTS / 3 = 25 SPACES  
TOTAL SPACES REQUIRED 145 SPACES REQUIRED

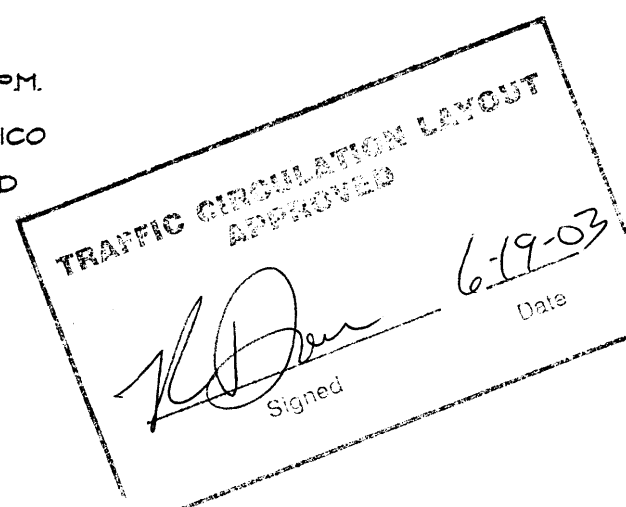
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE 14 SPACES  
131 SPACES REQUIRED

INCLUDED  
TOTAL SPACES PROVIDED 129 SPACES PROVIDED  
HANDICAP SPACES PROVIDED 8 SPACES PROVIDED  
SMALL CAR SPACES (10% OR 25 PERMITTED) 25 SPACES PROVIDED

FIRST LEVEL HEATED	19,813	SQ. FT.
SECOND LEVEL HEATED	17,134	SQ. FT.
THIRD LEVEL HEATED	19,600	SQ. FT.
FOURTH LEVEL HEATED	19,600	SQ. FT.
TOTAL HEATED	76,147	SQ. FT.
FORTE COUCHERE	914	SQ. FT.
COVERED WALKWAY	1,434	SQ. FT.
KITCHEN SERVICE PORCH	86	SQ. FT.
HOTEL SERVICE PORCH	109	SQ. FT.
MAINTENANCE PORCH	148	SQ. FT.
TOTAL AREA UNDER ROOF	79,554	SQ. FT.

### LEGAL DESCRIPTION

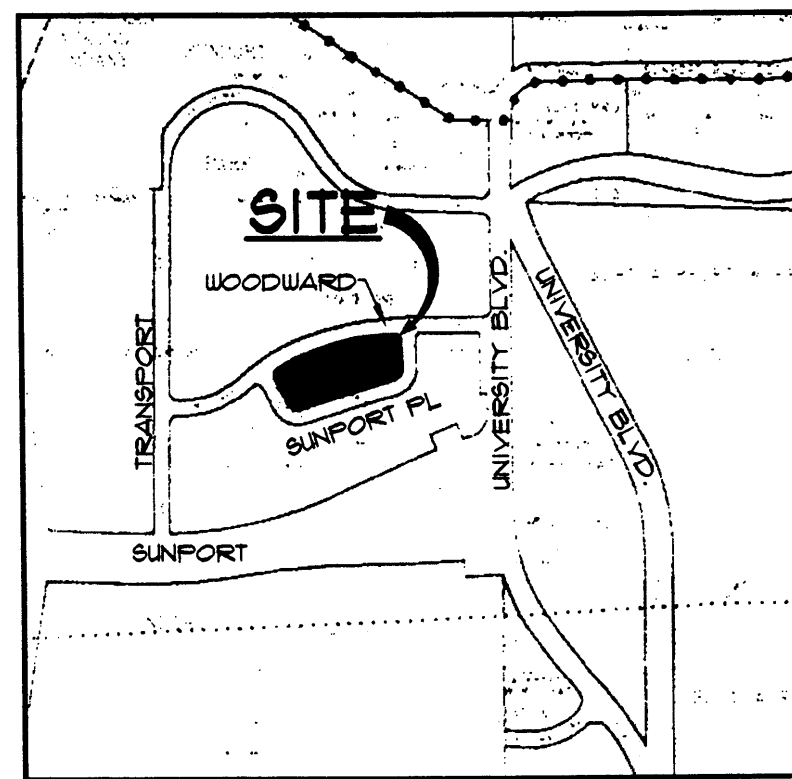
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CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
(SUMMARY PLAN WILL BE FILED  
TO COMBINE INTO ONE LOT)



### SPECIFIC NOTES:

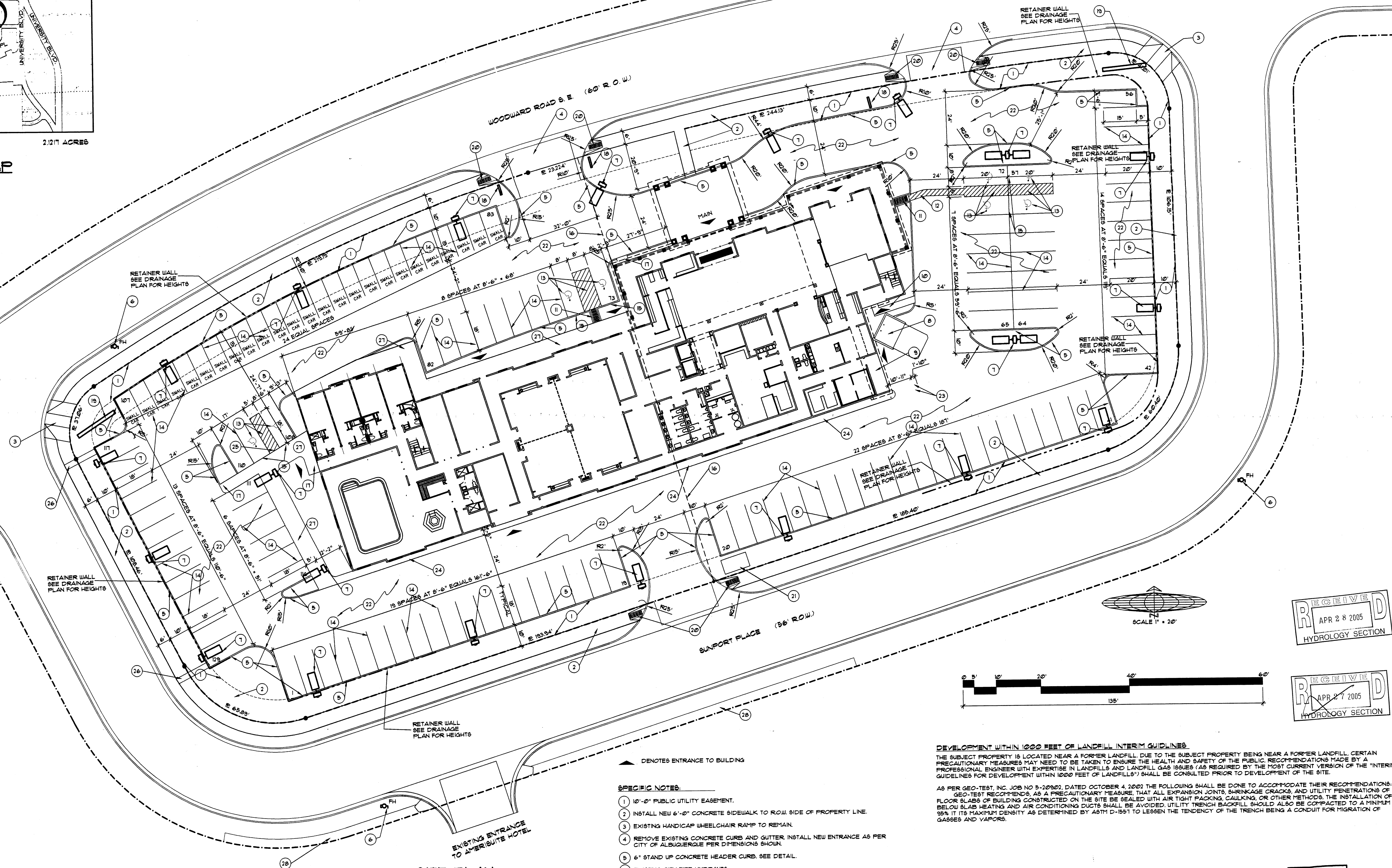
- 10'-0" PUBLIC UTILITY EASEMENT.
- INSTALL NEW 6'-0" CONCRETE SIDEWALK TO ROW SIDE OF
- EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
- REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL
- 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
- EXISTING CITY FIRE HYDRANTS.
- NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- TRASH ENCLOSURE - SEE DETAIL.
- SERVICE PORCH
- 48" CONCRETE WALK.
- HANDICAP RAMP WITH 6" CURB EACH SIDE.
- 3" WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" W.
- 3" WIDE BLUE HANDICAP STRIPING.
- 3" WIDE YELLOW PARKING SPACE STRIPING.
- 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST
- EXISTING PROPERTY LINE TO BE REMOVED BY SUMMARY
- 60' WIDE CONCRETE SIDEWALK.
- ENTRANCE AND EXIT SIGNS. 24" H X 48" W X 36" H. (NON-ILLUMINATED)
- ILLUMINATED SITE SIGN. SEE DETAIL.
- INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS
- EXISTING CONCRETE TRANSFORMER PAD TO BE SCREENED
- ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
- 5" STEEL PIPE 5' LONG FILLED WITH CONCRETE.





