

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 7, 2008

Tafazzul Hussain, Registered Architect
AFRA Construction & Design
2501 Yale Blvd, Ste. 102
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
Homewood Suites, [M-15 / D41]
1520 Sunport Place SE
Architect's Stamp Dated 06/27/07

P.O. Box 1293

Dear Mr. Hussain:

Albuquerque

The TCL / Letter of Certification submitted on March 7, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 28, 2007

Tafazzul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Homewood Suites, [M-15 / D41]
1520 Sunport Place SE
Architect's Stamp Dated 06/27/07

Dear Mr. Hussain:

Based on the information provided on your submittal dated June 27, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the missing 'Detectable-Warning-Surfaces' (Truncated Domes) for all wheelchair-ramp-landings, with COA ROW, issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

Not done as
of 8/3/07 (Fri.)
10:30 AM

Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

JUNE 20, 2007

Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102

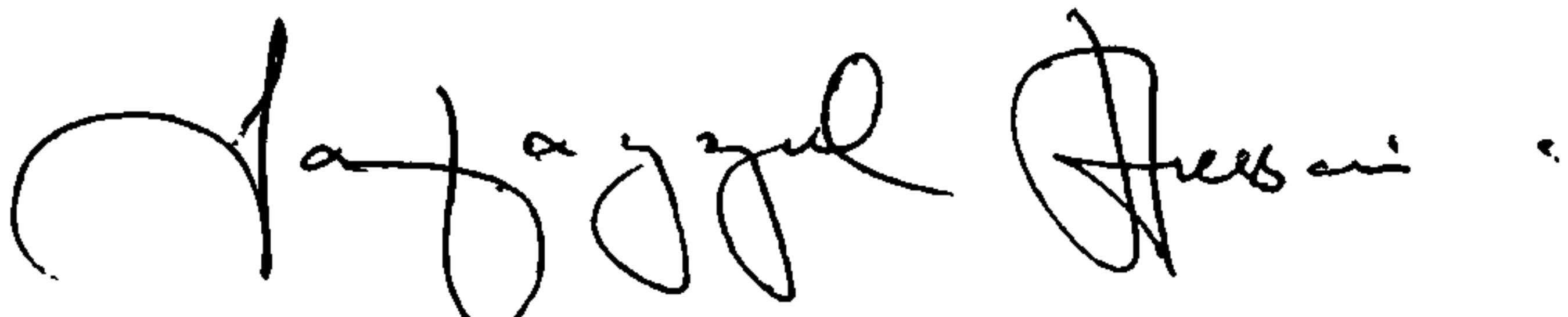
Re: Substantial compliance --Final TCL
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place
Albuquerque, NM 87109

Jim
Green
243-9093

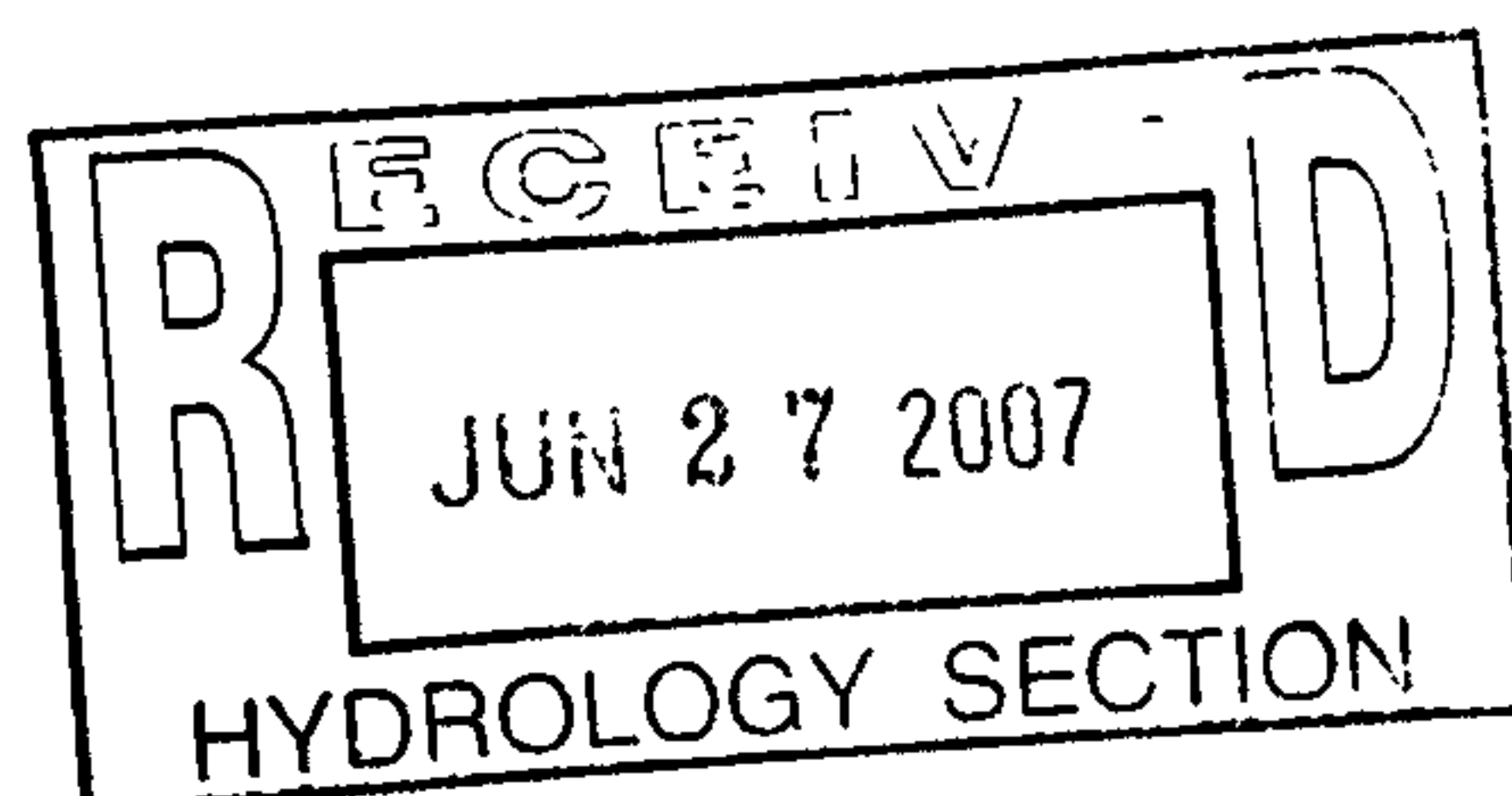
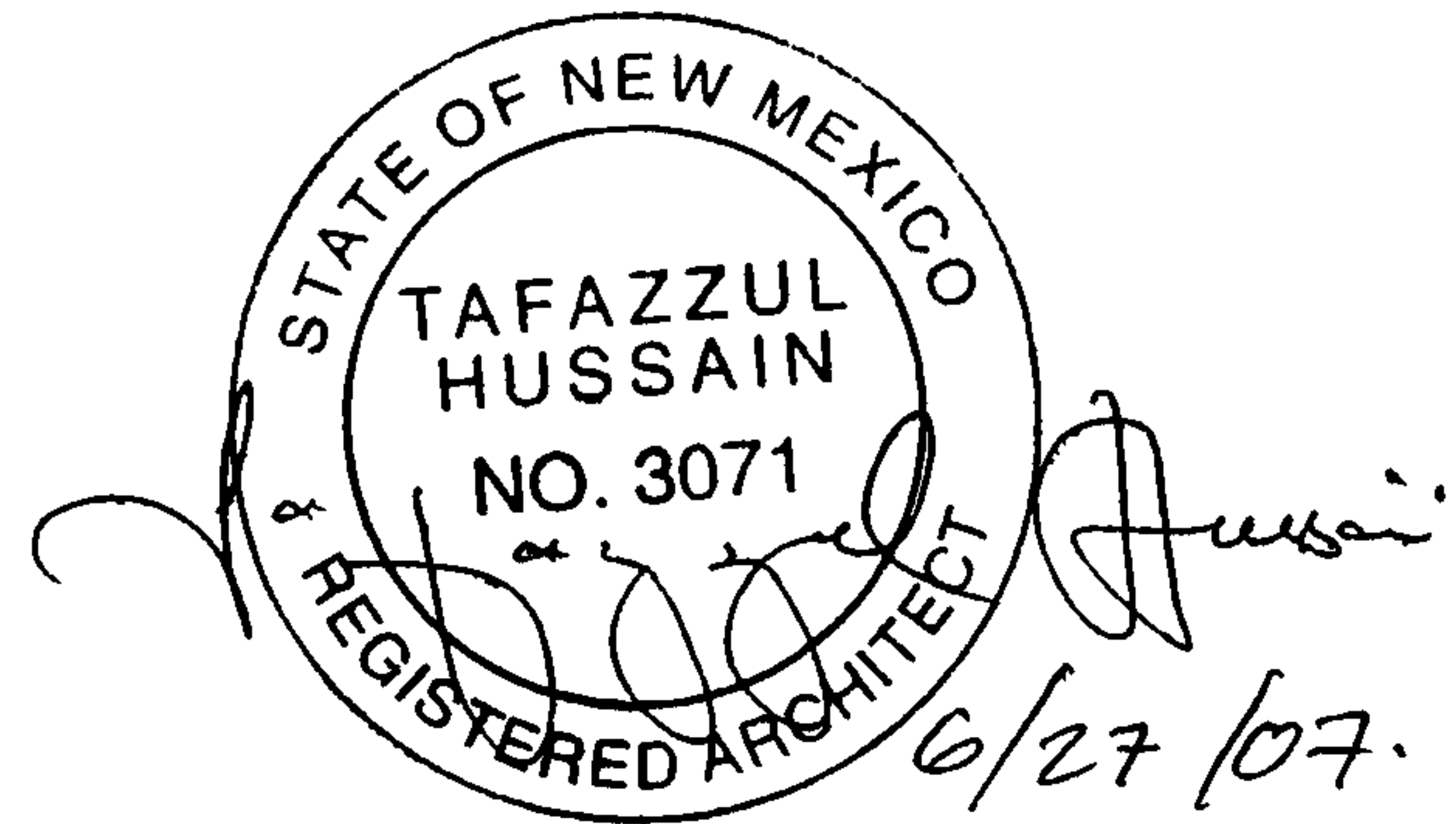
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a Final TCL for Homewood Suites located at 1520 Sunport Place SE, Albuquerque, NM 87109.

Sincerely,



Tafazzul Hussain, AIA
President
Afra Construction & Design



Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

JUNE 20, 2007

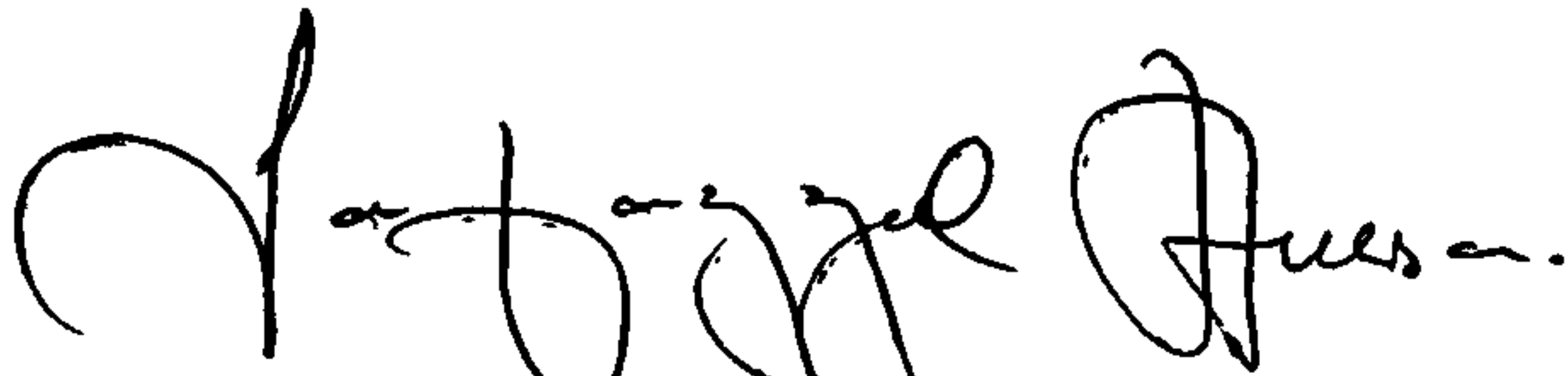
**Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102**

**Re: Substantial compliance –Final TCL
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place
Albuquerque, NM 87109**

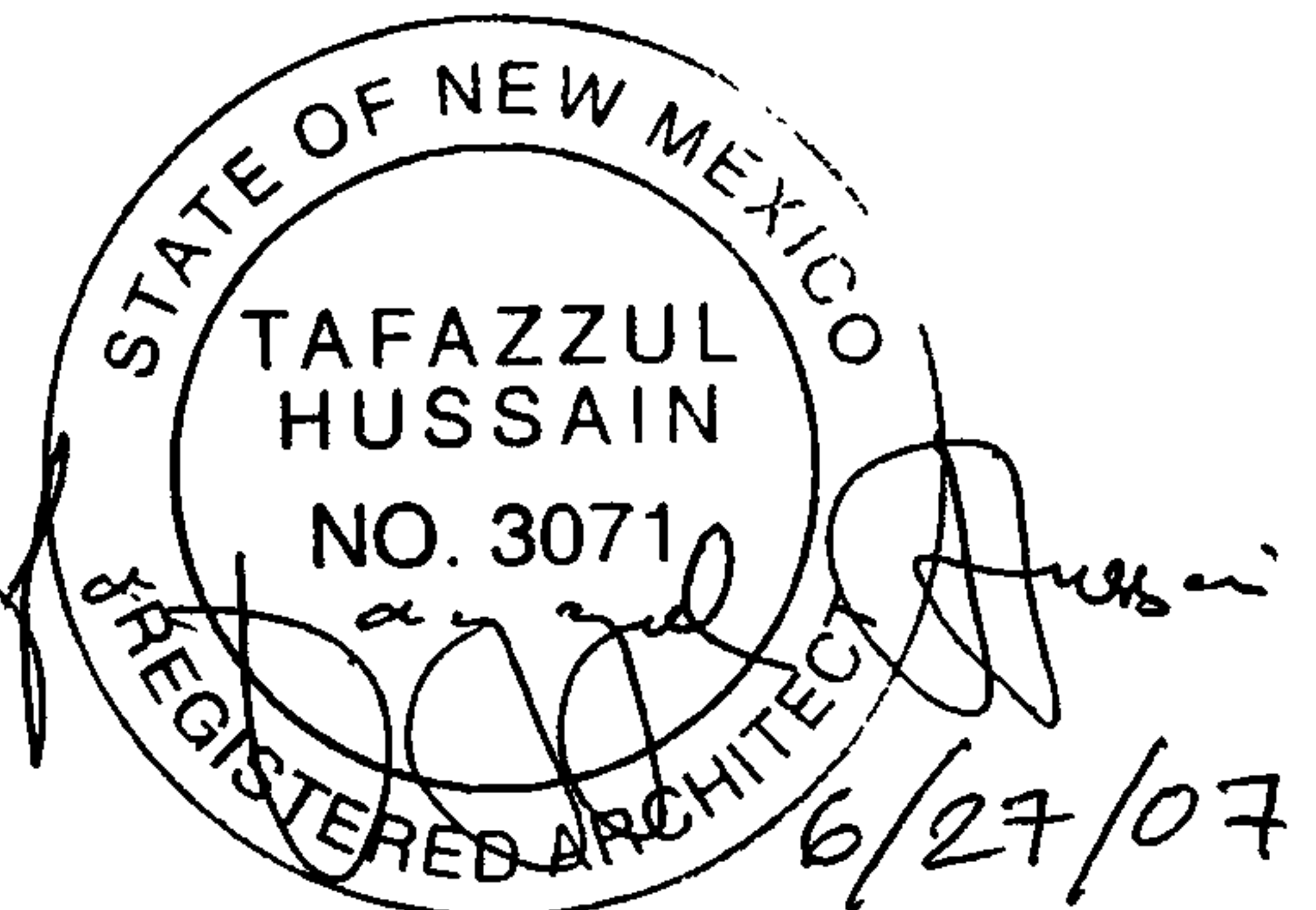
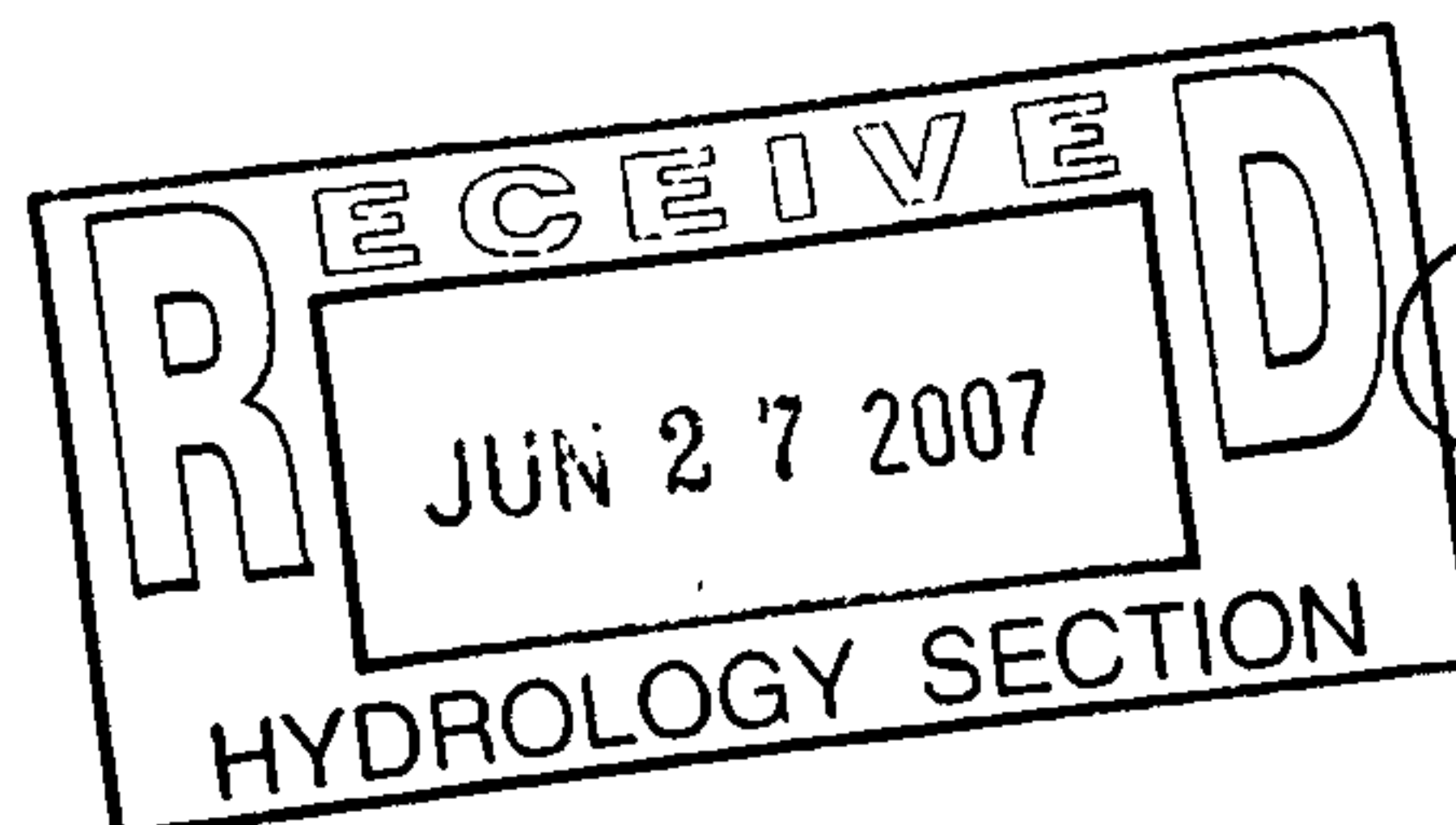
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a Final TCL for Homewood Suites located at 1520 Sunport Place SE, Albuquerque, NM 87109.

Sincerely,



**Tafazzul Hussain, AIA
President
Afra Construction & Design**



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: HOMEWOOD SUITES ZONE MAP/DRG. FILE # M.15 / D41
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 1520 SUNPORT PLACE SW.

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: ATRA CONSTR. & DES. CONTACT: _____
ADDRESS: 2501 YALE SE #102 PHONE: _____
CITY, STATE: ALBUQUERQUE NM 87109 ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ☒ ENGINEER/ARCHITECT CERT (TCL)
____ ENGINEER/ARCHITECT CERT (DRB S.P.)
____ ENGINEER/ARCHITECT CERT (AA)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ ☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

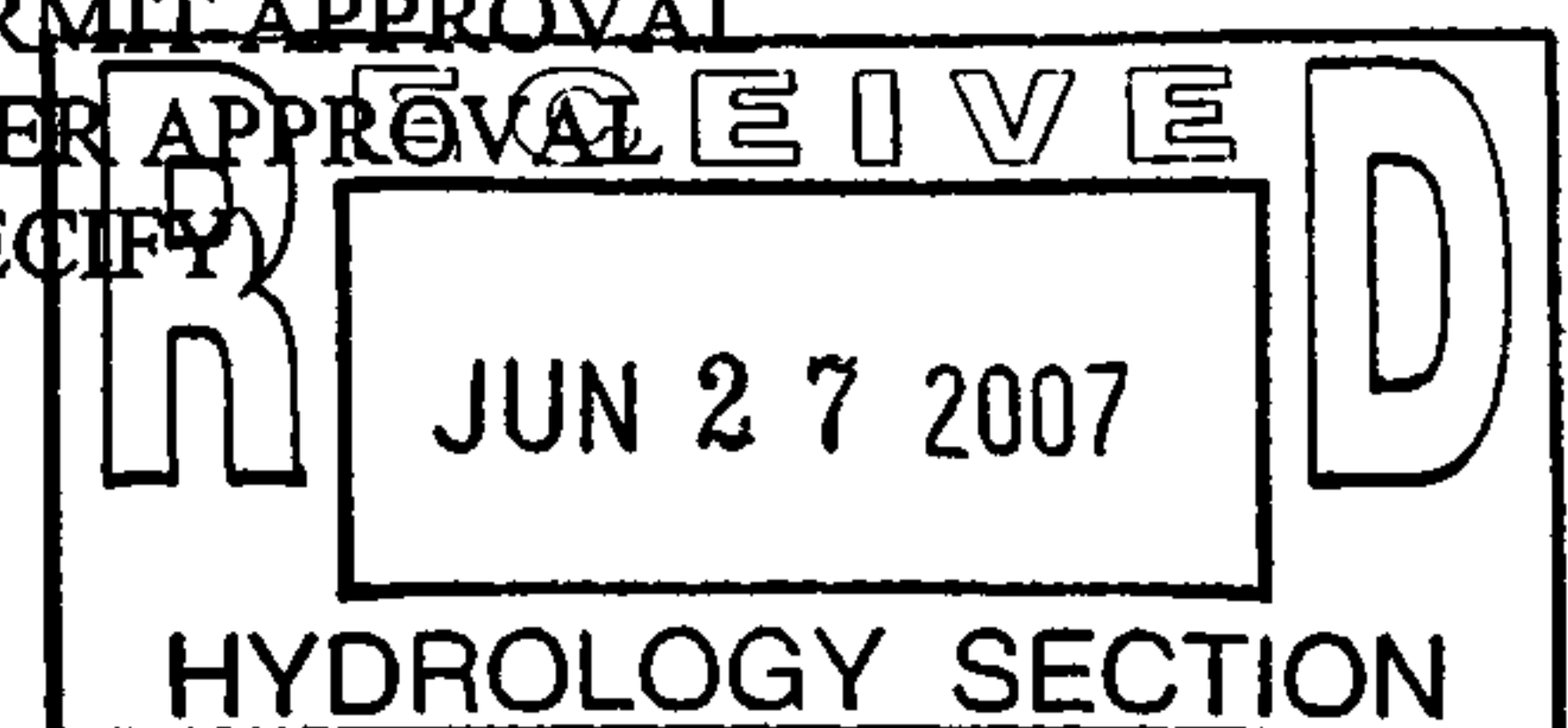
____ YES

____ NO

____ COPY PROVIDED

Jim Green

SUBMITTED BY: [Signature] DATE: 06.27.07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

June 21, 2007

Tafazzul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Homewood Suites, [M-15 / D41]
1520 Sunport Place SE
Architect's Stamp Dated 06/20/07

Dear Mr. Hussain:

Based on the information provided on your submittal dated June 21, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding 25 foot radius (corner of University/Woodward and H.C. ramp with truncated domes) and the words 'Substantial Compliance' (on letter of certification) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: HOMENWOOD SUITES ZONE MAP/DRG. FILE # M15/D041
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1-A, BLOCK 4-B SUNPORT PARK
CITY ADDRESS: 1520 SUNPORT PLACE SE, ALBUQ, NM-87109

ENGINEERING FIRM: LARRY READ & ASSOC
ADDRESS: _____
CITY, STATE: _____

CONTACT: 239-7692
PHONE: _____
ZIP CODE: _____

OWNER: FAIZEL KASSAM
ADDRESS: _____
CITY, STATE: _____

CONTACT: FAIZEL KASSAM
489-4474
PHONE: _____
ZIP CODE: _____

ARCHITECT: AFRA CONST. & DESIGN
ADDRESS: _____
CITY, STATE: _____

CONTACT: TAFAZZUL HUSSAIN
315-1482
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: ALFA LEGACY
ADDRESS: _____
CITY, STATE: _____

CONTACT: FAIZEL KASSAM
489-4474
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

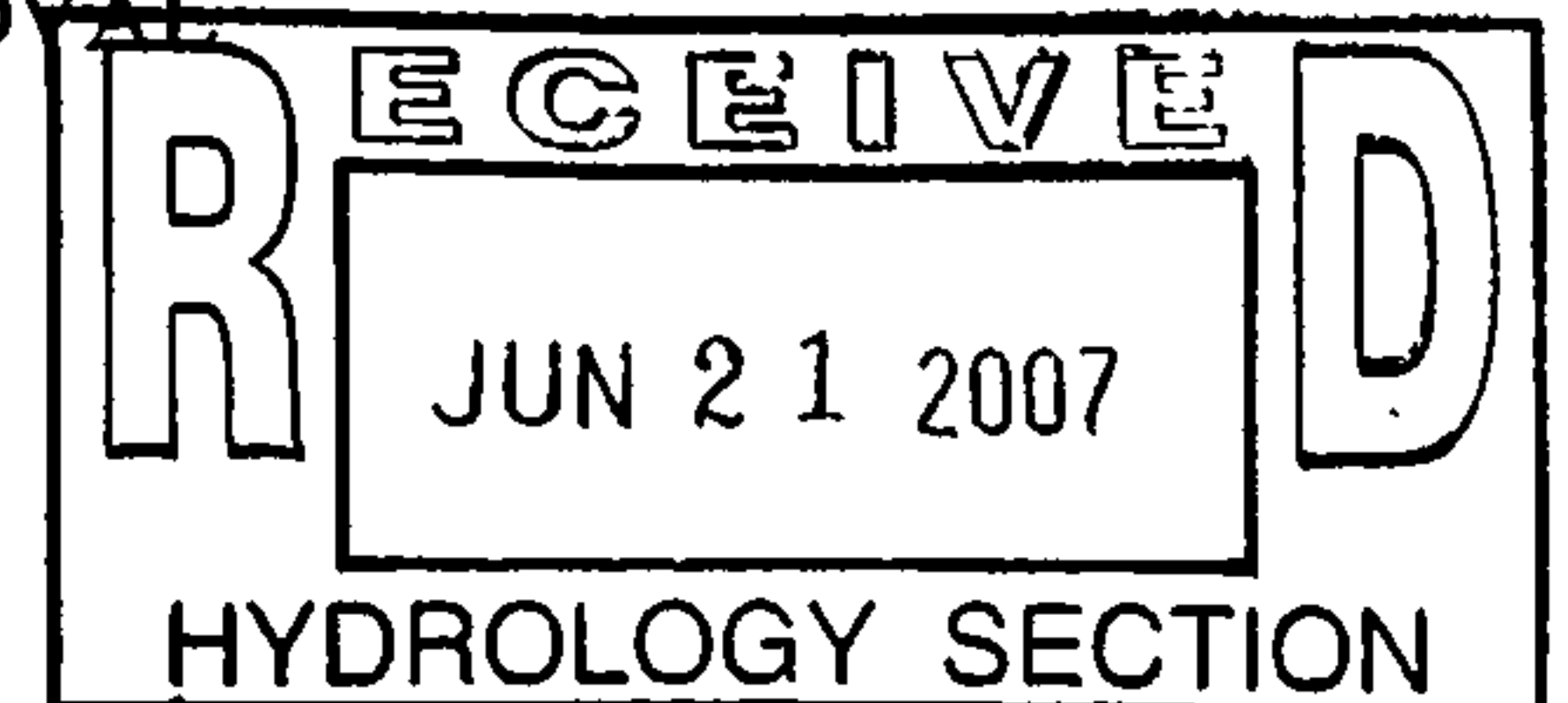
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



SUBMITTED BY: Tafazzul Hussain DATE: 6/21/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

JUNE 20, 2007

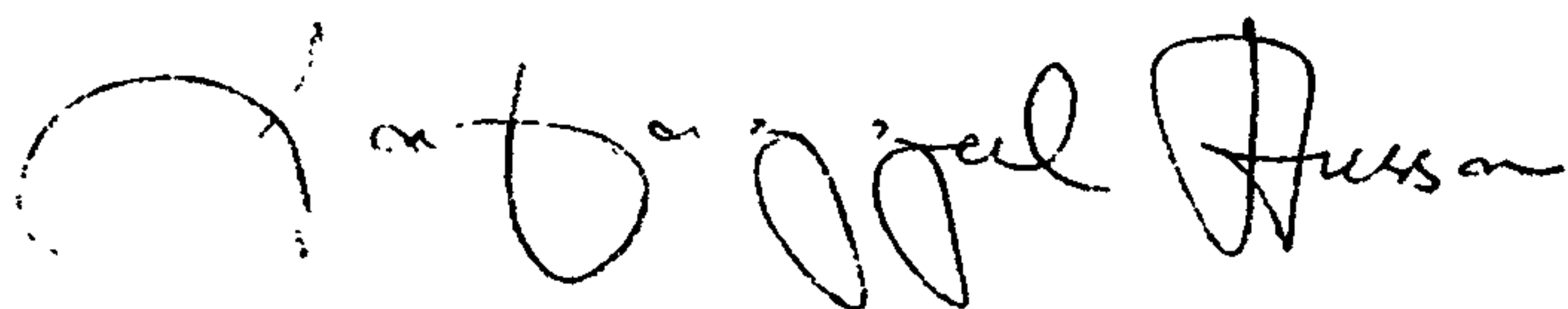
Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102

Re: Permanent C.O.
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place
Albuquerque, NM 87109