ZONE MAP M-15-Z 2.217 ACRES

VICINITY MAP  
SCALE 1" = 150'



SITE PLAN  
SCALE 1" = 20'

120 RENTAL UNITS -- 1 SPACE PER UNIT = 120 SPACES  
RESTAURANT -- 40 OCCUPANTS -- 23 SPACES  
LOUNGE -- 21 OCCUPANTS -- 14 SPACES  
TOTAL SPACES REQUIRED 143 SPACES  
LESS 10% FOR BUS SERVICE WITHIN 300 FT OF SITE 14 SPACES  
TOTAL SPACES PROVIDED 129 SPACES

INCLUDED  
TOTAL SPACES PROVIDED 129 SPACES  
HANDICAP SPACES PROVIDED 8 SPACES  
SMALL CAR SPACES (12% OR 15 PERMITTED) 15 SPACES

FIRST LEVEL HEATED 19,873 SQ. FT.  
SECOND LEVEL HEATED 17,734 SQ. FT.  
THIRD LEVEL HEATED 19,600 SQ. FT.  
FOURTH LEVEL HEATED 19,600 SQ. FT.  
TOTAL HEATED 76,807 SQ. FT.  
PORTE COUCHERE 914 SQ. FT.  
COVERED WALKWAY 1,434 SQ. FT.  
KITCHEN SERVICE PORCH 86 SQ. FT.  
HOTEL SERVICE PORCH 105 SQ. FT.  
MAINTENANCE PORCH 148 SQ. FT.  
TOTAL AREA UNDER ROOF 78,554 SQ. FT.

SPECIFIC NOTES:

- 1) 10'-0" PUBLIC UTILITY EASEMENT.
- 2) INSTALL NEW 6'-0" CONCRETE SIDEWALK TO R.O.W. SIDE OF PROPERTY LINE.
- 3) EXISTING HANDICAP WHEELCHAIR RAMP TO REMAIN.
- 4) REMOVE EXISTING CONCRETE CURB AND GUTTER. INSTALL NEW ENTRANCE AS PER CITY OF ALBUQUERQUE PER DIMENSIONS SHOWN.
- 5) 6" STAND UP CONCRETE HEADER CURB. SEE DETAIL.
- 6) EXISTING CITY FIRE HYDRANTS.
- 7) NEW PARKING AND BUILDING AREA LIGHTS. SEE DETAIL.
- 8) TRASH ENCLOSURE - SEE DETAIL.
- 9) SERVICE PORCH
- 10) 48" CONCRETE WALK.
- 11) HANDICAP RAMP WITH 6" CURB EACH SIDE.
- 12) 3" WIDE BLUE HANDICAP ACCESS ROUTE STRIPING - 36" WIDE.
- 13) 3" WIDE BLUE HANDICAP STRIPING.
- 14) 3" WIDE YELLOW PARKING SPACE STRIPING.
- 15) 12" X 18" BLUE AND WHITE HANDICAP SIGN ON STEEL POST. 60" TO BOTTOM A.F.G.
- 16) EXISTING PROPERTY LINE TO BE REMOVED BY SURTARY PLAT.
- 17) 60" WIDE CONCRETE SIDEWALK.
- 18) ENTRANCE AND EXIT SIGNS. 24" H X 48" W X 36" H. (NON-ILLUMINATED)
- 19) ILLUMINATED SITE SIGN. SEE DETAIL.
- 20) INSTALL NEW HANDICAP RAMP FOR WHEELCHAIR ACCESS.
- 21) EXISTING CONCRETE TRANSFORMER PAD TO BE SCREENED BY LANDSCAPE MATERIAL.
- 22) ASPHALT PAVING PER CITY OF ALBUQUERQUE SPEC.
- 23) 6" STEEL PIPE BOLLARD FILLED WITH CONCRETE.
- 24) CONCRETE SIDEWALK AS DIMENSIONED.
- 25) ASPHALT AND CONCRETE SIDEWALK FLUSH. NO HANDICAP RAMP REQUIRED.
- 26) CONCRETE RUN DOWN ..... SEE DETAIL ON DRAINAGE PLAN.
- 27) 8" WIDE SIDEWALK.
- 28) EXISTING 48" PUBLIC SIDEWALK.

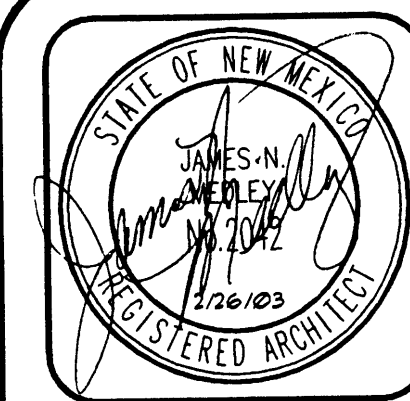
DEVELOPMENT WITHIN 1000 FEET OF LANDFILL INTERIM GUIDELINES

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

AS PER GEO-TEST, INC. JOB NO. 5-20507, DATED OCTOBER 4, 2002, THE FOLLOWING SHALL BE DONE TO ACCOMMODATE THEIR RECOMMENDATIONS: GEO-TEST RECOMMENDS AS A PRECAUTIONARY MEASURE THAT ALL EXPANSION JOINTS, SURFACE CRACKS, AND UTILITY PENETRATIONS OF FLOOR SLABS OF BUILDING CONSTRUCTED ON THE SITE BE SEALED WITH AIR TIGHT PACKING, CAULKING, OR OTHER METHODS. THE INSTALLATION OF BELOW SLAB HEATING AND AIR CONDITIONING DUCTS SHALL BE AVOIDED. UTILITY TRENCH BACKFILL SHOULD ALSO BE COMPACTED TO A MINIMUM OF 98% IT ITS MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 TO LESSEN THE TENDENCY OF THE TRENCH BEING A CONDUIT FOR MIGRATION OF GASES AND VAPORS.

THIS PLAN IS CONSISTENT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON	
EPC CASE NO. 1001067	DATE 4-7-03
APPROVED BY: <i>Michael Holton</i>	DATE 4-7-03
SOLIDWASTE MANAGEMENT	DATE 4-7-03
APPROVED BY: <i>Roger A. Shum</i>	DATE 4-7-03
UTILITY DEVELOPMENT	DATE 4-7-03
APPROVED BY: <i>Christine Amador</i>	DATE 4-7-03
PARKS AND RECREATION DEPARTMENT	DATE 4-7-03
APPROVED BY: <i>Paul L. Bitt</i>	DATE 4-7-03
CITY ENGINEER	DATE 4-7-03
APPROVAL AND CONDITIONAL ACCEPTANCE as specified in the Development Project Manual	
APPROVED BY: <i>Sharon Nelson</i>	DATE 4-7-03
CITY PLANNER PLANNING DEPARTMENT	DATE 4-7-03

LEGAL DESCRIPTION  
LOTS 1 AND 2, BLOCK 4-A  
SUNPORT PLACE  
SECTION 35, T. 10 N., R. 3 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
(SURTARY PLAN WILL BE FILED TO COMBINE INTO ONE LOT)



JIM MEDLEY, Architect  
Texas License No. 16891  
NCARB Certificate No. 35,085  
3100 Christine N. E. Albuquerque, NM 87111  
Phone (505) 292-3514 Fax (505) 294-5593