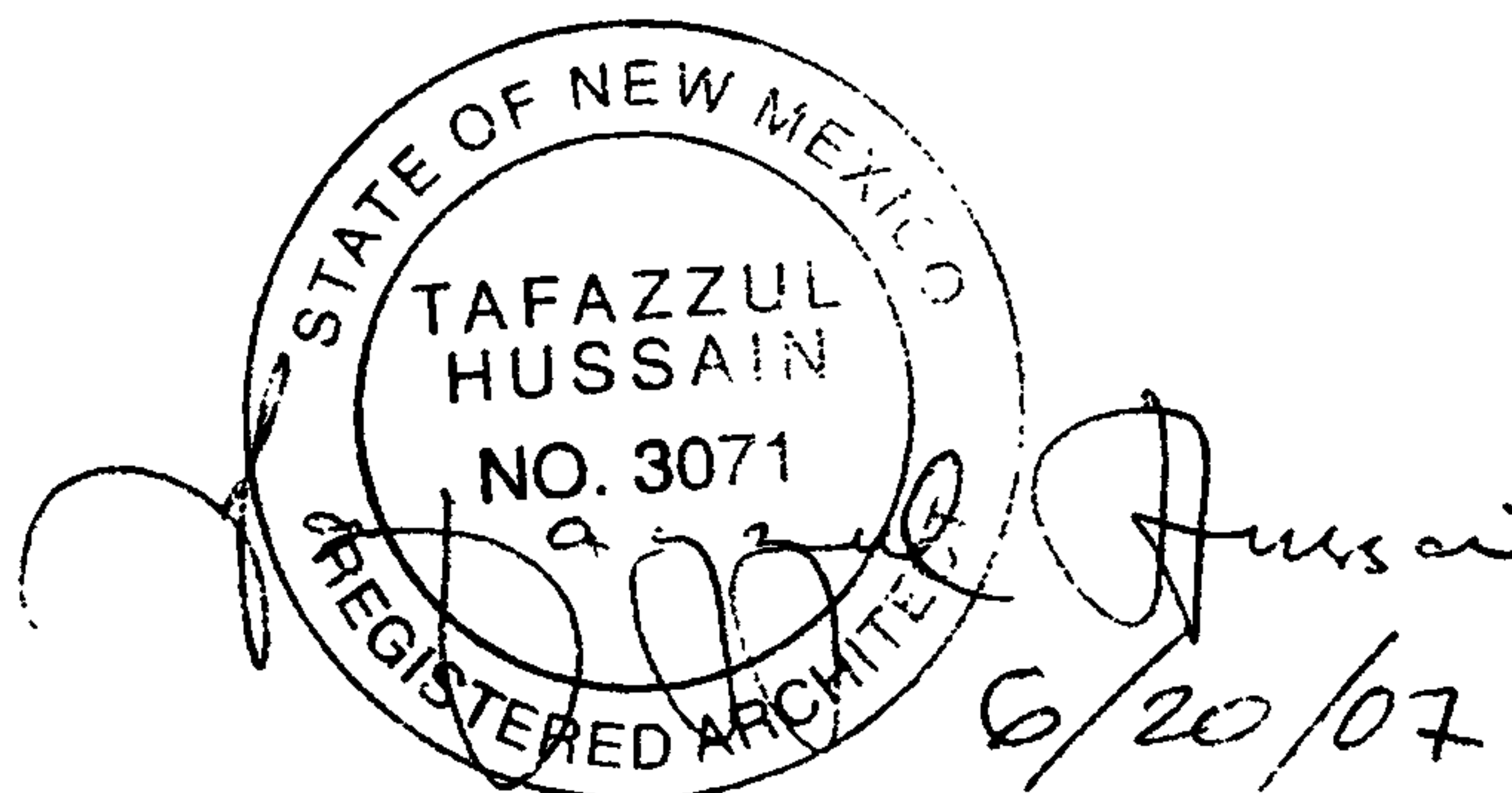
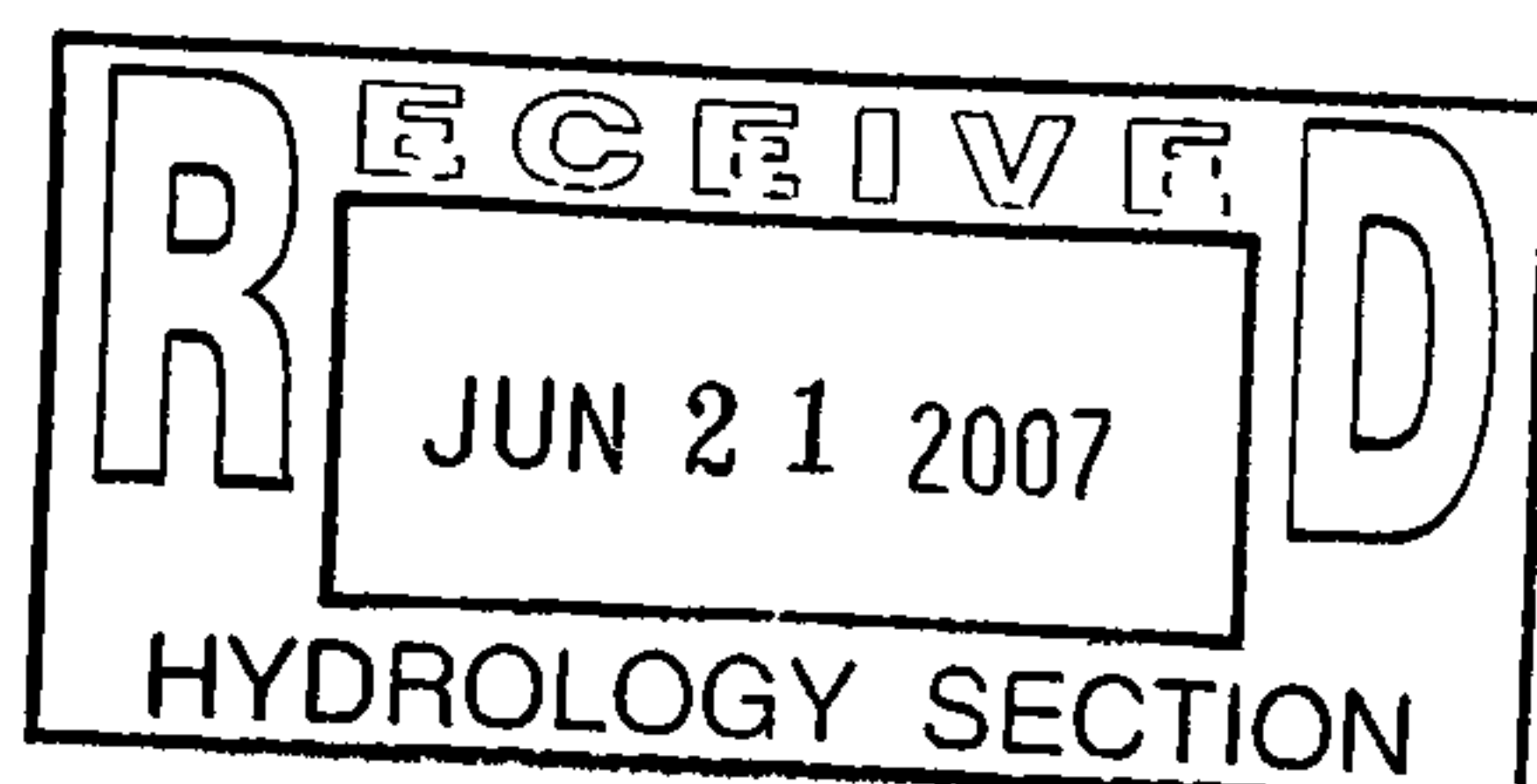
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a Certificate of Occupancy for Homewood Suites located at 1520 Sunport Place SE, Albuquerque, NM 87109.

Sincerely,



Tafazzul Hussain, AIA
President
Afra Construction & Design
Cell: 505-315-1482



Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

JUNE 20, 2007

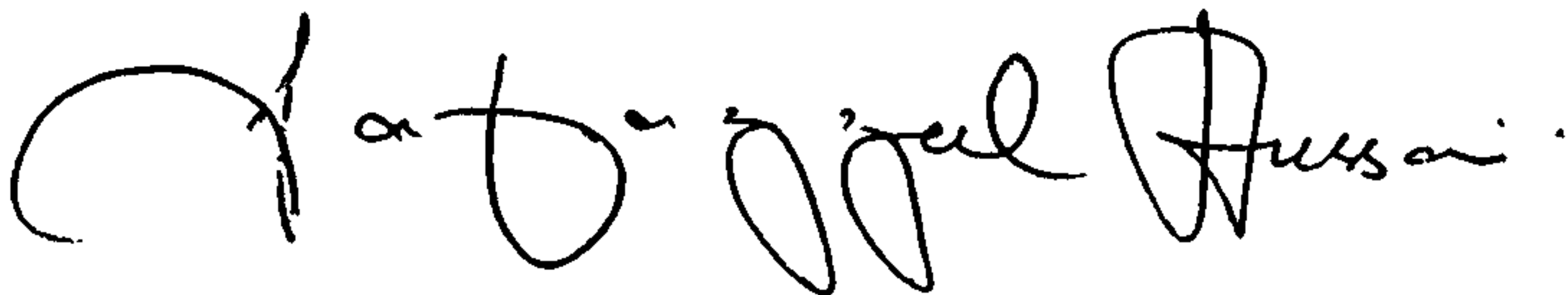
Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102

Re: Permanent C.O.
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place
Albuquerque, NM 87109

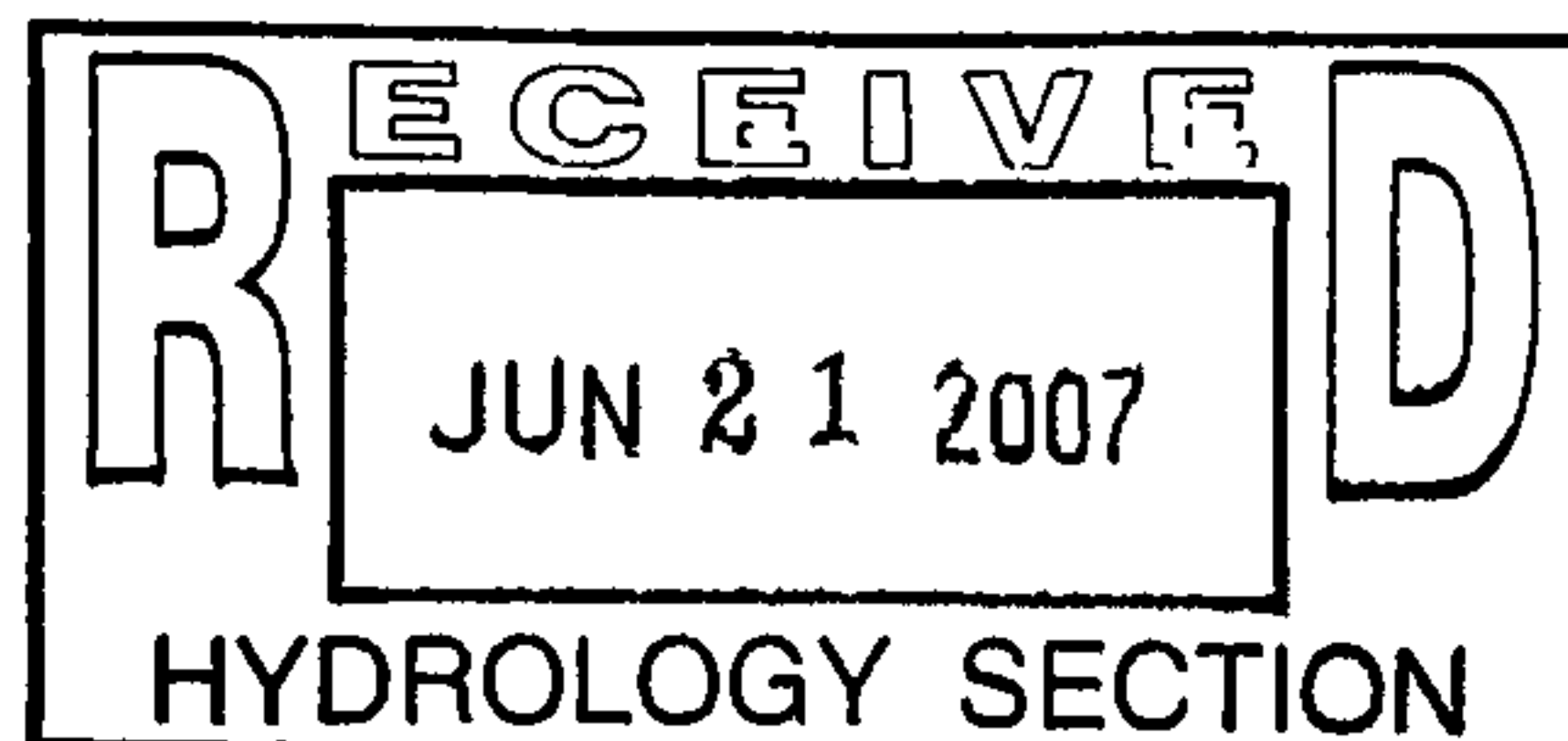
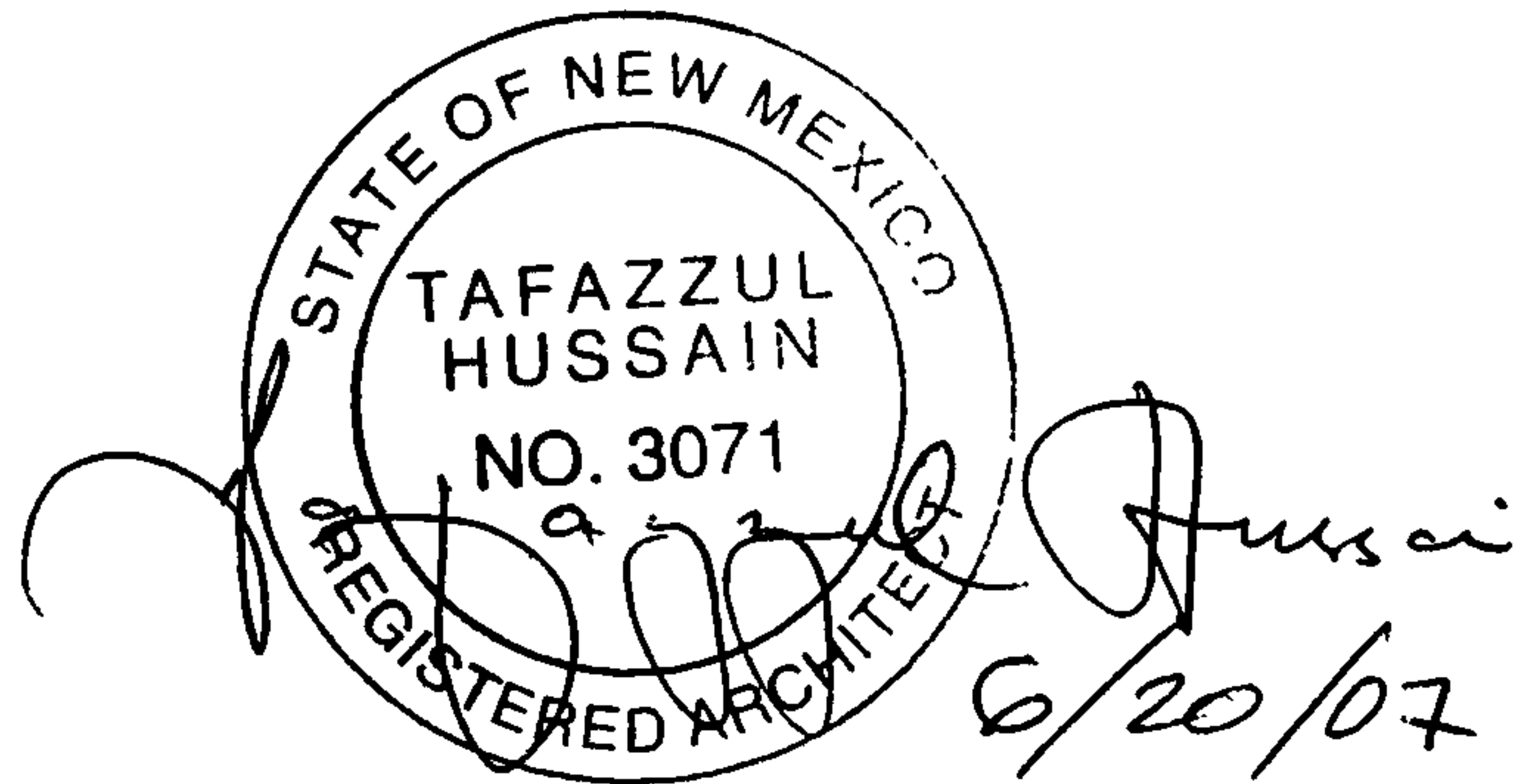
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a Certificate of Occupancy for Homewood Suites located at 1520 Sunport Place SE, Albuquerque, NM 87109.