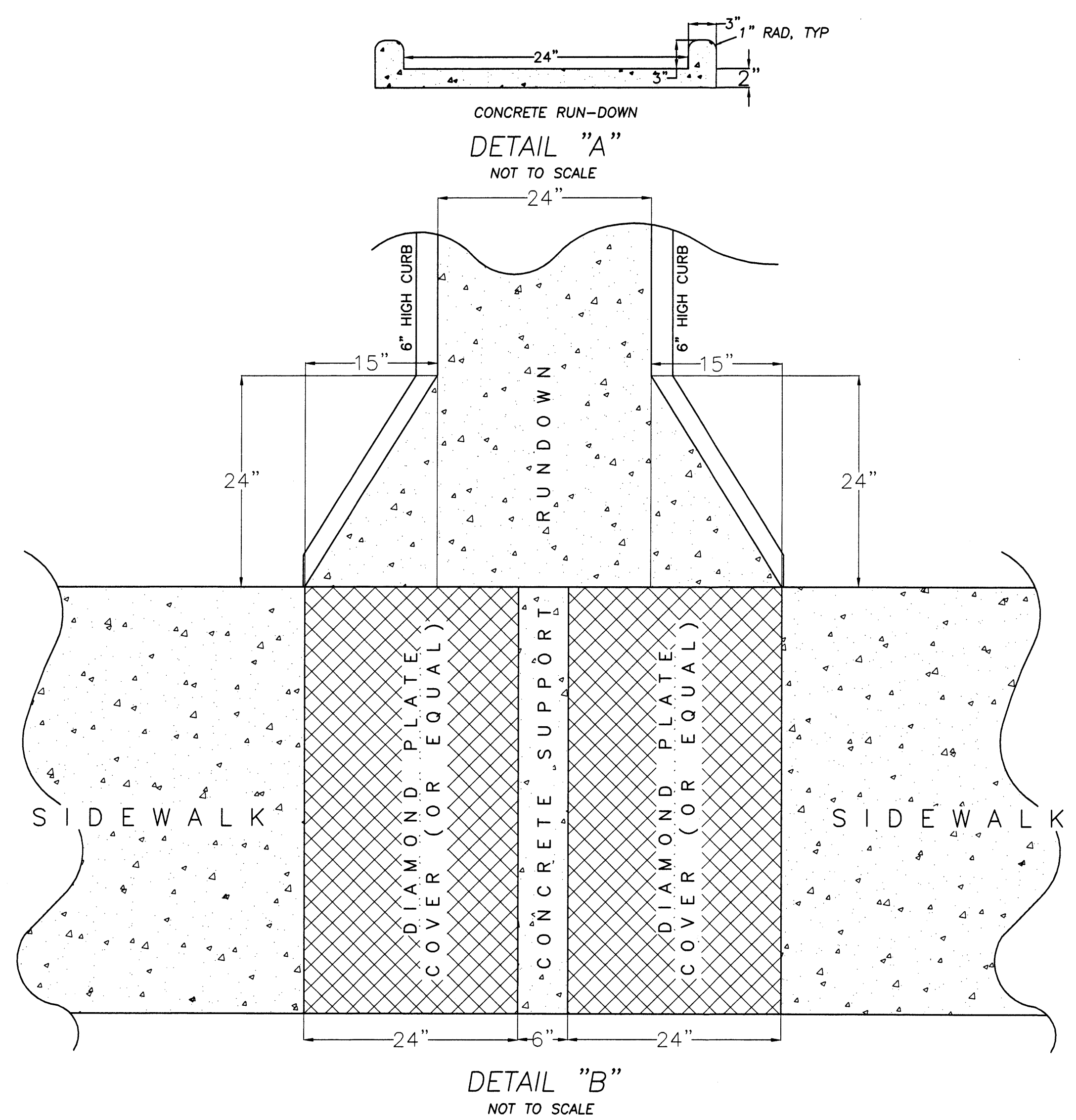
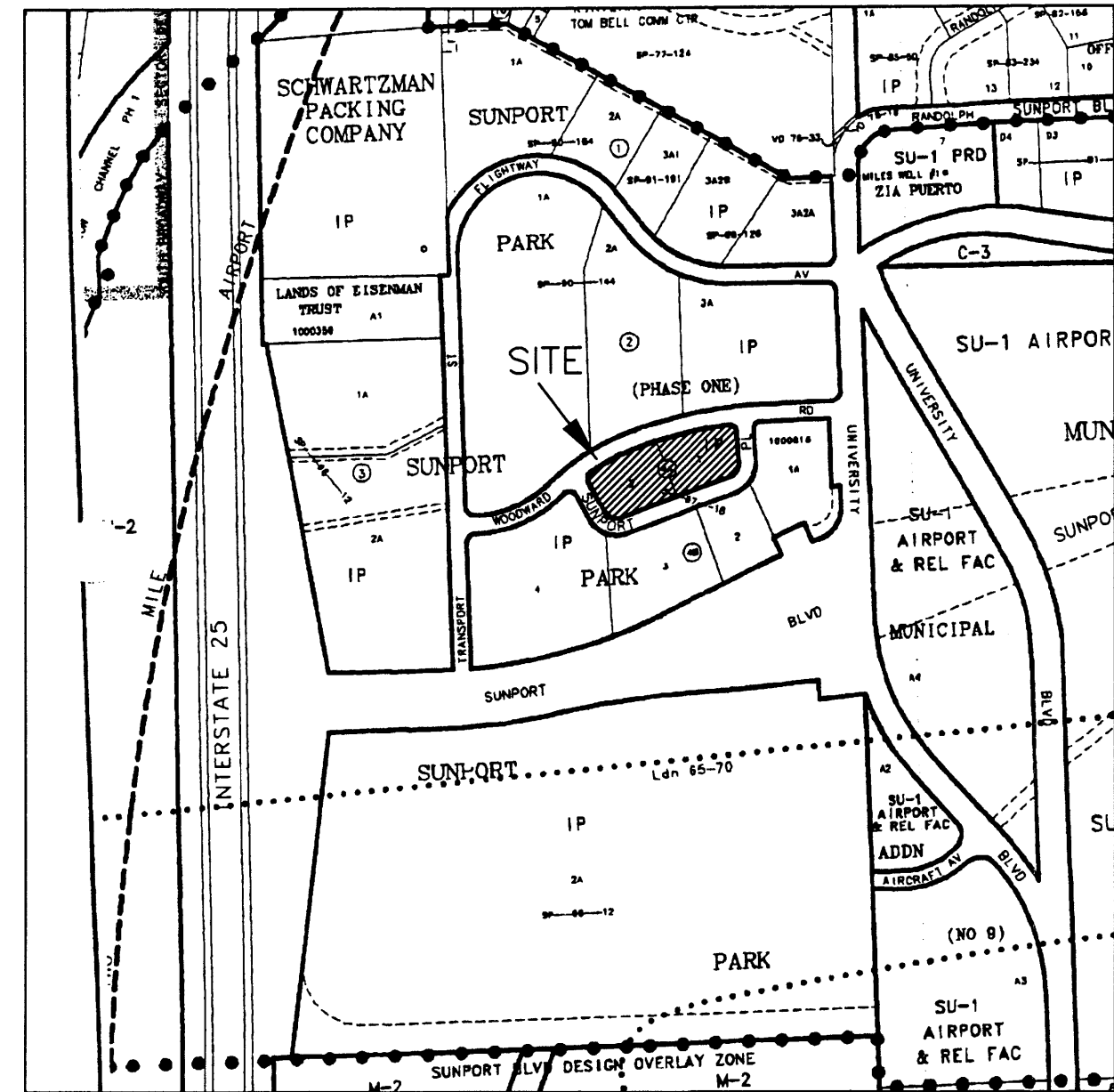
Project: Holiday Inn  
HOTEL & SUITES  
AMERITUS HOSPITALITY INC.

No.	Revision / Issue	Date

SITE PLAN  
PRELIMINARY

Sheet: 1 of 6





CHANNEL CAPACITY CALCULATIONS  
NORTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot SQ. RT. (S)$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ.FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot SQ. RT. (0.033)$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)

CHANNEL CAPACITY CALCULATIONS  
SOUTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot SQ. RT. (S)$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ.FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot SQ. RT. (0.033)$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)

I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920,  
DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON NOVEMBER 1, 2002, AND THAT, AS OF  
THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING  
OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920

**BENCH MARK**  
BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE  
OVER AMAFCA SOUTH DIVERSION CHANNEL. NGVD ELEVATION: 5047.3

**OFFSITE FLOW INFORMATION**  
- OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.  
- RUNOFF FROM SITE IS CONVEYED VIA CURB AND GUTTER TO STORM DRAINS LOCATED  
ON TRANSPORT ST.

**DRAINAGE NOTES:**  
- ROOF DRAINAGE CONVEYED TO PARKING LOT VIA GUTTERS AND DOWNSPOUTS  
- EROSION CONTROL MEASURES SHALL BE TAKEN WHERE SLOPES EXCEED 3:1.  
EROSION CONTROL MEASURES MAY INCLUDE: SHOTCRETE, CONCRETE, IRRIGATED TURF,  
RIP-RAP WITH GEOTEXTILE BACKING, TERRACING, OR ANY COMBINATION OF  
TECHNIQUES THEREOF. EROSION CONTROL MEASURES TAKEN SHALL BE DETERMINED  
BY LANDSCAPE ARCHITECT.  
- SIDEWALK CULVERTS SHALL BE CONSTRUCTED PER COA STD DWG 2236. EACH  
SIDEWALK CULVERT SHALL BE 24" WIDE. ALIGN EDGES OF RUNDOWN WITH SIDEWALK CULVERT.  
- TOPOGRAPHIC MAP PROVIDED BY SURVEYS SOUTHWEST.  
- RETAINING WALL DESIGN BY OTHERS.

DRAINAGE DATA: HOLIDAY INN EXPRESS						
THIS SITE LIES WITHIN PRECIPITATION ZONE 2						
Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.) Rate (cfs)
EXISTING	100	A	83,175	0.53	1.56	3,673.6
		B	9,241	0.78	2.28	600.7
		C	0	1.13	3.14	0.0
		D	0	2.12	4.70	0.0
EXISTING	10	A	83,175	0.13	0.38	901.1
		B	9,241	0.28	0.95	215.6
		C	0	0.52	1.71	0.0
		D	0	1.34	3.14	0.0
DEVELOPED	100	A	0	0.53	1.56	0.0
		B	13,428	0.78	2.28	872.8
		C	0	1.13	3.14	0.0
		D	78,988	2.12	4.70	13,954.5
DEVELOPED	10	A	0	0.13	0.38	0.0
		B	13,428	0.28	0.95	313.3
		C	0	0.52	1.71	0.0
		D	78,988	1.34	3.14	8,820.3
TOTAL (EXT)	100					4,274.2
	10					1,116.7
TOTAL (DEV)	100					14,827.4
	10					9,133.6

### NOTICE TO CONTRACTORS

- An excavation/barricade permit will be required before beginning any work within the City of Albuquerque Right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
- All work detailed on these plans to be done, except as otherwise stated or provided hereon, will be constructed in accordance with "City of Albuquerque Interim Standard Specification for Public Works Construction, 1986", latest revision.
- Two working days prior to any excavation, the contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
- Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
- The contractor will be responsible for performing soil density tests as required by the City of Albuquerque.
- Owner shall be responsible for maintenance of sidewalk culverts and shall ensure proper operation of culverts at all times.

APPROVALS FOR	NAME	DATE	TITLE OF PROJECT	
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN	
CONSTRUCTION: CONSTRUCTION ENGINEER				
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. SHEET 1 OF 2	ZONE ATLAS M-15

### NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR OBTAINING AN NPDES STORMWATER DISCHARGE PERMIT FOR THE CONSTRUCTION PHASE OF THIS PROJECT.