Sincerely,



Tafazzul Hussain, AIA
President
Afra Construction & Design
Cell: 505-315-1482



CITY OF ALBUQUERQUE



October 26, 2006

Mr. Larry D. Read, PE
LARRY READ & ASSOCIATES
2430 Midtown Place NE, Ste C
Albuquerque, NM 87107

Re: HOMEWOOD SUITES - SUNPORT
5120 Sunport Place SE
Approval of Permanent Certificate of Occupancy (C.O.)
Building Permit - Engineer's Stamp dated 06/27/2005 (M-15/D41)
SO-19 Permit - Engineer's Stamp dated 10/20/2006
Certification dated 10/23/2006

P.O. Box 1293

Dear Larry,

Albuquerque Based upon the information provided in your submittal received 10/23/2006, the above
referenced certification is approved for release of Permanent Certificate of Occupancy by
Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15/D-41
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
ZIP CODE: 87106

ARCHITECT: TAFFAZUL HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZUL HUSSAIN
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

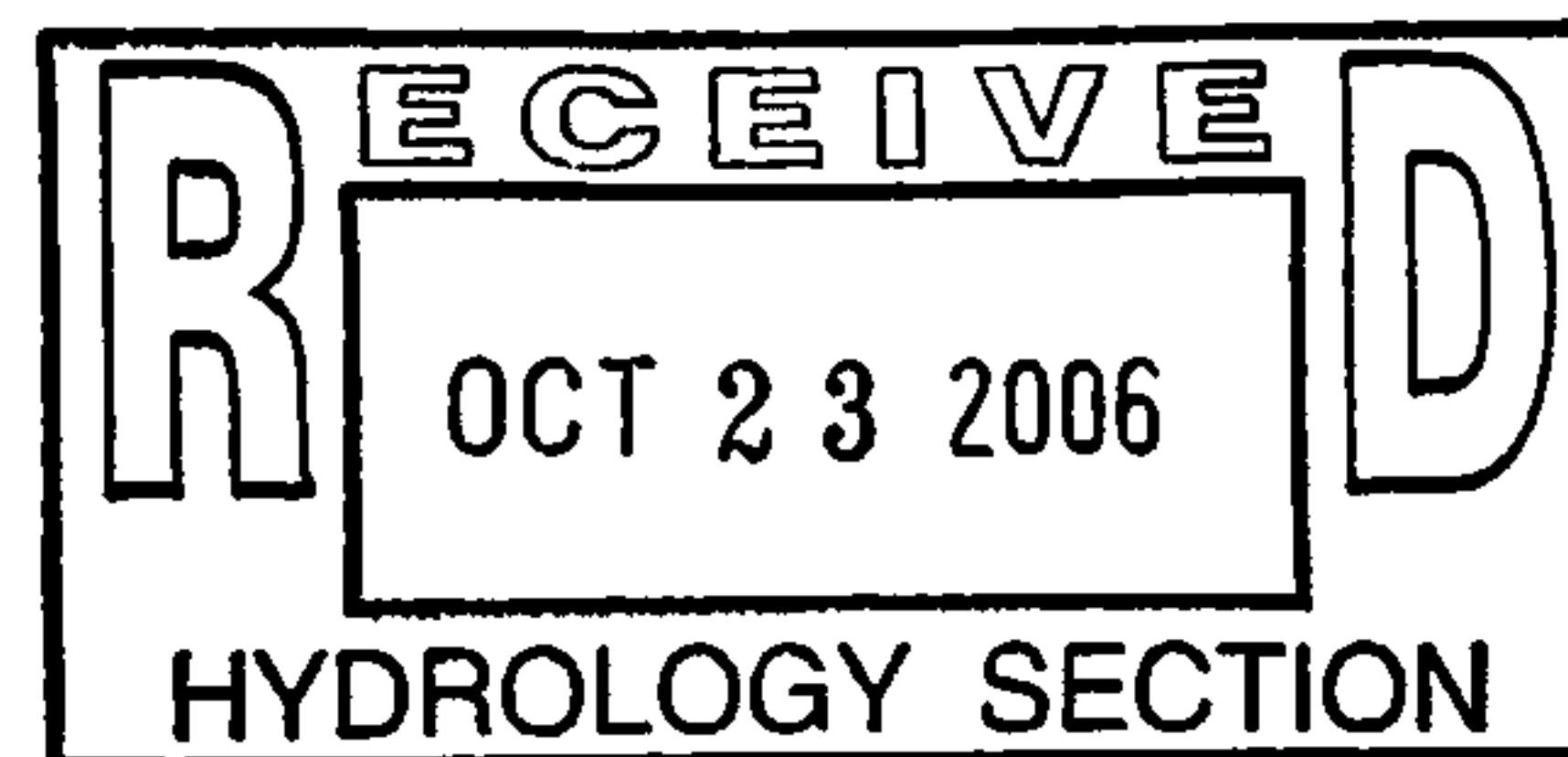
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) 50-19 FINAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: October 23, 2006

BY: LARRY D. READ PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 25, 2006

Tafazzul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd. SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Homewood Suites (Hilton), [M-15 / D-41]
1520 Sunport Place SE
Architect's Stamp Dated 10/25/06

Dear Mr. Hussain:

Based on the information provided on your submittal dated October 25, 2006, the above referenced project is approved for a 60-day Temporary C.O.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A Temporary C.O. has been issued allowing the outstanding Detectable Warning Surfaces on all HC ramps (Truncated Domes) and H.C. ramp (construct at University and Woodward with a larger radius) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

MIS/D-41

October 25, 2006

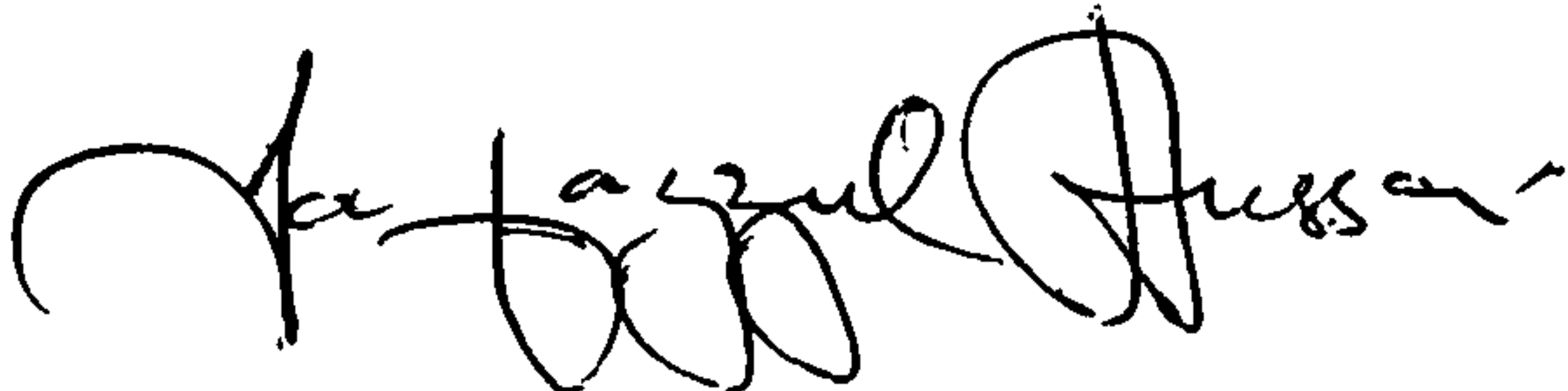
Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 2nd Street NW
Albuquerque, Nm 87102

Re: Temporary C.O.
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place SE
Albuquerque, NM 87109

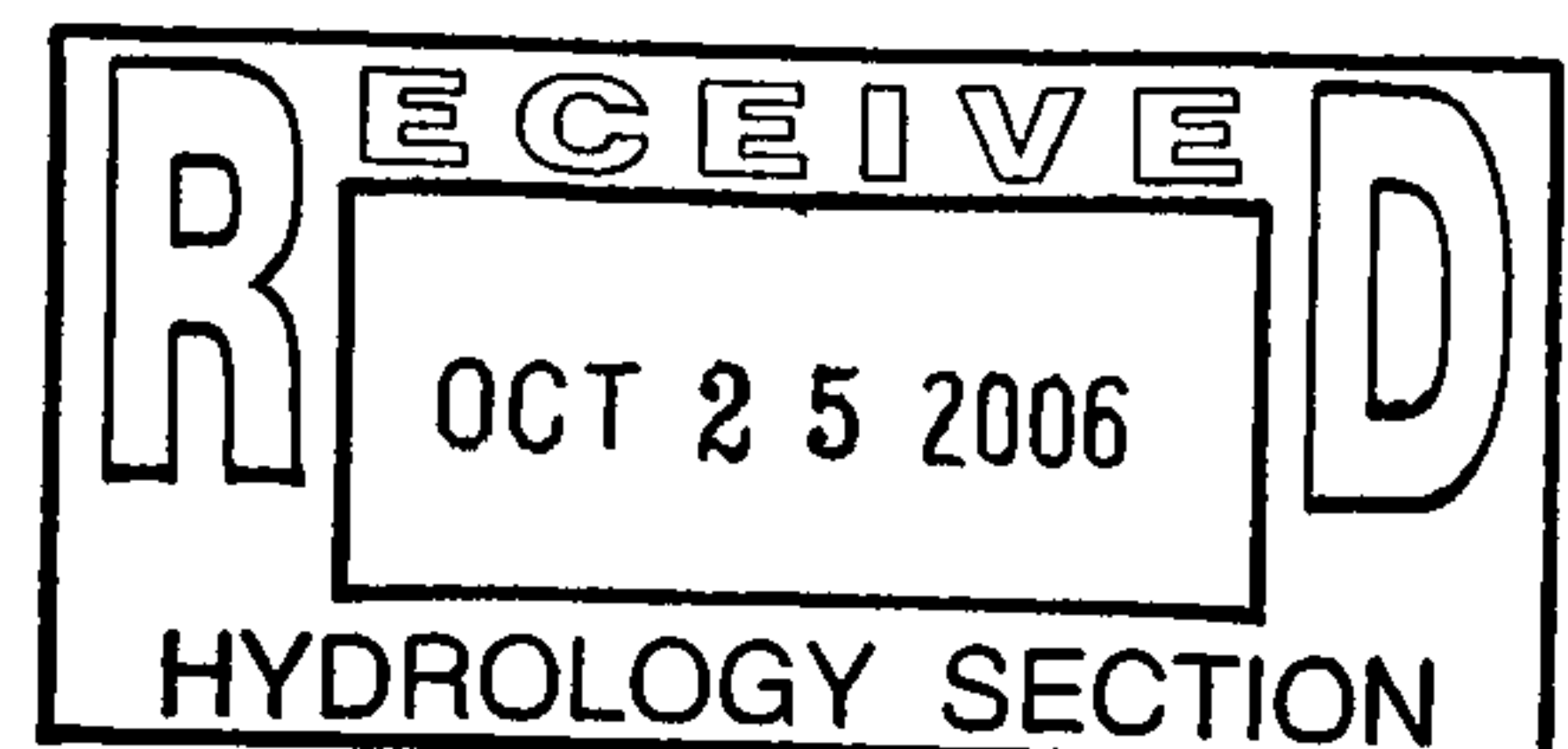
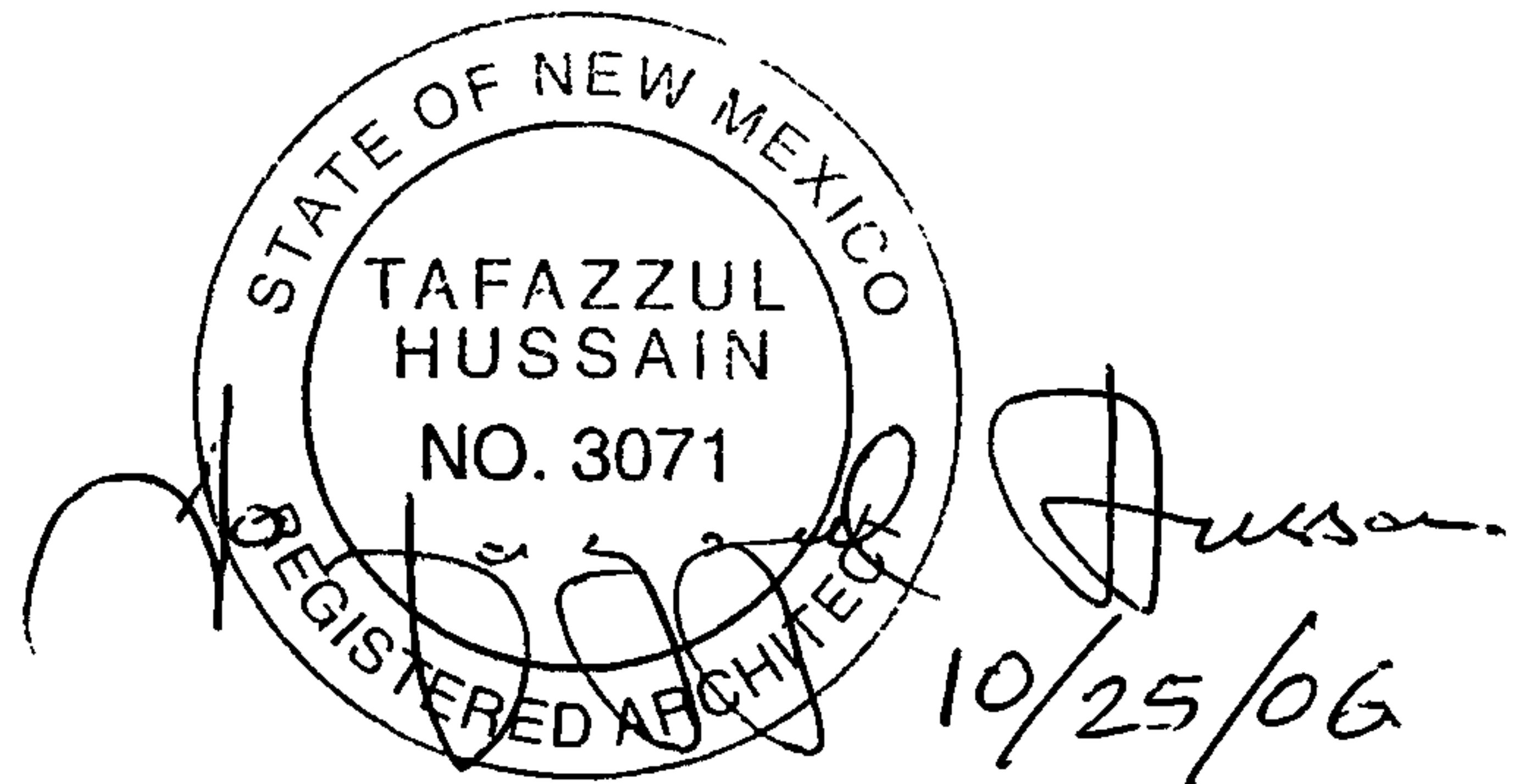
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a 60-day temporary Certificate of Occupancy for Homewood Suites located at 1520 Sunport Place SE., Albuquerque, NM 87109.

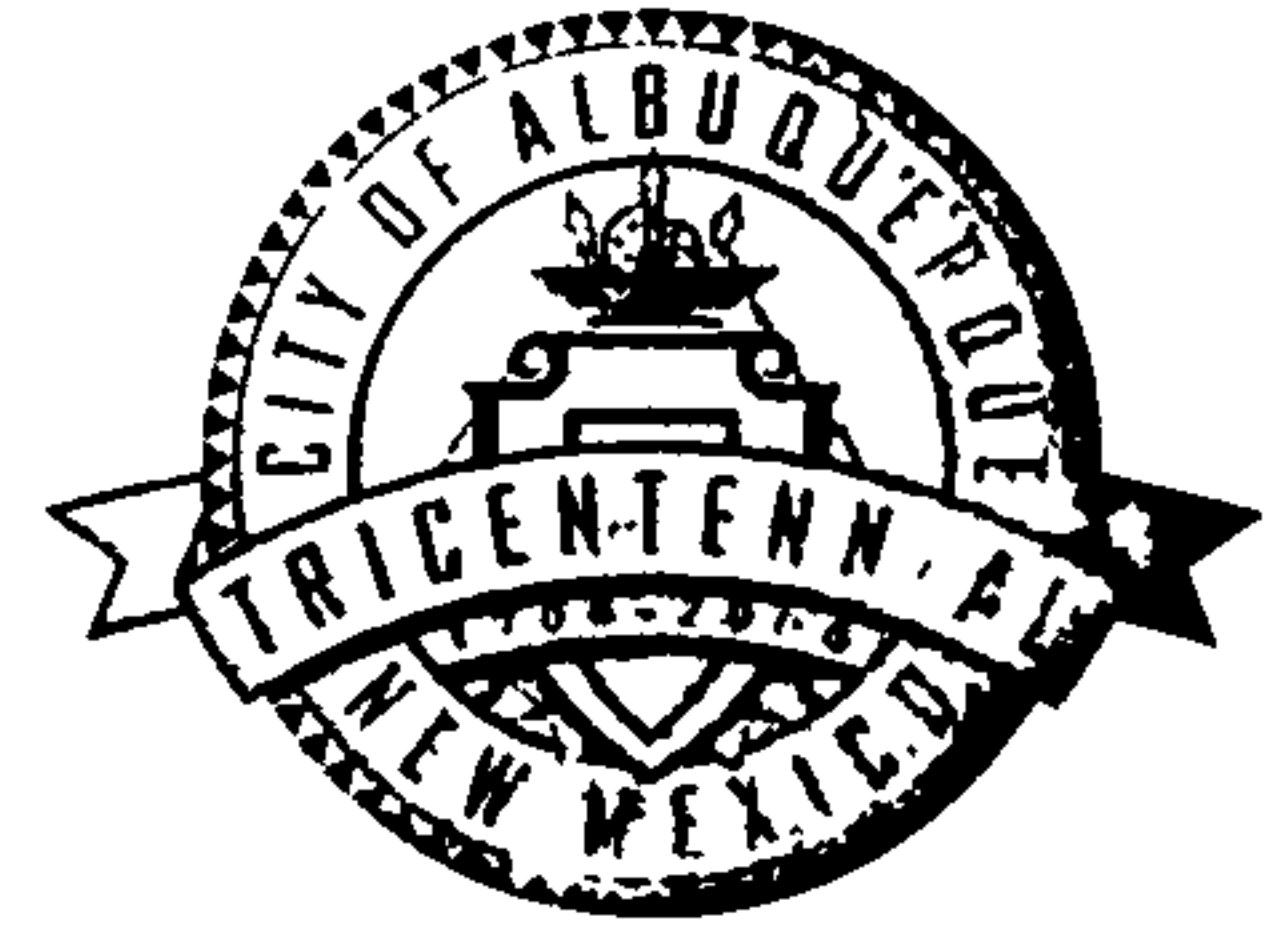
Sincerely,



Tafazzul Hussain, AIA
President
Afra Construction & Design



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 23, 2006

Tafassul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd SE, Ste. 102
Albuquerque, NM 87106

Re: Certification Submittal for Temporary Certificate of Occupancy for
Homewood Suites (Hillton), [M-15 / D41]
1520 Sunport Place SE
Arhitect's Stamp Dated 10/20/06

Dear Mr. Hussain:

P.O. Box 1293

The TCL / Letter of Certification submitted on October 23, 2006 is not sufficient for acceptance by this office for a 30-day Temporary Certificate of Occupancy (C.O.).

Albuquerque

Need to provide DRB Site Plan submitted this will be the latest edition, which may have redlined comments, initialled and dated by the designer-of-record (include any changes to approved site plan). All wc ramps fronting Woodward need to be replaced, even the existing ones at the intersections of Sunport and University crossing Woodward and the two entrances onto Homewood Suites (Ramp are not current COA and ADA standard).

New Mexico 87103

www.cabq.gov

Please call me at 505-924-3630 to discuss these issues mentioned above, thank you.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

Handwritten text, possibly a signature or initials, consisting of several vertical strokes and a horizontal line.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: HOMewood SUITES - Sunport Road ZONE MAP/DRG. FILE # M-15/1D41
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1-A, BLOCK 4-B SUNPORT PARK
 CITY ADDRESS: 1520 SUNPORT PLACE SE, ALBQ, NM 87109

ENGINEERING FIRM: LARRY READ & ASSOC CONTACT: LARRY READ
 ADDRESS: _____ PHONE: 237-8421
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: TAFAZZUL HUSSAIN CONTACT: TAFAZZUL H
 ADDRESS: 2501 YALE BLVD. SE PHONE: 315-1482
 CITY, STATE: ALBQ, NM-87106 ZIP CODE: _____
SUITE-102

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

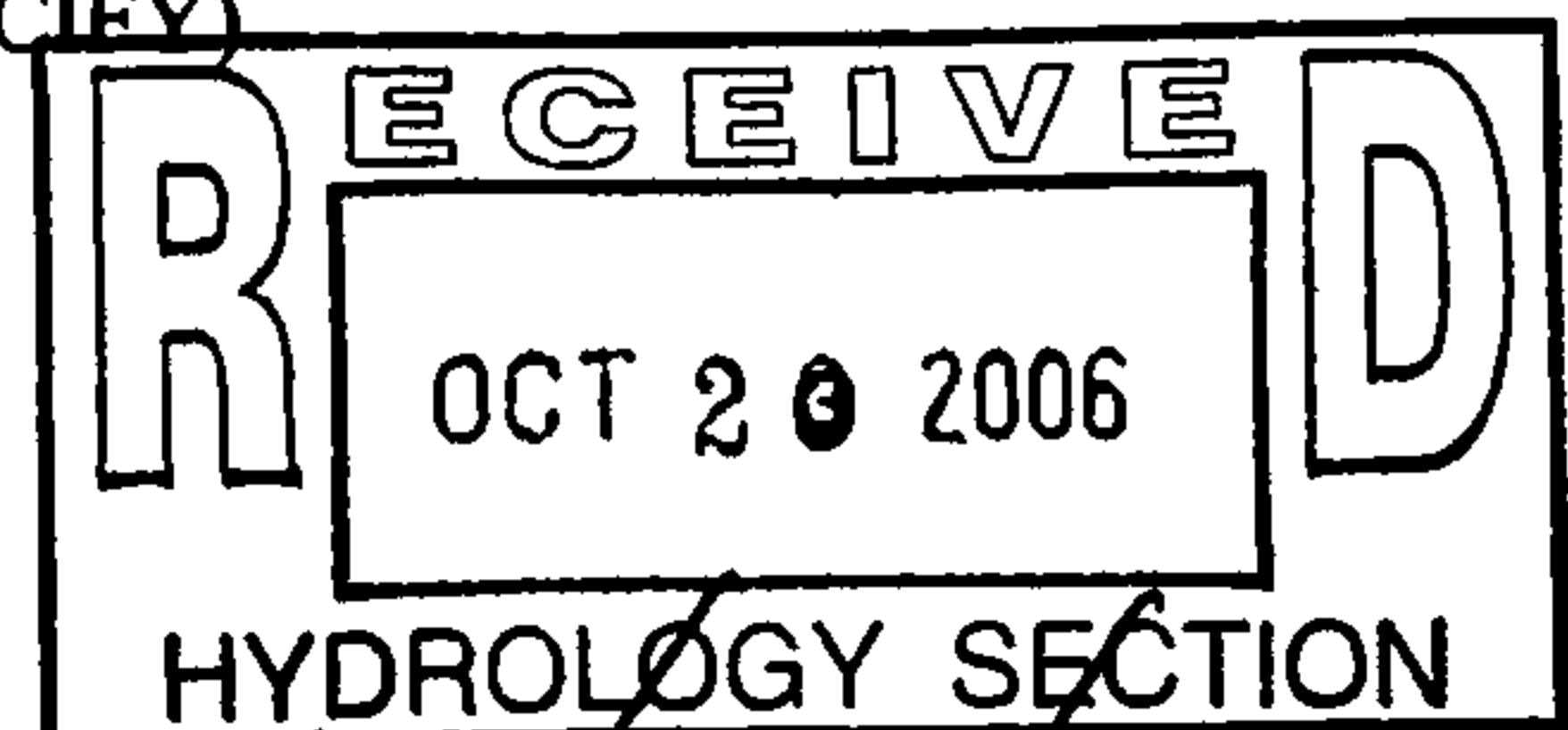
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 10/20/06



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Afra Construction & Design

2501 Yale Blvd. SE Suite 102

Albuquerque, NM 87106

505-243-9093

505-243-1561

October 20, 2006

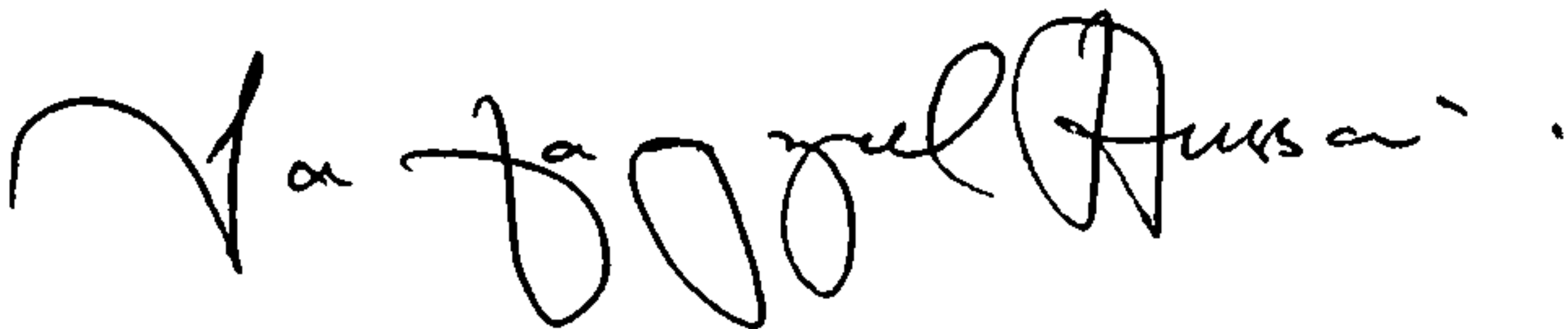
Nilo Salgado-Fernandez PE
Senior Traffic Engineer
Planning Department
600 And Street NW
Albuquerque, Nm 87102

Re: Temporary C.O.
Homewood Suites
Albuquerque Airport Location
1520 Sunport Place
Albuquerque, NM 87109

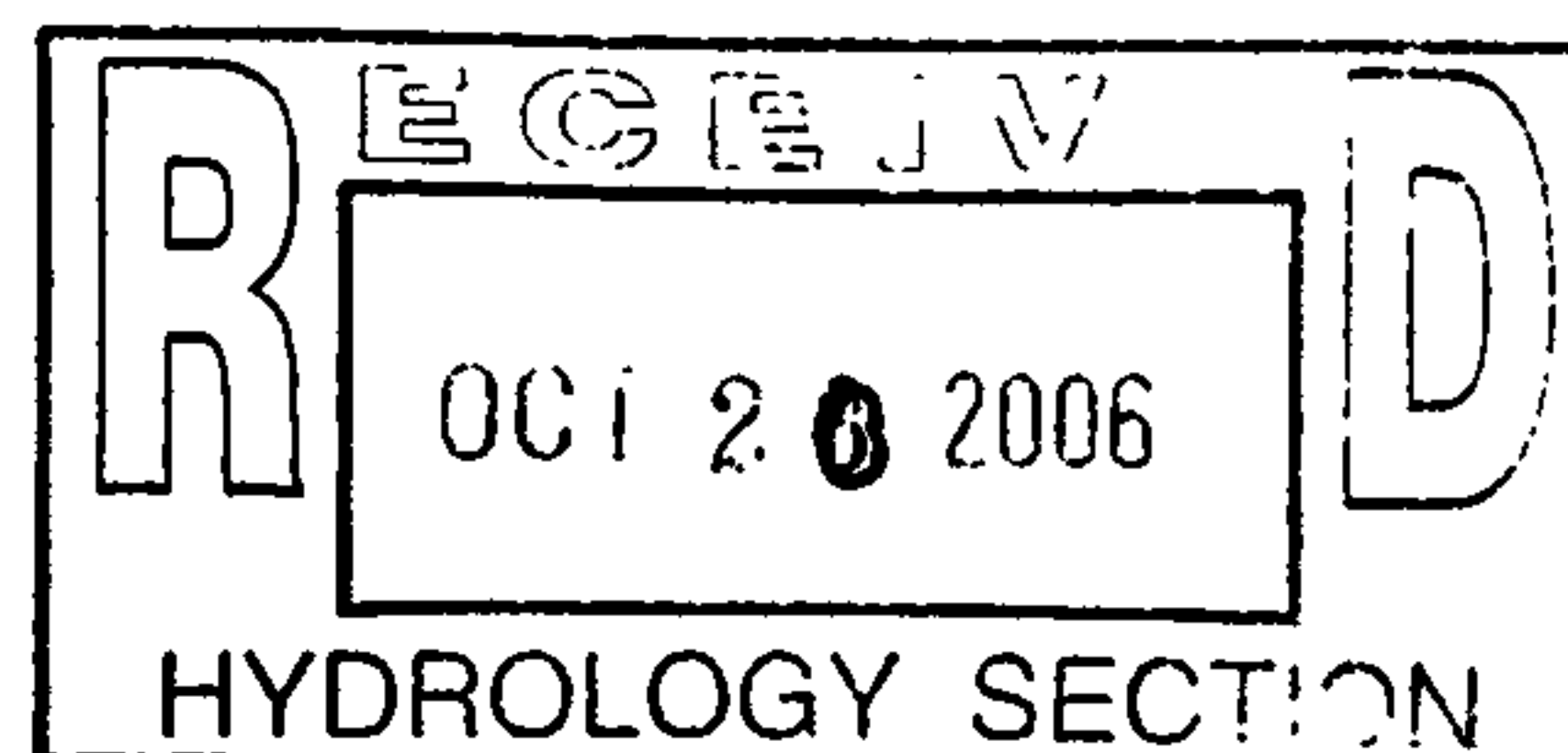
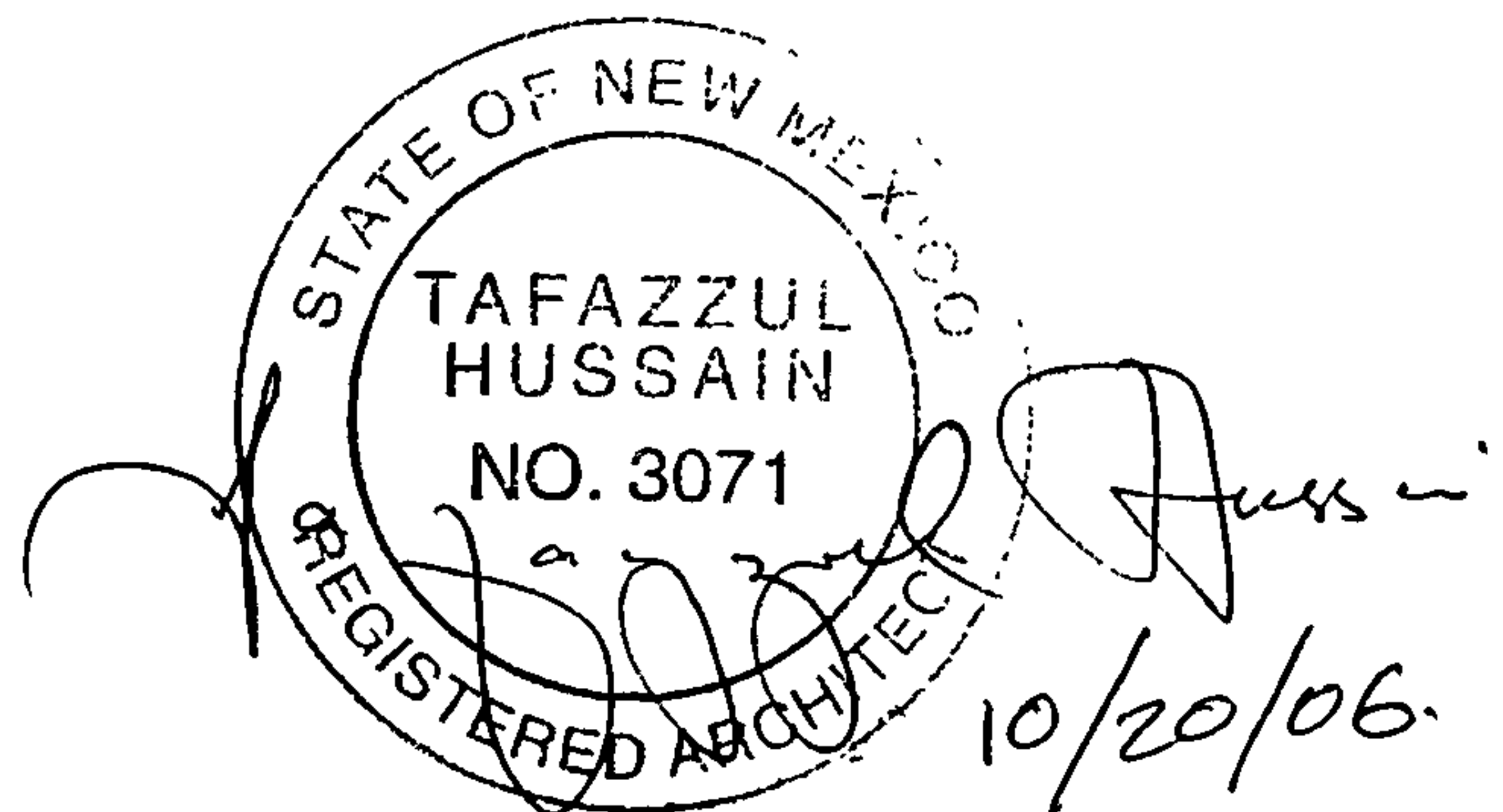
Dear Mr. Salgado-Fernandez,