**DRAINAGE AND GRADING PLAN**  
LOTS 1 & 2, BLOCK 4-A  
SUNPORT PARK  
FOR: AMERICUS HOSPITALITY/HOLIDAY INN HOTEL AND SUITES

**ENGINEERING INC.**  
(505)266-7256  
Fax: (505) 255-2887  
330 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87108

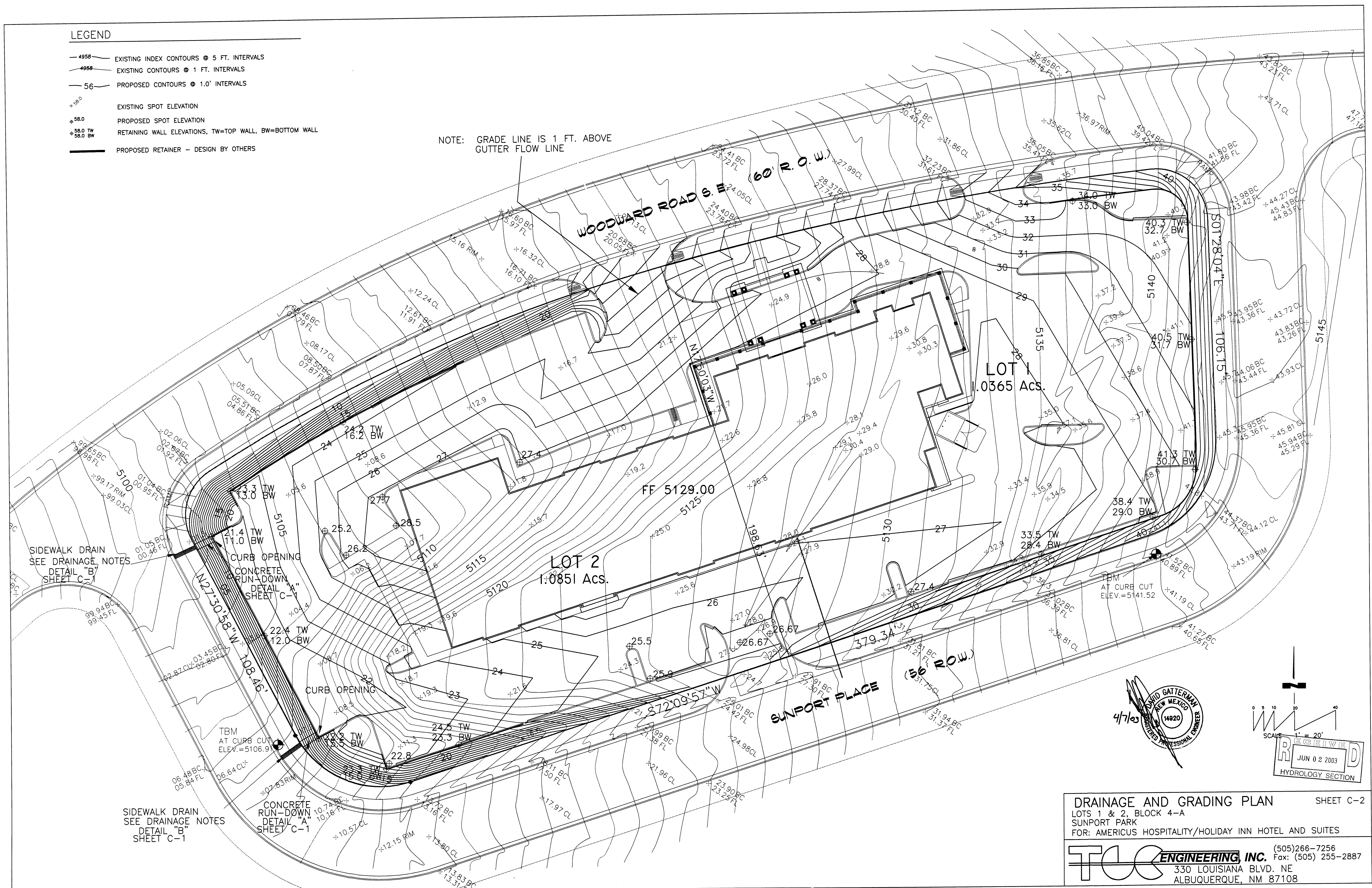


— 49.58 — EXISTING INDEX CONTOURS @ 5 FT. INTERVALS  
— 49.58 — EXISTING CONTOURS @ 1 FT. INTERVALS  
— 56 — PROPOSED CONTOURS @ 1.0' INTERVALS

+ 58.0  
EXISTING SPOT ELEVATION  
@ 58.0 PROPOSED SPOT ELEVATION  
@ 58.0 TW RETAINING WALL ELEVATIONS, TW=TOP WALL, BW=BOTTOM WALL  
58.0 BW

PROPOSED RETAINER — DESIGN BY OTHERS

NOTE: GRADE LINE IS 1 FT. ABOVE  
GUTTER FLOW LINE

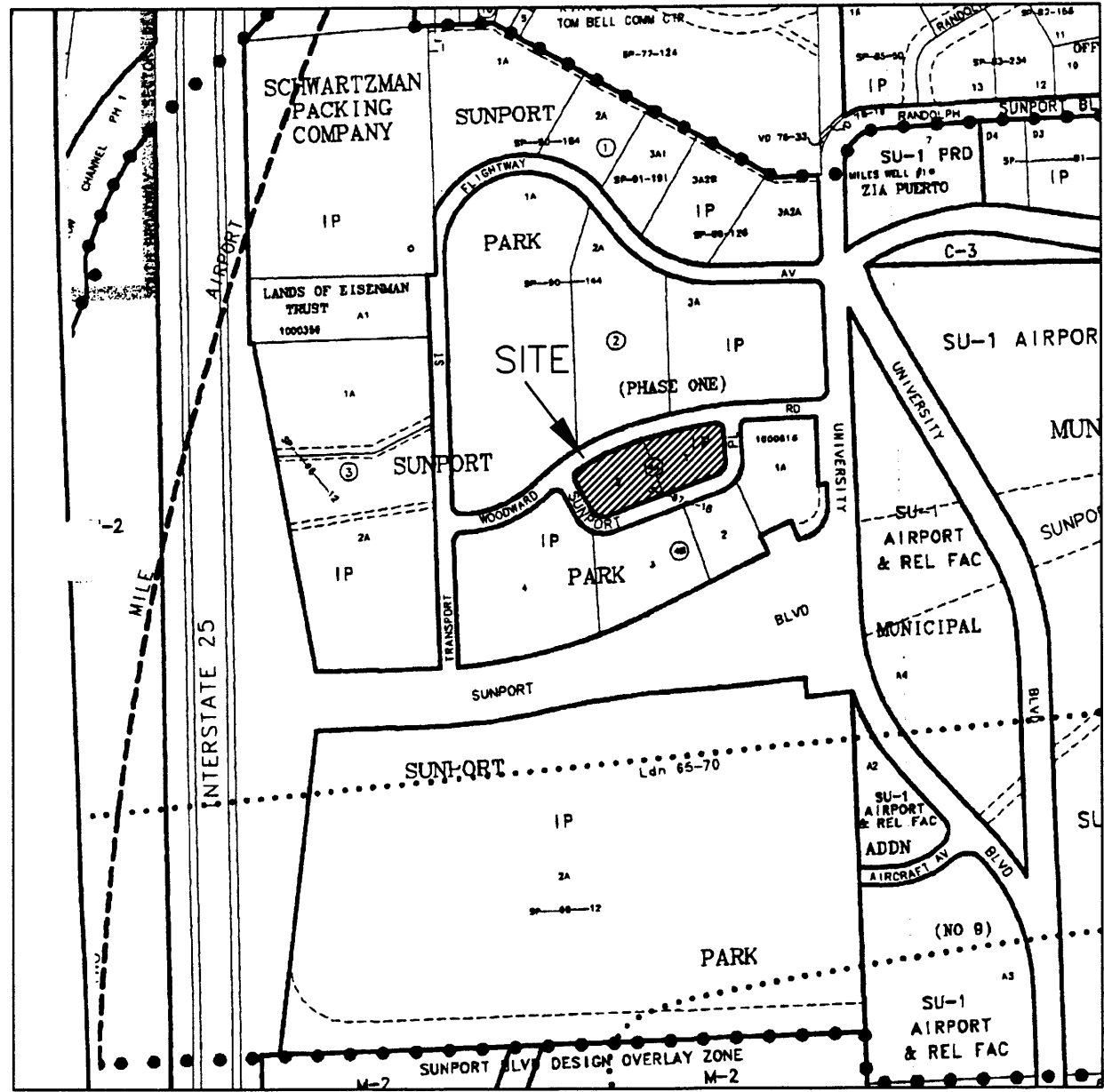


**DRAINAGE AND GRADING PLAN** SHEET C-2  
 LOTS 1 & 2, BLOCK 4-A  
 SUNPORT PARK  
 FOR: AMERICUS HOSPITALITY/HOLIDAY INN HOTEL AND SUITES

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**TCE ENGINEERING, INC.** (505)266-7256  
 Fax: (505) 255-2887  
 330 LOUISIANA BLVD. NE  
 ALBUQUERQUE, NM 87108





THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	83,175	0.53	1.56	3,673.6	2.98
		B	9,241	0.78	2.28	600.7	0.48
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	83,175	0.13	0.38	901.1	0.73
		B	9,241	0.28	0.95	215.6	0.20
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	13,428	0.78	2.28	872.8	0.70
		C	0	1.13	3.14	0.0	0.00
		D	78,988	2.12	4.70	13,954.5	8.52
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	13,428	0.28	0.95	313.3	0.29
		C	0	0.52	1.71	0.0	0.00
		D	78,988	1.34	3.14	8,820.3	5.69
TOTAL (EXT)	100					4,274.2	3.5
	10					1,116.7	0.9
TOTAL (DEV)	100					14,827.4	9.2
	10					9,133.6	6.0