Afra Construction & Design requests a 30-day temporary Certificate of Occupancy for Homewood Suites located at 1520 Sunport Place SE., Albuquerque, NM 87109.

Sincerely,



Tafazzul Hussain, AIA
President
Afra Construction & Design



- ~~NO PERMIT FOR~~
~~SUN ON WOODWARD~~

I Need approved
site plan

I Needs aisle
widths and
RADIUS RADIUS
for reconfigured
parking

- ~~Architect~~ ^{update} ~~Replate~~
~~SUNPORT~~
~~ADIVERSITY Woodward~~

2 - entrances (one ramp)
on Woodward
7 S S S / not
ADA
(per Ruben)
WLC PART
Replate @ 1/5 (13)
OF SUNPORT PLACE
& Woodward
University

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15/D-41
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
ZIP CODE: 87106

ARCHITECT: TAFFAZUL HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZUL HUSSAIN
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

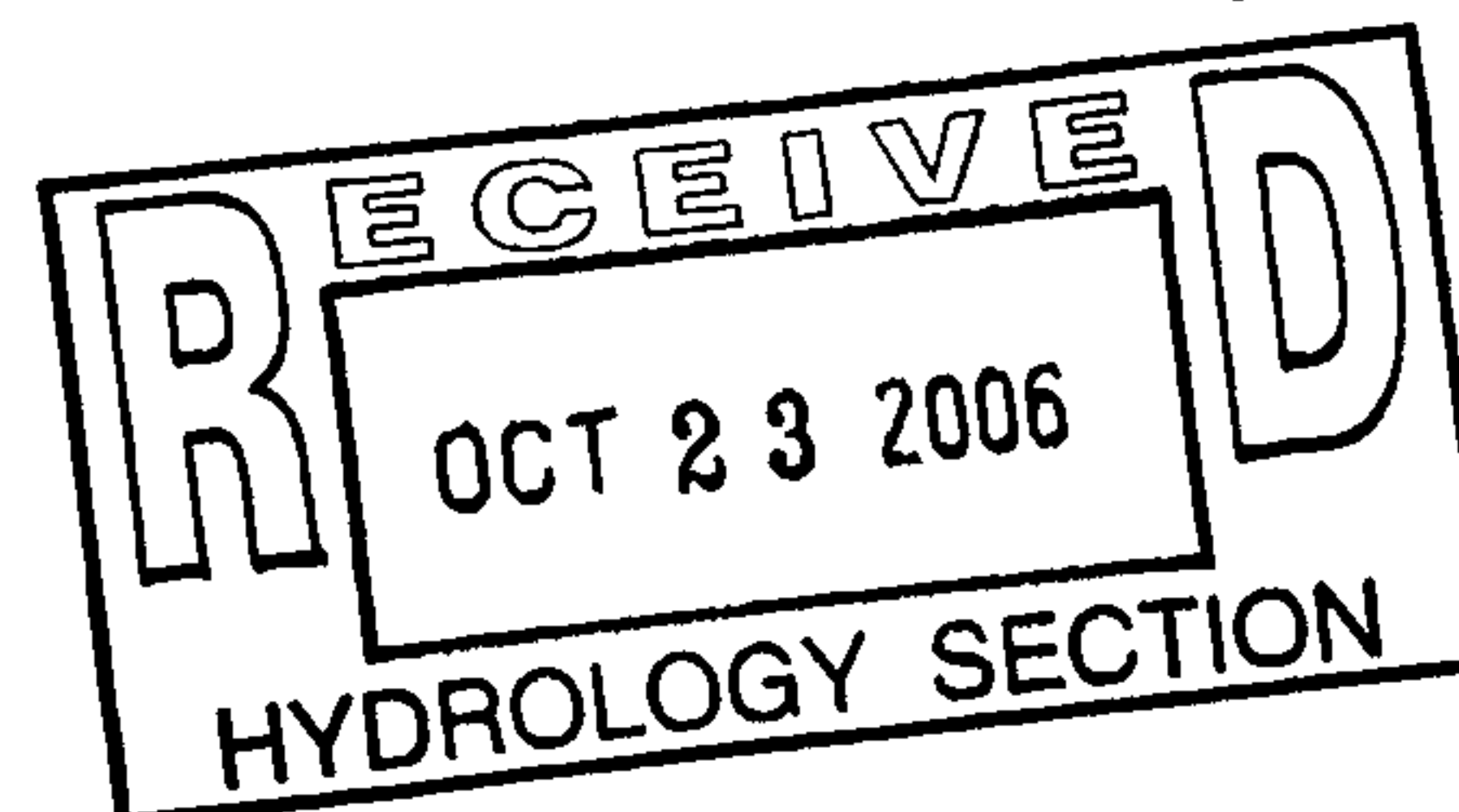
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) SO-S9

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

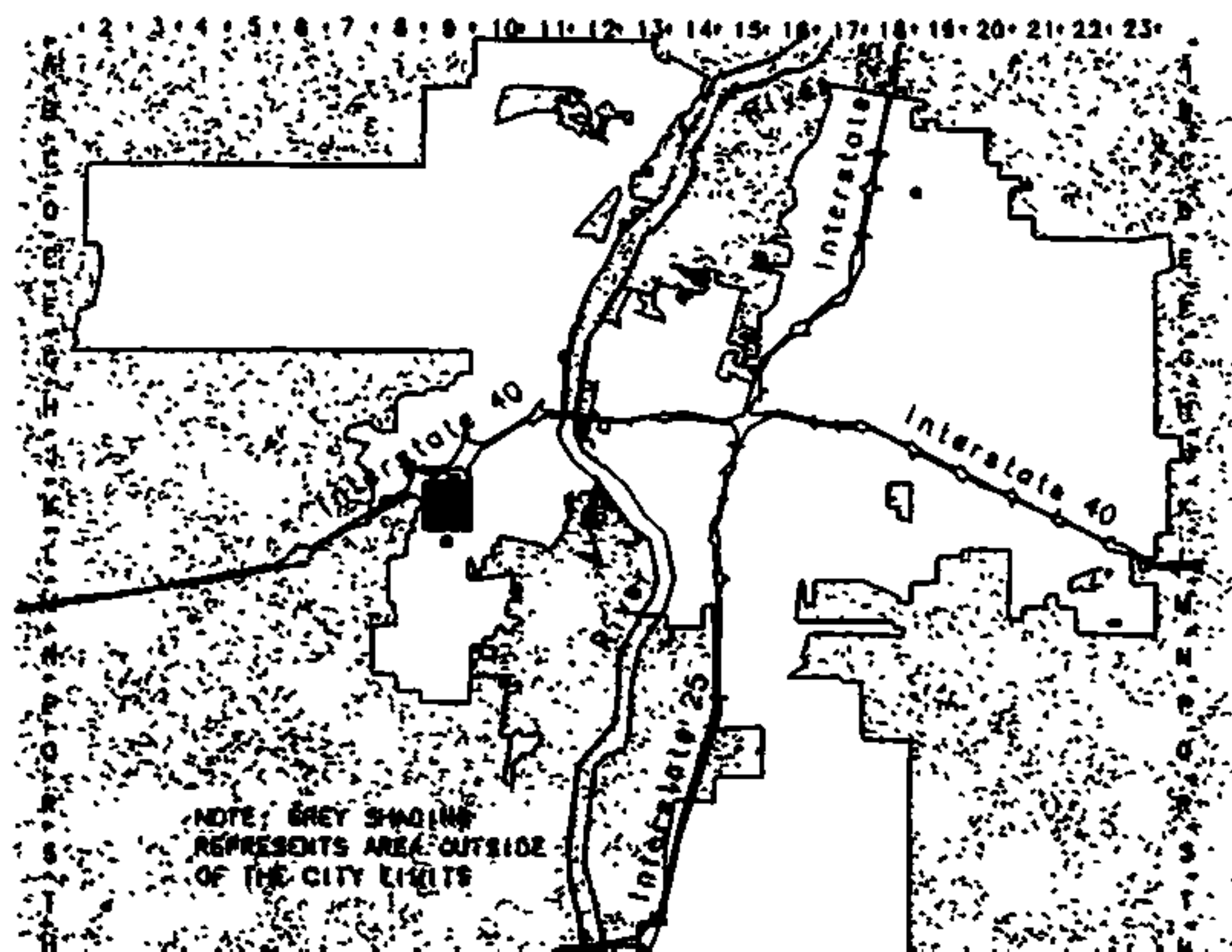
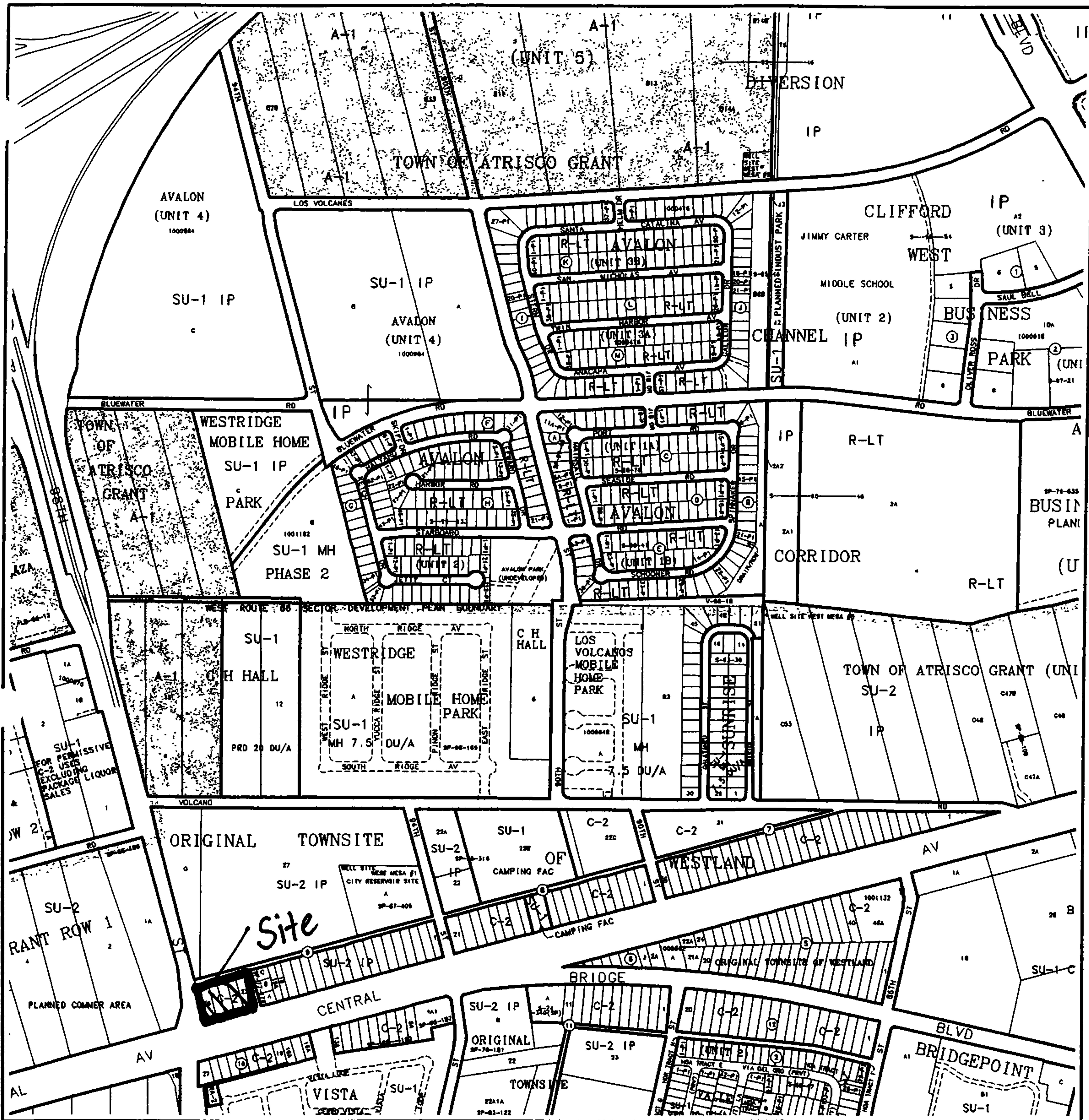


DATE SUBMITTED: October 20, 2006

BY: LARRY D. READ PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

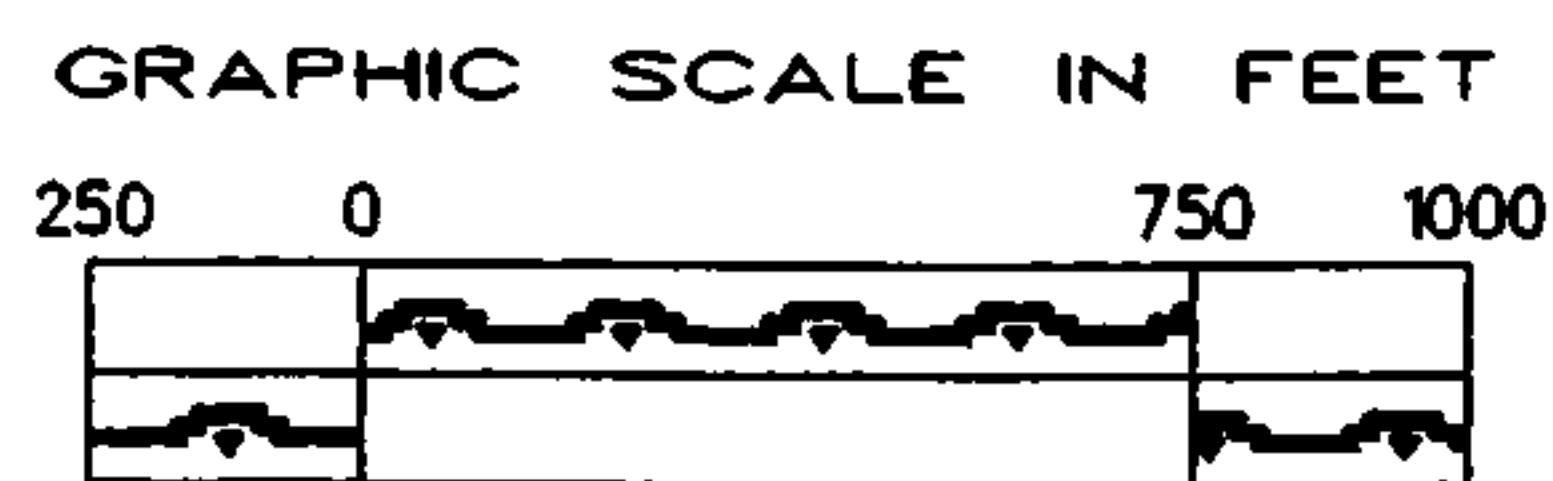
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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Zone Atlas Page

K-9-Z

Map Amended through July 09, 2003

CITY OF ALBUQUERQUE



October 26, 2006

Lawrence D. Read, P.E.
Larry Reed & Associates
4800 Juan Tabo Blvd. NE Suite C
Albuquerque, NM 87106

Re: Homewood Suites, Lot 1A Block 4B of Sunport Park
Engineer's Stamp dated 10-20-06 (M15/D41)

Dear Mr. Read,

Based on the information contained in your submittal received on October 23, 2006, the above referenced plan is approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. After project completion, Engineer Certification per the DPM checklist will be required.

Given the fact that the new structure has been built with a previously approved Building Permit, a second Building Permit approval from Hydrology is not necessary unless additional expansion of the hotel is desired. As such, the requirement for installation of the new dumpster drain is waived and will not be enforced until such an expansion is desired or until a general requirement for retrofitting existing structures is mandated.

If you have any questions or need additional information, feel free to contact the undersigned at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file M15/D41

Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services

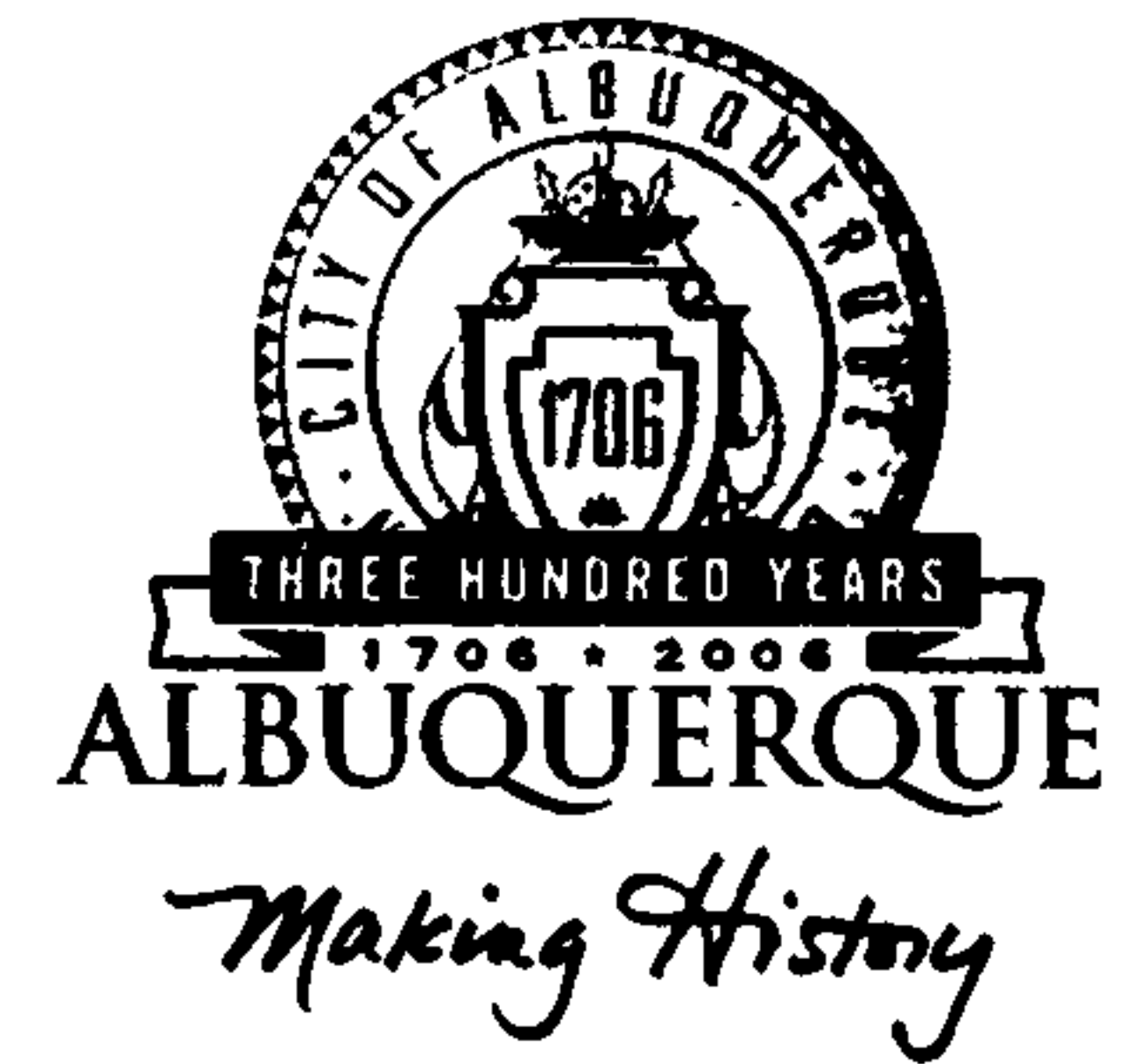
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



July 5, 2005

Lawrence Read, P.E.
Larry Read & Associates Inc.
2430 Midtown Place NE, Suite C
Albuquerque, New Mexico 87111

**Re: Homewood Suites, 5120 Sunport Place SE, Grading and Drainage Plan
Engineer's Stamp dated 6-27-05 (M15-D41)**

Dear Mr. Read,

Based upon the information provided in your submittal received 6-30-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Liz Sanchez, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15/D-41
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
ZIP CODE: 87106

ARCHITECT: TAFFAZULE HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZULE HUSSAIN
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

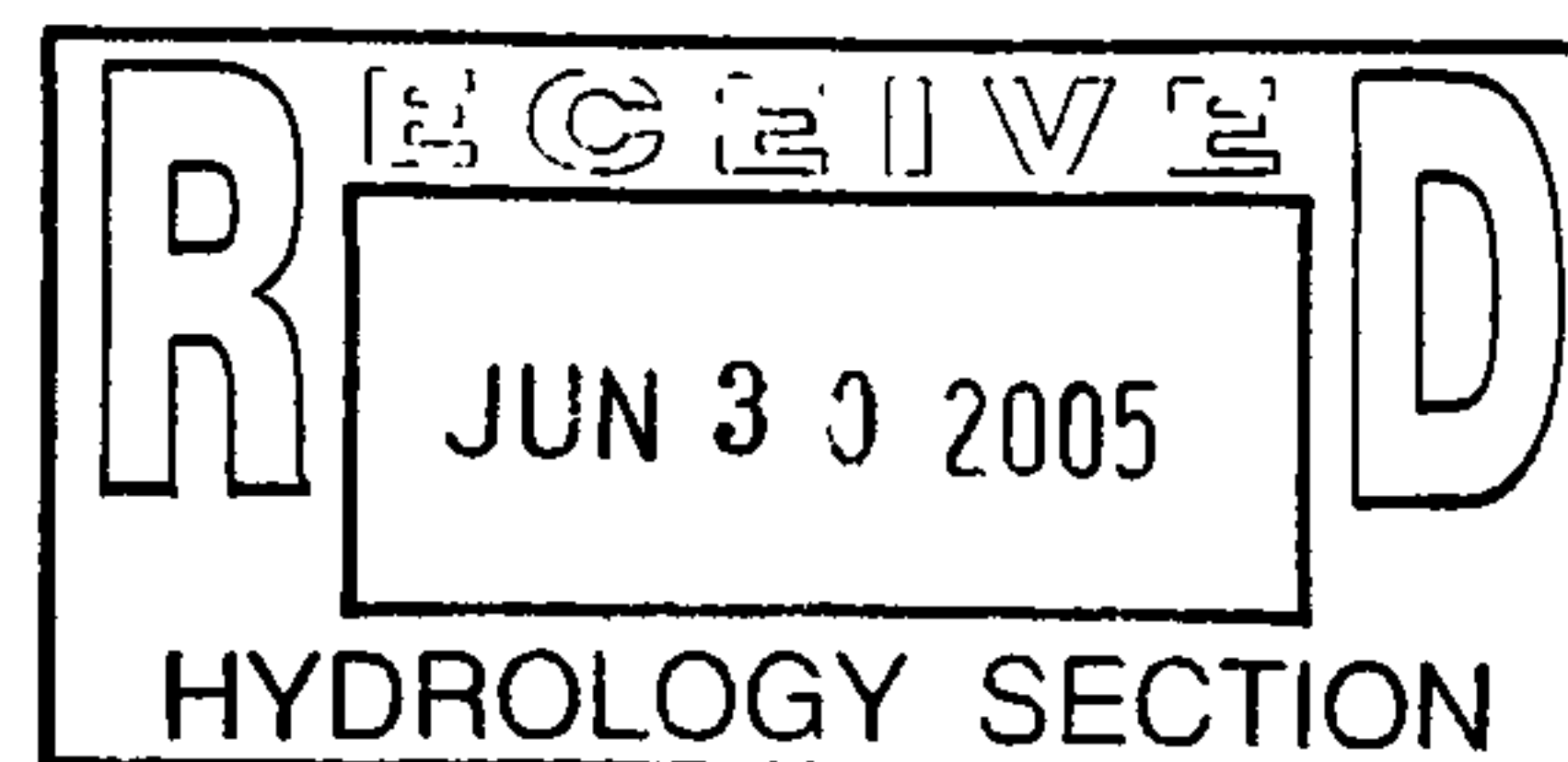
See paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) **SO-19**



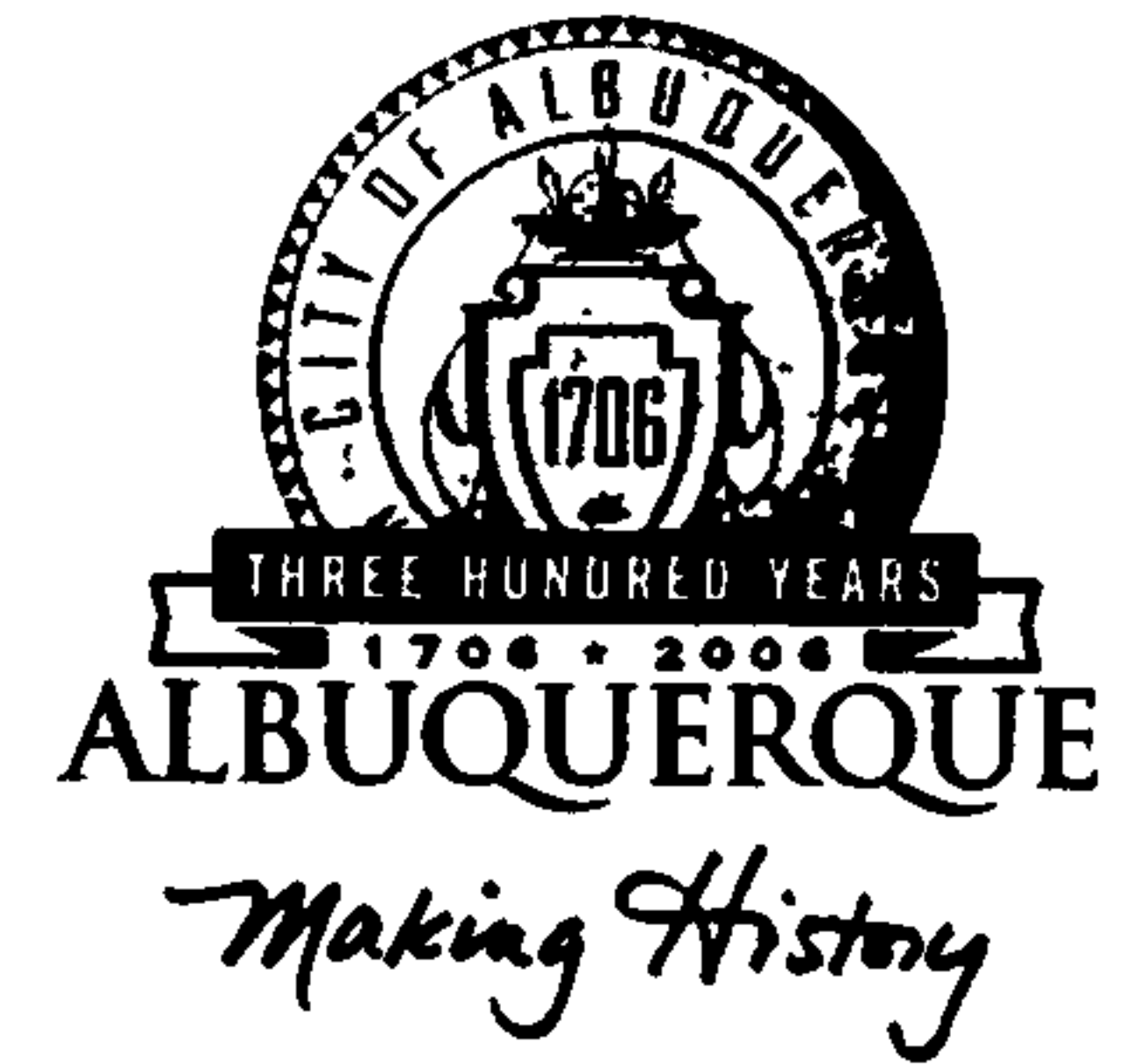
DATE SUBMITTED: June 27, 2005

BY: LARRY D. READ PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



May 17, 2005

Lawrence Read, P.E.
Larry Read & Associates Inc.
4800 Juan Tabo NE, Suite C
Albuquerque, NM 87111

**Re: Homewood Suites, 5120 Sunport Place SE, Grading and Drainage Plan
Engineer's Stamp dated 5-16-05 (M15-D41)**

Dear Mr. Read,

Based upon the information provided in your submittal received 5-16-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The 12-inch storm drain located immediately south of the proposed building has a 0% slope instead of the 1.4% that is called out. Please change the inverts to ensure proper elevation.
2. Provide a build note for the angle within the proposed storm drain. In addition, please define how the storm drain is increased in size from 6 inches to 8 inches.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

M-15/D41

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
ZIP CODE: 87106

ARCHITECT: TAFFAZULE HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZULE HUSSAIN
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ SIA / FINANCIAL GUARANTEE RELEASE
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY)