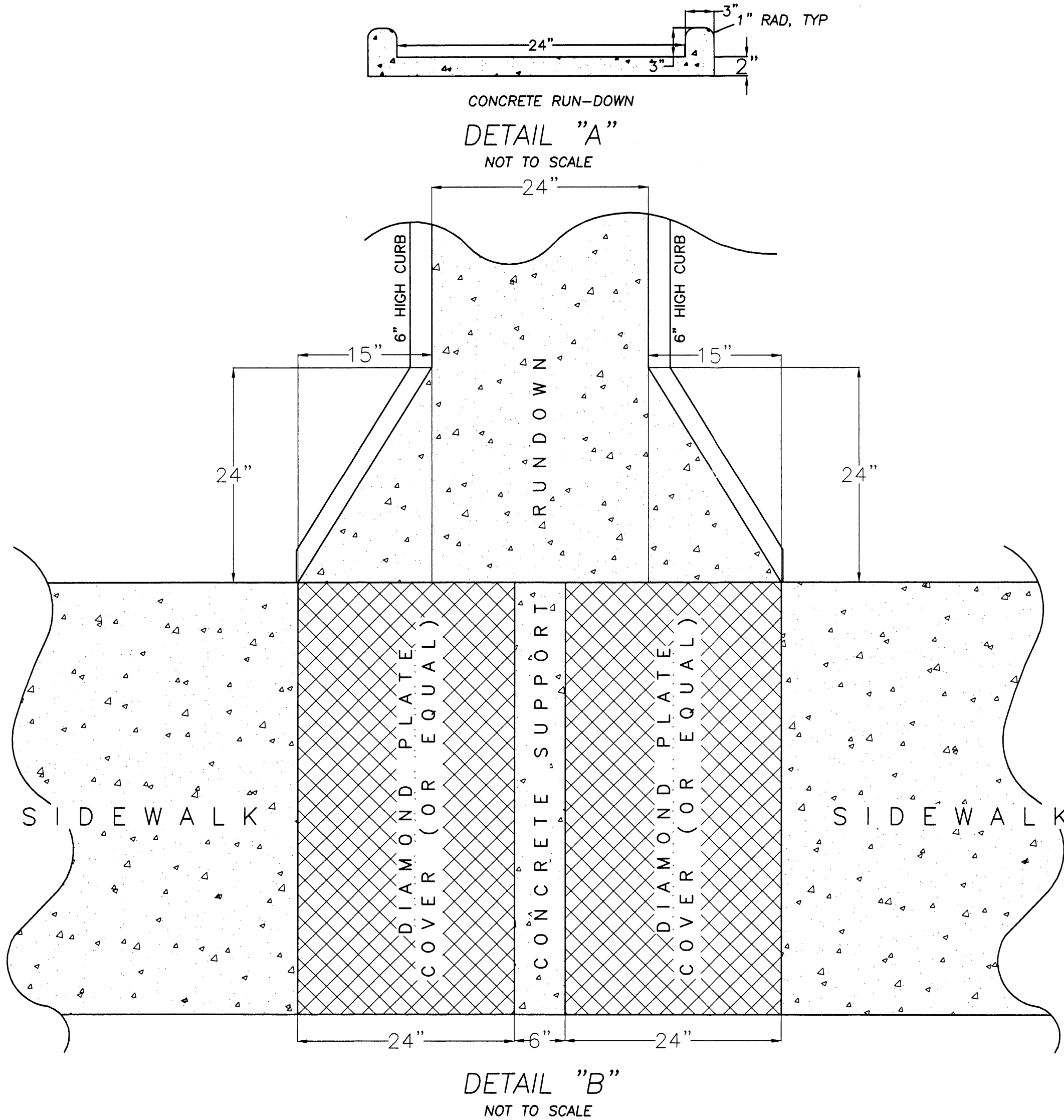
NOTICE TO CONTRACTOR

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CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR OBTAINING AN NPDES STORMWATER DISCHARGE PERMIT FOR THE CONSTRUCTION PHASE OF THIS PROJECT.



CHANNEL CAPACITY CALCULATIONS  
NORTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot SQ. RT. (S)$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ. FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ. FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot SQ. RT. (0.033)$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)

CHANNEL CAPACITY CALCULATIONS  
SOUTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot SQ. RT. (S)$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ. FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ. FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot SQ. RT. (0.033)$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)

I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON NOVEMBER 1, 2002, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920

BENCH MARK

BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE OVER AMAFCA SOUTH DIVERSION CHANNEL. NGVD ELEVATION: 5047.3

OFFSITE FLOW INFORMATION

- OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.
- RUNOFF FROM SITE IS CONVEYED VIA CURB AND GUTTER TO STORM DRAINS LOCATED ON TRANSPORT ST.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOT VIA GUTTERS AND DOWNSPOUTS
- EROSION CONTROL MEASURES SHALL BE TAKEN WHERE SLOPES EXCEED 3:1. EROSION CONTROL MEASURES MAY INCLUDE: SHOTCRETE, CONCRETE, IRRIGATED TURF, RIP-RAP WITH GEOTEXTILE BACKING, TERRACING, OR ANY COMBINATION OF TECHNIQUES THEREOF. EROSION CONTROL MEASURES TAKEN SHALL BE DETERMINED BY LANDSCAPE ARCHITECT.
- SIDEWALK CULVERTS SHALL BE CONSTRUCTED PER COA STD DWG 2236. EACH SIDEWALK CULVERT SHALL BE 24" WIDE. ALIGN EDGES OF RUNDOWN WITH SIDEWALK CULVERT.
- TOPOGRAPHIC MAP PROVIDED BY SURVEYS SOUTHWEST.
- RETAINING WALL DESIGN BY OTHERS.

NOTICE TO CONTRACTORS

1. An excavation/barricade permit will be required before beginning any work within the City of Albuquerque Right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
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6. Owner shall be responsible for maintenance of sidewalk culverts and shall ensure proper operation of culverts at all times.

APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. SHEET 1 OF 2
			ZONE ATLAS M-15

DRAINAGE AND GRADING PLAN

SHEET C-1

LOTS 1 & 2, BLOCK 4-A  
SUNPORT PARK  
FOR: AMERICUS HOSPITALITY/HOLIDAY INN HOTEL AND SUITES

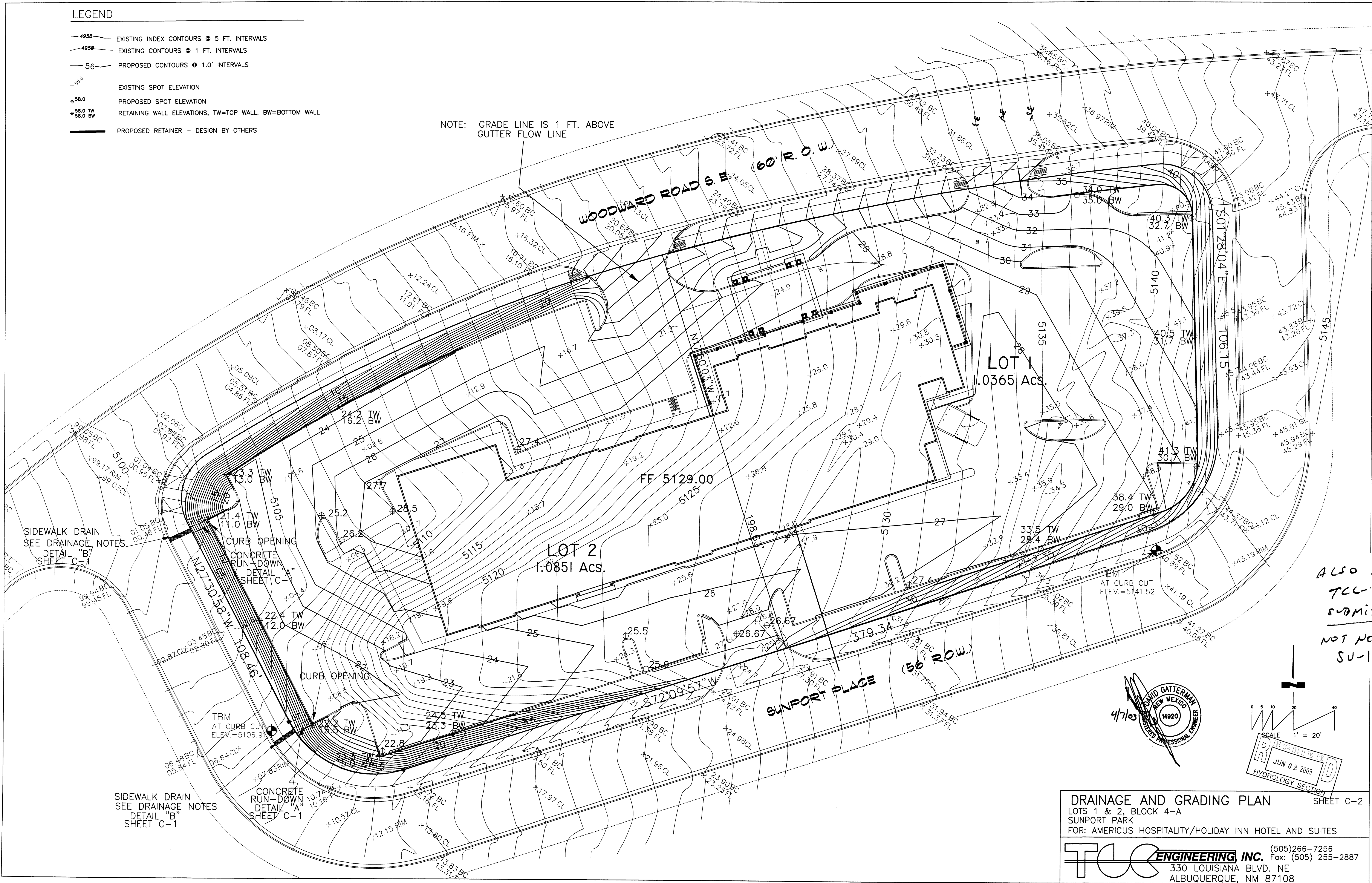
**TGC ENGINEERING, INC.** (505) 266-7256  
330 LOUISIANA BLVD. NE Fax: (505) 255-2887  
ALBUQUERQUE, NM 87108



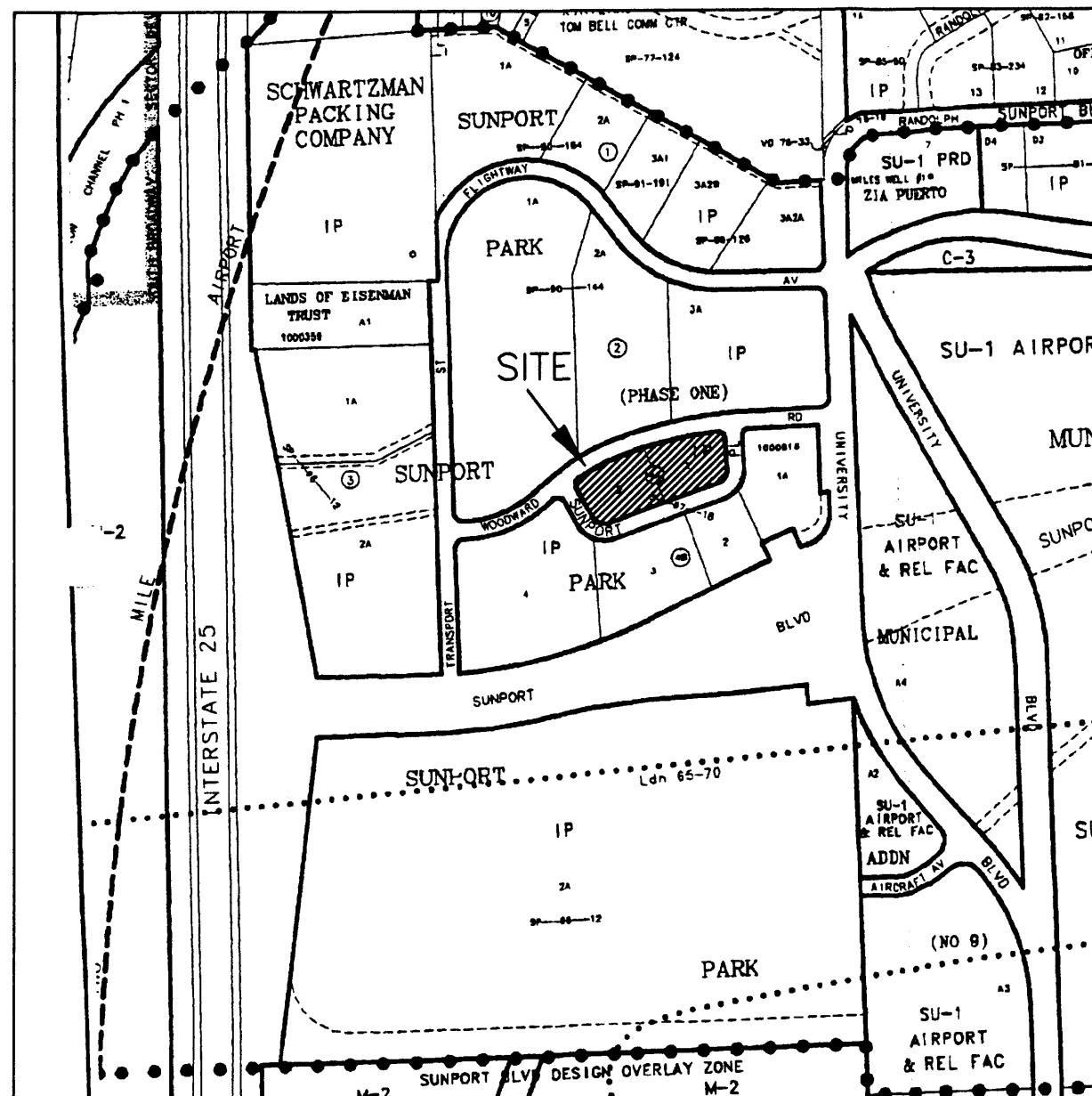
LEGEND

- 49.58 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 49.58 EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 EXISTING SPOT ELEVATION
- 58.0 PROPOSED SPOT ELEVATION
- 58.0 TW 58.0 BW RETAINING WALL ELEVATIONS, TW=TOP WALL, BW=BOTTOM WALL
- PROPOSED RETAINER - DESIGN BY OTHERS

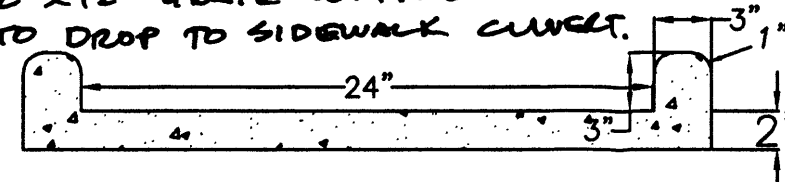
NOTE: GRADE LINE IS 1 FT. ABOVE GUTTER FLOW LINE







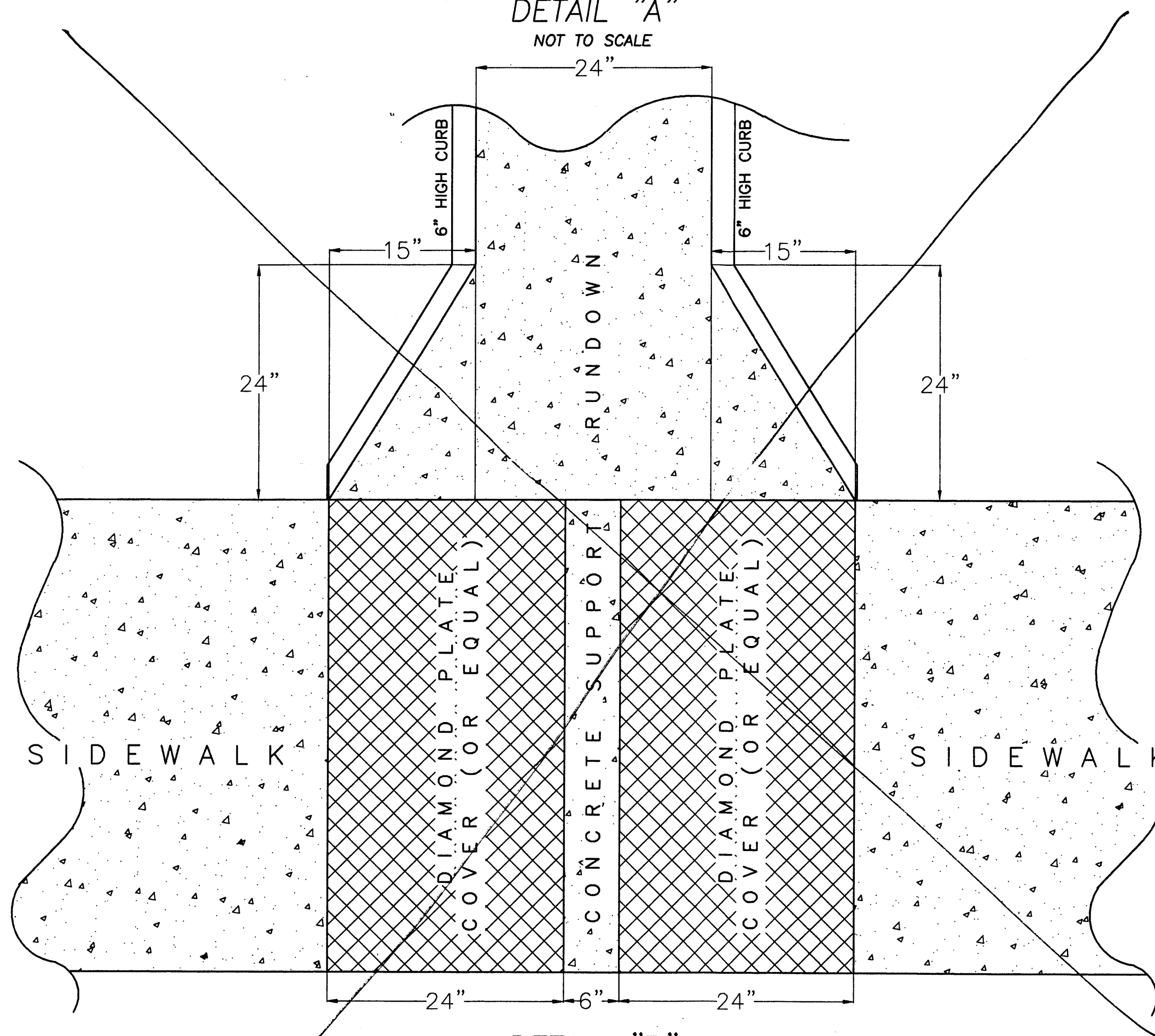
SEE NOTE SHEET C-2 - RUNDOWN  
HAS BEEN REPLACED BY EQUIVALENT  
12"x12" GRATE WITH 6" PVC PIPE  
TO DROP TO SIDEWALK CULVERT.



CONCRETE RUN-DOWN

DETAIL "A"

NOT TO SCALE



DETAIL "B"

NOT TO SCALE

CHANNEL CAPACITY CALCULATIONS  
NORTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot S$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ.FT.  
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 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot 0.033$   
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CHANNEL CAPACITY CALCULATIONS  
SOUTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot Rh^{2/3} \cdot S$   
 $n = 0.013$  (CONCRETE)  
 $A = 0.5$  SQ.FT. (REC. CHANNEL, MIN CROSS SECTION)  
 $Rh = A/P = 0.167$  SQ.FT.  
 $S = 0.033$  FT./FT. (3% TOWARD STREET)  
 $Q = (1.49/0.013) \cdot 0.5 \cdot (0.167^{2/3}) \cdot 0.033$   
 $Q = 3.17$  cfs per culvert  
 $Q$  (REQUIRED) = 4.6 cfs (1/2 site requirement)  
 $Q > Q$  (REQUIRED)



**DRAINAGE CERTIFICATE**  
I, David Gatterman, NMPE 14920, of the firm of TGC ENGINEERING INC. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated April 7, 2003. The record information edited onto the original design document has been obtained by Thomas D. Johnston, NMPS 14269, of the firm of WAYJOHN SURVEYING INC. I further certify that I have personally visited the project site on April 30, 2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

David D. Gatterman, NMPE 14920

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4. Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
5. The contractor will be responsible for performing soil density tests as required by the City of Albuquerque.
6. Owner shall be responsible for maintenance of sidewalk culverts and shall ensure proper operation of culverts at all times.