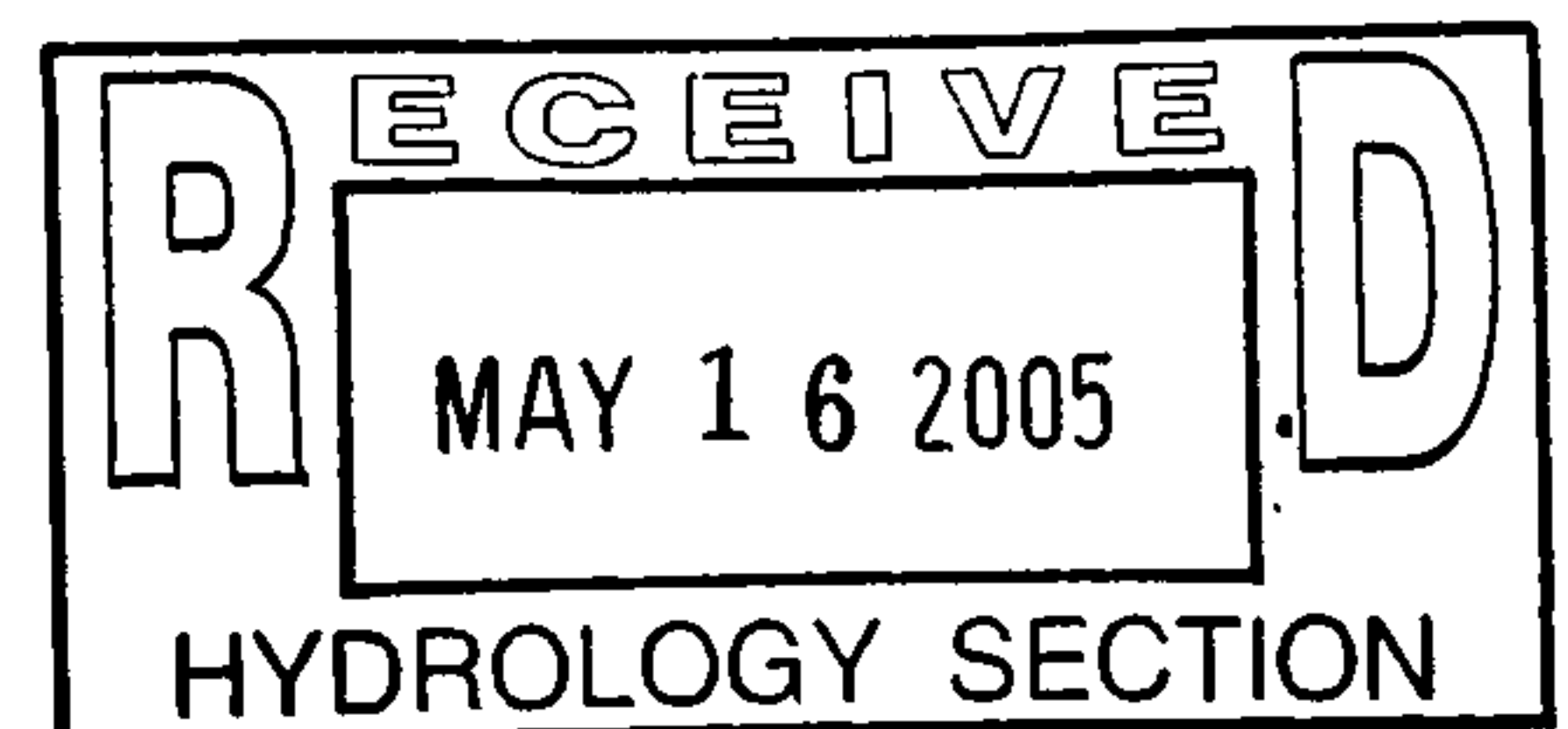
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

ROUGH GRADING REQUEST

DATE SUBMITTED: May 16, 2005

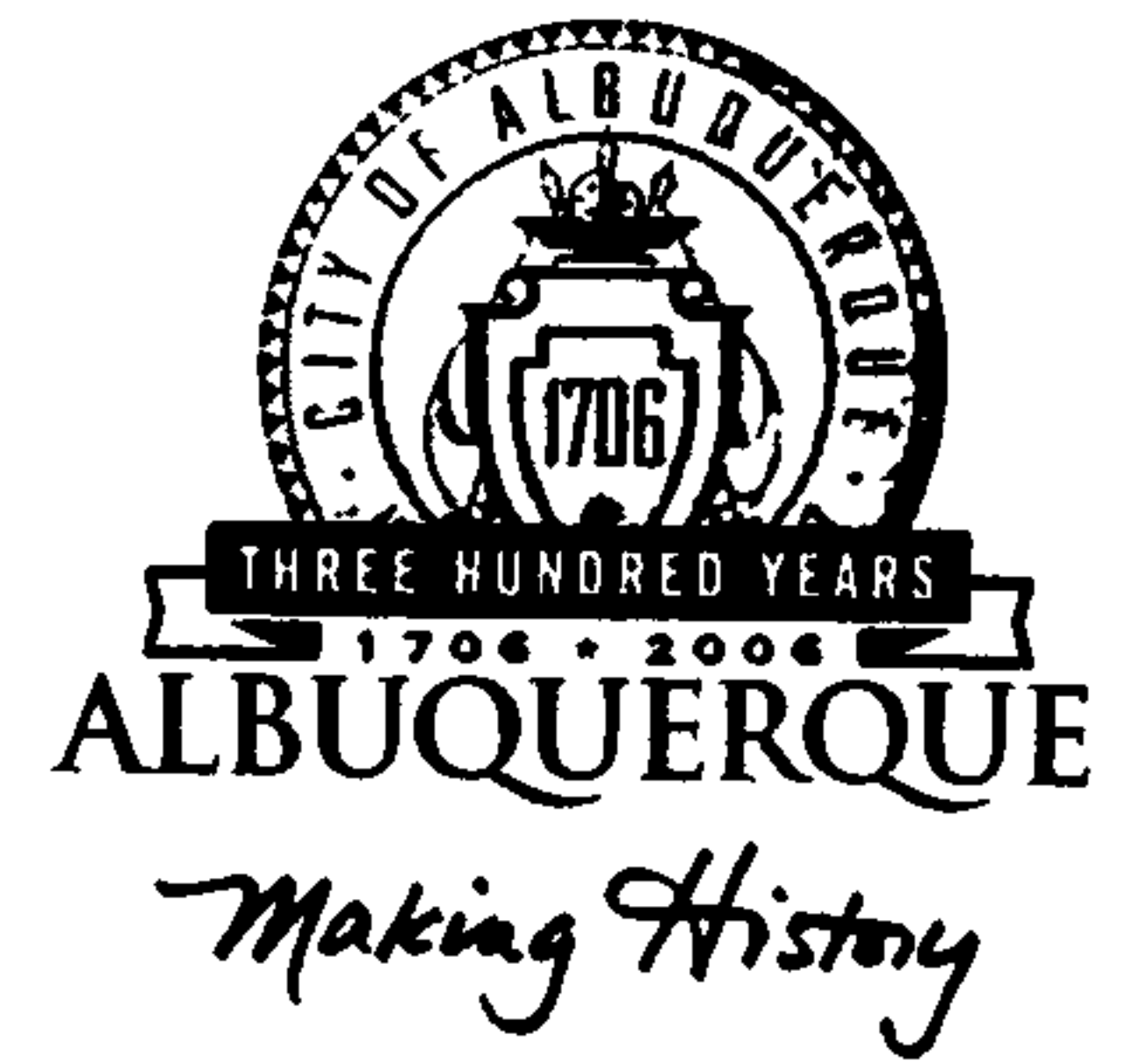
BY: LARRY D. READ PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



February 18, 2005

Larry Read, P.E.
Larry Read & Associates, Inc.
4800 Juan Tabo Blvd. NE, Suite C
Albuquerque, NM 87111

**Re: Homewood Suites – Sunport
5120 Sunport Place SE
Conceptual Grading & Drainage - Site Development Plan
Engineer's Stamp dated 2-07-05 (M-15-D41)**

Dear Mr. Read,

P.O. Box 1293

Based upon the information provided in your submittal received 2-08-05, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB.

Albuquerque

With submission of your grading plan for building permit, please provide the narrative write up describing the project and assumptions, show all easements per the plat, and provide benchmark information.

New Mexico 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15/D41
WORK ORDER#:

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
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ARCHITECT: TAFFAZULE HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
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CONTACT: TAFFAZULE HUSSAIN
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ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: Feb 7, 2005

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 31, 2006

Lawrence D. Read, P.E.
Larry Reed & Associates
4800 Juan Tabo Blvd. NE Suite C
Albuquerque, NM 87106

Re: Homewood Suites, Lot 1A Block 4B of Sunport Park
Engineer's Stamp dated 6-26-06 (M15/D41)

Dear Mr. Read,

Based on the information contained in your submittal received on July 21, 2006, there are two (2) additional items that must be included prior to Building Permit approval. Those items are detailed below.

Runoff from dumpster enclosures may not be routed into storm drains but must instead be directed to the sanitary sewer system. A detail of the trash enclosure must therefore be provided with a drain outfalling to the existing sanitary sewer in Sunport Place. Also, a drainage narrative must be included with the plan submittal. Upon revision of the plan as described above, approval may be given for both SO-19 and Building Permit.

P.O. Box 1293

Please be advised that this project will require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Charles Caruso with the DMD Storm Drainage Design section at 768-3654.

Albuquerque

If you have any questions or need additional information, feel free to contact the undersigned at 924-3990.

Sincerely,

New Mexico 87103

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

www.cabq.gov

cc: file M15/D41

Edward Elwell, DMD Street / Storm Maintenance
Antoinette Baldonado, Construction Services
Charles Caruso, DMD Storm Drain Design

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Homewood Suites - Sunport
DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: M-15/D-41
WORK ORDER#:

LEGAL DESCRIPTION: Lot 1A, Block 4B, Sunport Park
CITY ADDRESS: 5120 Sunport Place SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 4800 JUAN TABL BLVD. NE SUITE C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87111

OWNER: LEGACY HOSPITALITY, INC
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: FAIZEL KASSAM
PHONE: 243-6000
ZIP CODE: 87106

ARCHITECT: TAFFAZULE HUSSAIN
ADDRESS: 2501 YALE BLVD. SE SUITE 102
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TAFFAZULE HUSSAIN
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT:
PHONE:
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

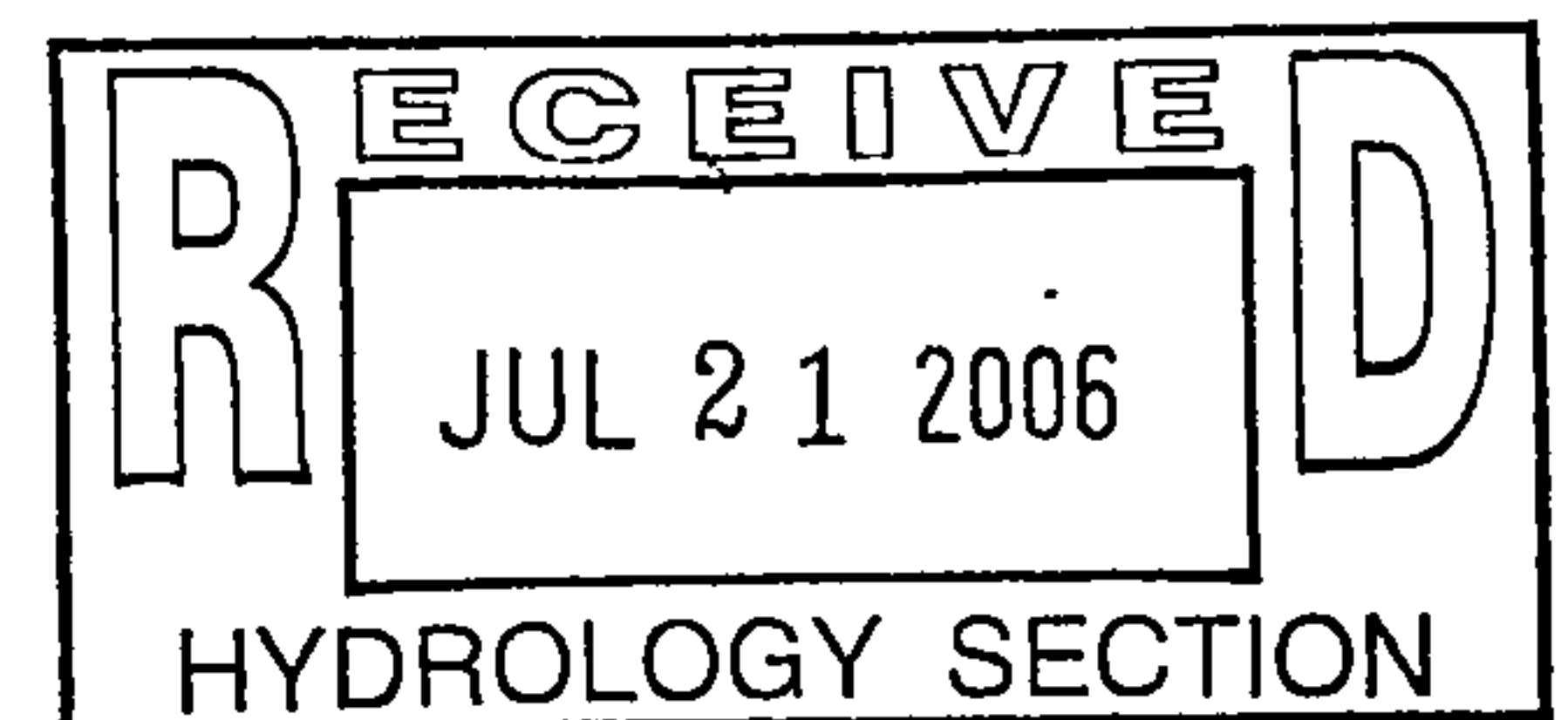
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: July 20, 2006

BY: LARRY D. READ PE

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LARRY READ & ASSOCIATES, INC.

Civil Engineers

Site • Drainage • Utility Design

Mr. Brad Bingham, PE
City of Albuquerque
Public Works Department - Hydrology
Box 1293
Albuquerque, New Mexico 87103

RE: Homewood Suites Hotel - Airport
Drainage File M15/D41

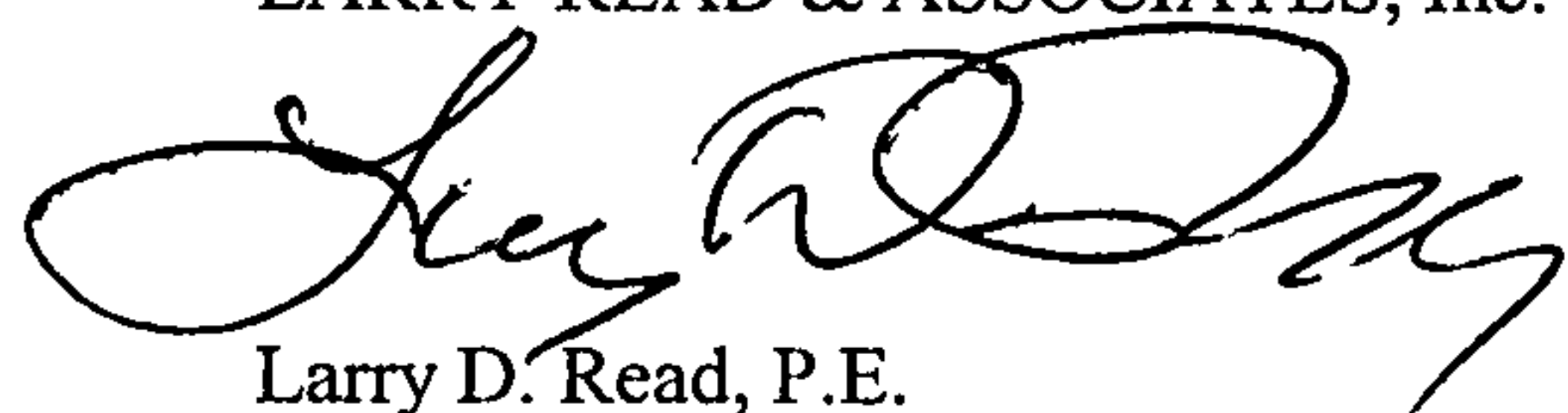
Dear Mr. Bingham:

Attached is a revised Grading and Drainage Plan for the referenced site. The developer requested that the site be redesigned to try to eliminate the massive retaining walls shown along the east property line by University Boulevard. This revised plan has relocated the parking from the east side of the site to the south side of the site in an area that previously unused. The overall drainage patterns and discharge points from the site are the same as shown in the original design.

Thank you for your consideration of this revision.

If you have additional questions, please call.

Sincerely
LARRY READ & ASSOCIATES, Inc.



Larry D. Read, P.E.