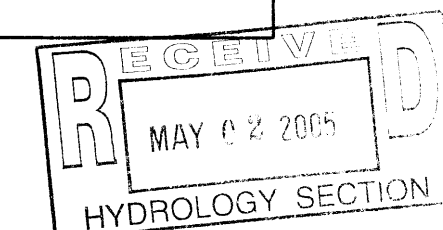
APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. SHEET 1 OF 2
			ZONE ATLAS M-15

## DRAINAGE AND GRADING PLAN

SHEET C-1

LOTS 1 & 2, BLOCK 4-A  
SUNPORT PARK  
FOR: AMERICUS HOSPITALITY/HOLIDAY INN HOTEL AND SUITES

**TGC ENGINEERING, INC.** (505)266-7256  
330 LOUISIANA BLVD. NE  
ALBUQUERQUE, NM 87108  
Fax: (505) 255-2887



## DRAINAGE DATA: HOLIDAY INN EXPRESS

THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	83,175	0.53	1.56	3,673.6	2.98
		B	9,241	0.78	2.28	600.7	0.48
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	83,175	0.13	0.38	901.1	0.73
		B	9,241	0.28	0.95	215.6	0.20
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	13,428	0.78	2.28	872.8	0.70
		C	0	1.13	3.14	0.0	0.00
		D	78,988	2.12	4.70	13,954.5	8.52
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	13,428	0.28	0.95	313.3	0.29
		C	0	0.52	1.71	0.0	0.00
		D	78,988	1.34	3.14	8,820.3	5.69
TOTAL (EXT)	100					4,274.2	3.5
	10					1,116.7	0.9
TOTAL (DEV)	100					14,827.4	9.2
	10					9,133.6	6.0

## NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR OBTAINING AN NPDES STORMWATER DISCHARGE PERMIT FOR THE CONSTRUCTION PHASE OF THIS PROJECT.

I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON NOVEMBER 1, 2002, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920

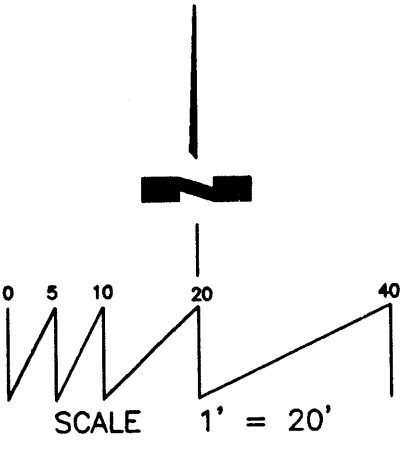
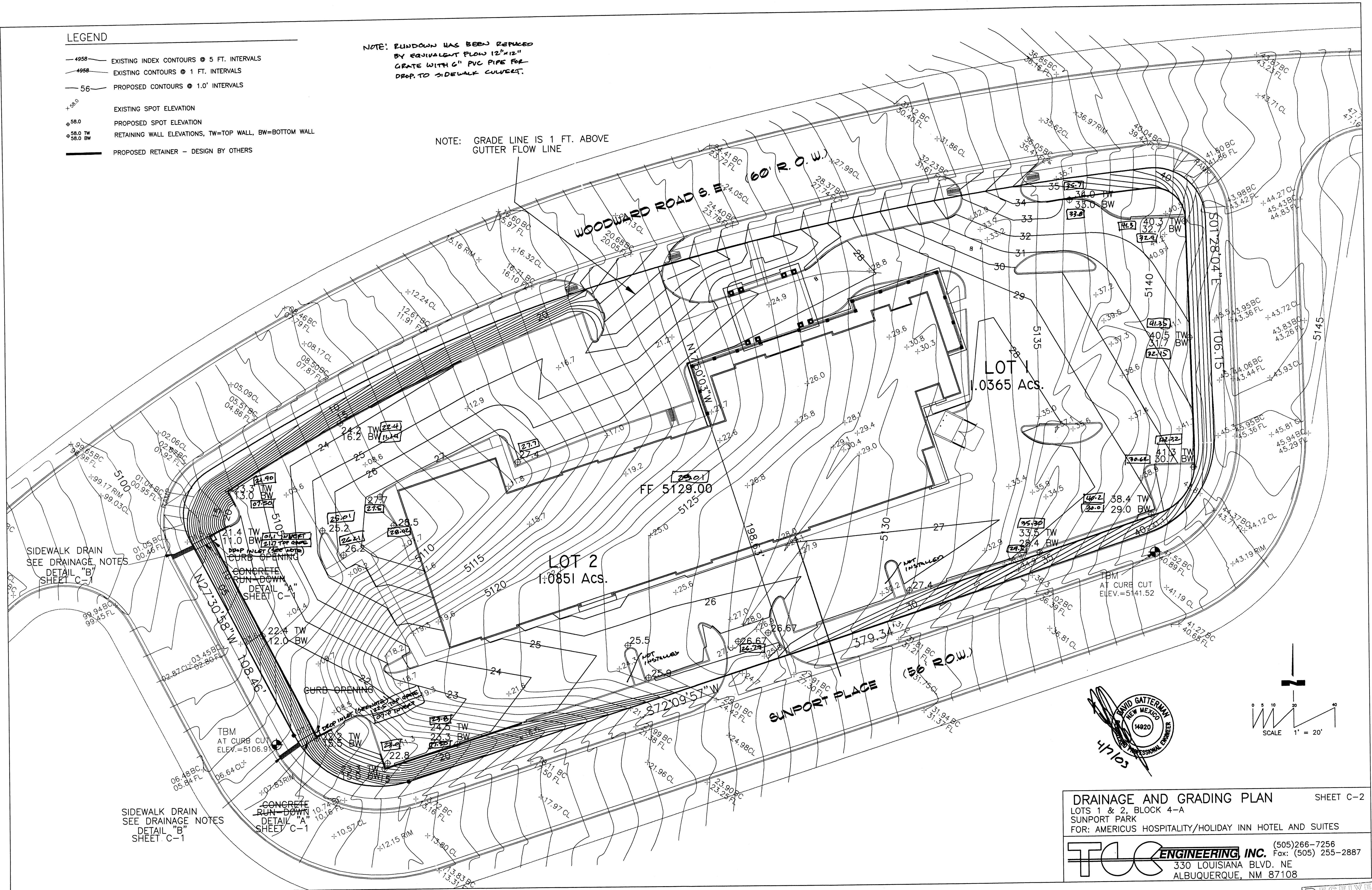


# LEGEND

- 4958 — EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 — EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 — PROPOSED CONTOURS @ 1.0' INTERVALS
- + 58.0 EXISTING SPOT ELEVATION
- + 58.0 PROPOSED SPOT ELEVATION
- + 58.0 TW 58.0 BW RETAINING WALL ELEVATIONS, TW=TOP WALL, BW=BOTTOM WALL
- PROPOSED RETAINER — DESIGN BY OTHERS

NOTE: RUNDOWN HAS BEEN REDUCED BY EQUIVALENT FLOW 12"x12" GRATE WITH 6" PVC PIPE FOR DROP TO SIDEWALK CURB.

NOTE: GRADE LINE IS 1 FT. ABOVE GUTTER FLOW LINE

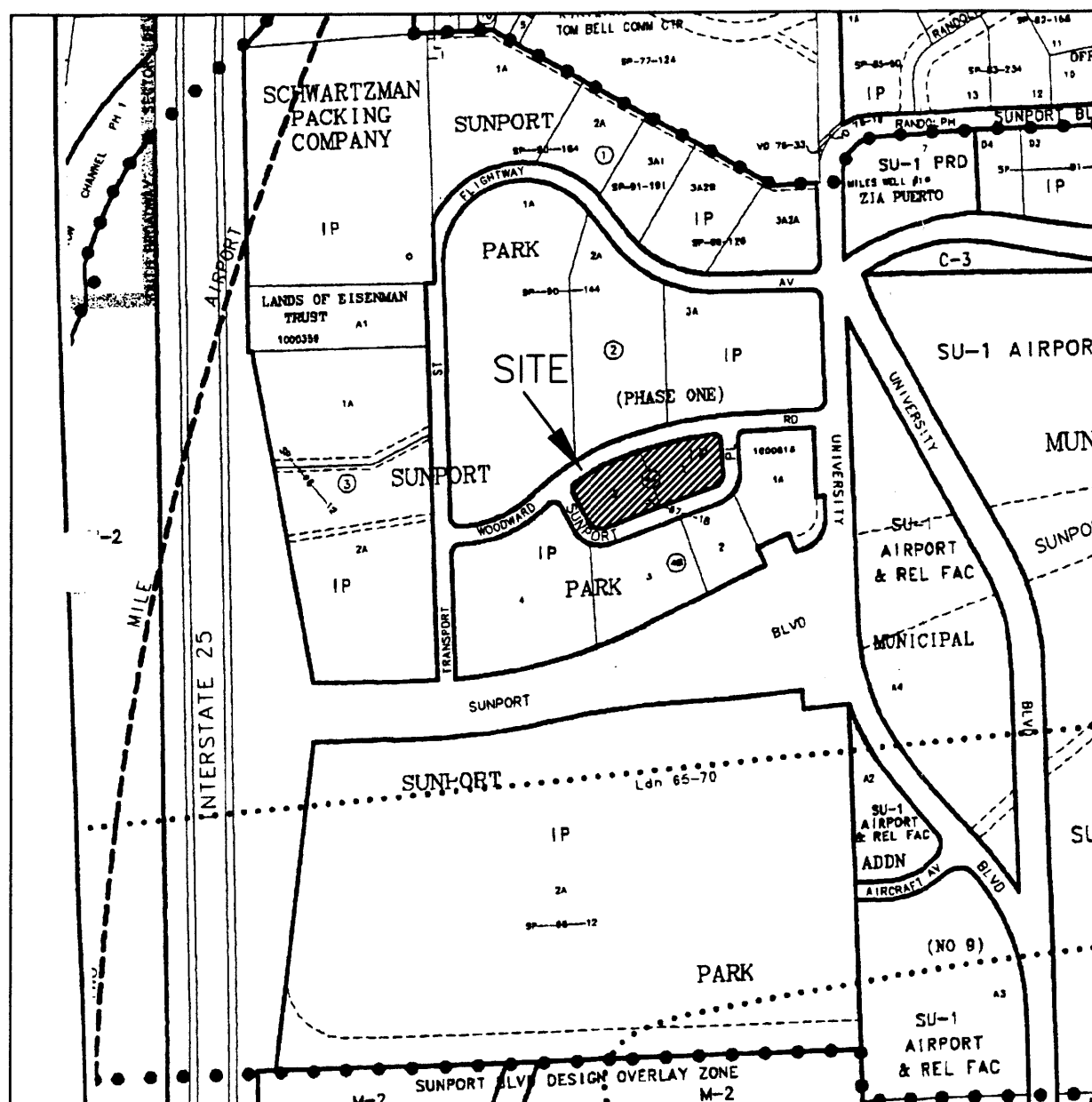


**DRAINAGE AND GRADING PLAN** SHEET C-2  
 LOTS 1 & 2, BLOCK 4-A  
 SUNPORT PARK  
 FOR: AMERICUS HOSPITALITY/HOLIDAY INN HOTEL AND SUITES

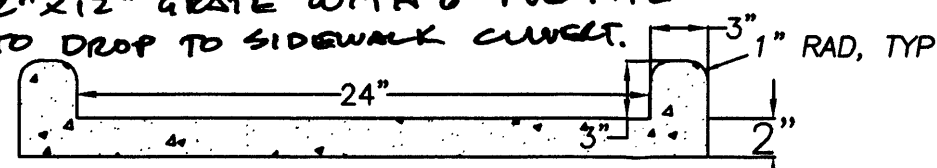
**TGC ENGINEERING, INC.** (505)266-7256  
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 ALBUQUERQUE, NM 87108

RECEIVED  
 MAY 12 2005  
 HYDROLOGY SECTION





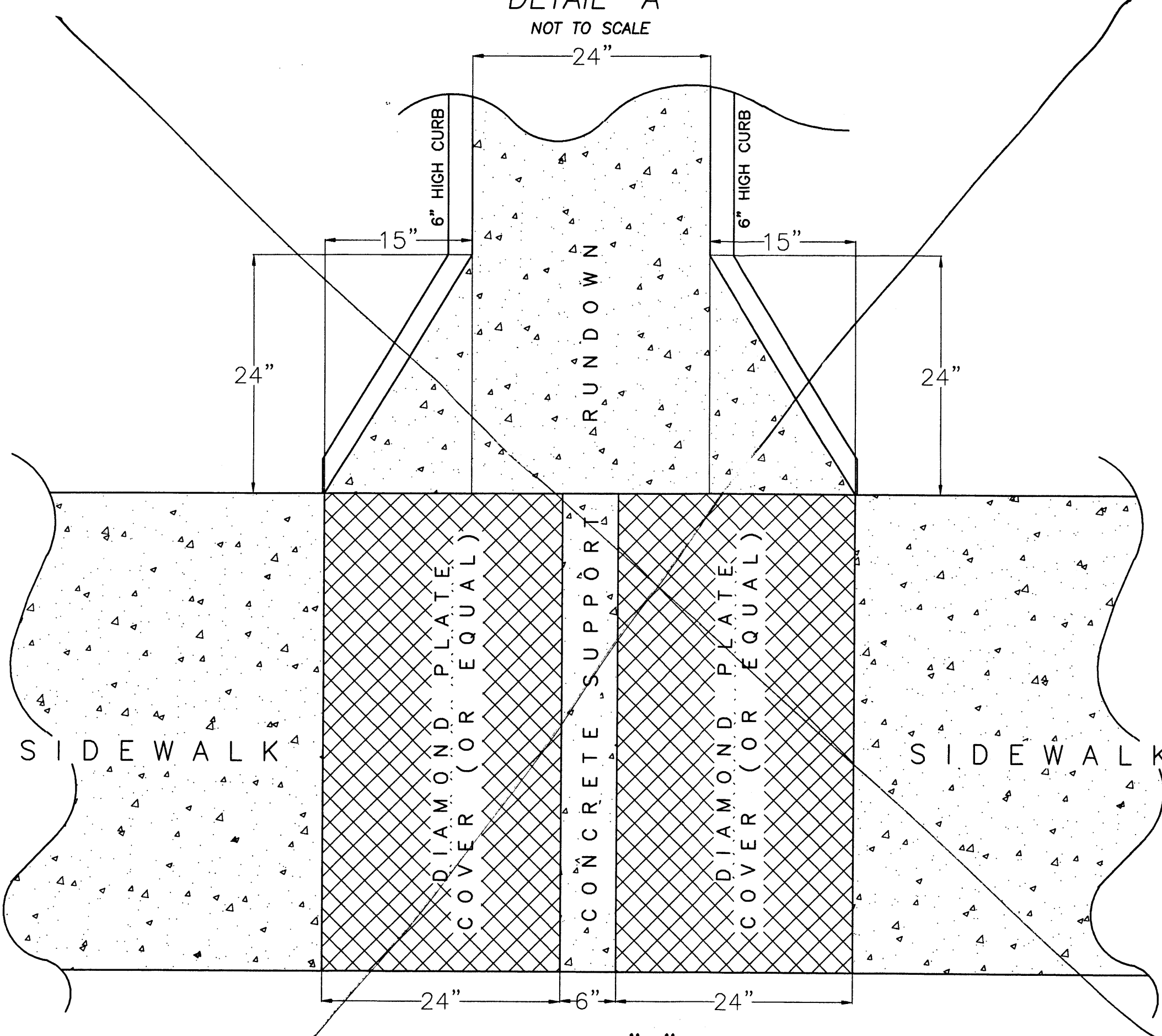
SEE NOTE SHEET C-2 - RUNDOWN  
HAS BEEN REPLACED BY EQUIVALENT  
12"X12" GRATE WITH 6" PVC PIPE  
TO DROP TO SIDEWALK CULVERT.



CONCRETE RUN-DOWN

DETAIL "A"

NOT TO SCALE



DETAIL "B"

NOT TO SCALE

CHANNEL CAPACITY CALCULATIONS  
NORTH SIDEWALK CHANNEL  
 $Q = (1.49/n) \cdot A \cdot R_h^{2/3} \cdot S$   
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## BENCH MARK

BENCH MARK IS ACS MONUMENT "SDC 12-1" LOCATED 1500' S. OF THE GIBSON BRIDGE  
OVER AMAFCA SOUTH DIVERSION CHANNEL. NGVD ELEVATION: 5047.3

## OFFSITE FLOW INFORMATION

- OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS NEGLIGIBLE.
- RUNOFF FROM SITE IS CONVEYED VIA CURB AND GUTTER TO STORM DRAINS LOCATED ON TRANSPORT ST.

## DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOT VIA GUTTERS AND DOWNSPOUTS
- EROSION CONTROL MEASURES SHALL BE TAKEN WHERE SLOPES EXCEED 3:1. EROSION CONTROL MEASURES MAY INCLUDE: SHOTCRETE, CONCRETE, IRRIGATED TURF, RIP-RAP WITH GEOTEXTILE BACKING, TERRACING, OR ANY COMBINATION OF TECHNIQUES THEREOF. EROSION CONTROL MEASURES TAKEN SHALL BE DETERMINED BY LANDSCAPE ARCHITECT.
- SIDEWALK CULVERTS SHALL BE CONSTRUCTED PER COA STD DWG 2236. EACH SIDEWALK CULVERT SHALL BE 24" WIDE. ALIGN EDGES OF RUNDOWN WITH SIDEWALK CULVERT.
- TOPOGRAPHIC MAP PROVIDED BY SURVEYS SOUTHWEST.
- RETAINING WALL DESIGN BY OTHERS.

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APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: CITY HYDROLOGY			FOR: AMERICUS HOSPITALITY/ HOLIDAY INN
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			PROJECT NO. ZONE SHEET 1 OF 2 ATLAS M-15

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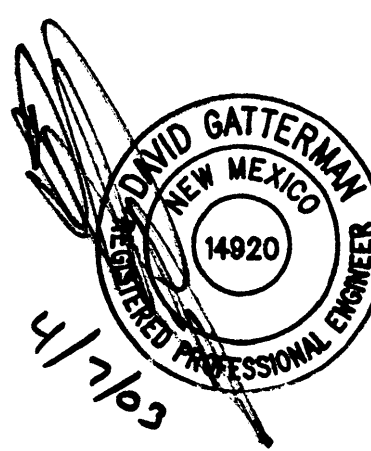
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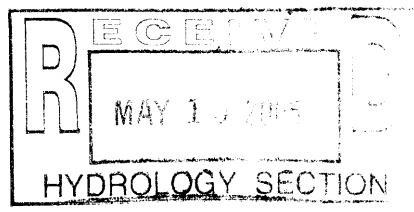


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