

6"

15"

* ROUND TOP EDGES WITH 1/2" EDGING TOOL.

2'-0" MIN.

1'-0" MIN.

6"

6"

2-#4 REINFORCING STEEL BARS

PORTLAND CEMENT CURB

SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

PAVING SURFACE (SEE PAVING SECTION)

FILL SLOPE (SEE GRADING PLAN)

NOTE:

PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

1'-6"

6"

2"

1'-0" MIN.

2'-0" MIN.

CUT SLOPE
(SEE DRAWING PLAN)

PREFERRED CUT SLOPE

FULL SLOPE (SEE GRADING PLAN)

• 1'-1/2" RAD.

PORTLAND CEMENT CURB AND GUTTER

SUBGRADE PREPARATION
(90% MODIFIED PROCTOR)

COMPACTED SUBGRADE
(90% MODIFIED PROCTOR)

PAVING SURFACE
(SEE PAVING SECTION)

1. PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

Diagram illustrating the construction layers for a road surface:

- 3" ASPHALT SURFACE COURSE
- 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)
- COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

A cross-sectional diagram of a road structure. The diagram shows four distinct layers. The top layer is a thin, dark, hatched band. Below it is a layer with a stippled pattern. The third layer is a layer with a brick-like pattern. The bottom layer is a solid, light-colored band. To the right of the diagram, four labels are listed, each with a line pointing to its corresponding layer in the diagram. The labels are: "3" ASPHALT SURFACE COURSE", "6" GRANULAR BASE COURSE", "6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)", and "COMPACTED SUBGRADE (90% MODIFIED PROCTOR)".

3" ASPHALT SURFACE COURSE
6" GRANULAR BASE COURSE
6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)
COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

OPTION NO. 1 OPTION NO. 2

NA

TYPE L RIPRAP

EXISTING RIPRAP
ON-SITE SOIL RIPRAP)

EXISTING SUBBASE

1. THE CONTRACTOR MAY SELECT EITHER OPTION NO. 1 OR OPTION NO. 2 UNLESS THE PLANS SPECIFY THE OPTION TO BE USED.

2. EXTREME CARE SHALL BE EXERCIZED TO AVOID PUNCTURING OR TEARING THE FILTER CLOTH.

3. FILTER CLOTH SEAMS SHALL BE TRANSVERSE TO THE FLOW DIRECTION AND UPSTREAM EDGE SHALL OVERLAP THE DOWN-STREAM EDGE A MINIMUM OF 12 INCHES.

SEE SITE PLAN
FOR WIDTH

SLOPE AT 1/4"
PER FOOT UNLESS
OTHERWISE SHOWN

4" PORTLAND CEMENT CONCRETE SIDEWALK
(4000 PSI CONCRETE)

6" SUBGRADE PREPARATION (95%
MODIFIED PROCTOR)

COMPACTED SUBGRADE (90%
MODIFIED PROCTOR)

The diagram shows a cross-section of a sidewalk and its supporting layers. At the top, a horizontal line represents the ground surface, sloping downwards from left to right at a rate of 1/4 inch per foot. Below this, a 4-inch thick layer of portland cement concrete sidewalk is shown. Underneath the concrete is a 6-inch layer of subgrade preparation, which is compacted to 95% modified proctor density. Below that is a layer of compacted subgrade, compacted to 90% modified proctor density. The total width of the concrete sidewalk is indicated as 6 feet, with a 3-foot section on each side of the centerline. The site plan for the width is referenced in the diagram.

SEE SITE PLAN FOR WIDTH

SLOPE AT 1/4" PER FOOT UNLESS OTHERWISE SHOWN

8'-6"

6"

6"

1'-0"

50%

4" PORTLAND CEMENT CONCRETE SIDEWALK (3000 PSI CONCRETE)

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

NO. 4 REBAR (CONTINUOUS)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

ASPHALT PAVING SECTION

PER PLAN

12" 6"

6" 6"

6x6-10/10 W.W.F.

CONCRETE CHANNEL

NO. 4 REBAR (2 MIN.) AT 18" O.C. MAX.

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

The diagram is a cross-section of a concrete channel. The channel is U-shaped and sits on a prepared subgrade. The top of the channel is 12 inches wide, and the sides are 6 inches thick. The channel is reinforced with 6x6-10/10 W.W.F. (Wire Welded Fabric). The subgrade is prepared in two layers: a 6-inch layer of 95% modified proctor material directly under the channel, and a compacted subgrade of 90% modified proctor material below that. Reinforcement includes No. 4 rebar at 18 inches on center maximum, and 6x6-10/10 W.W.F. is shown in the channel walls and bottom. The diagram is labeled 'PER PLAN' at the top.

EXISTING CONDITIONS

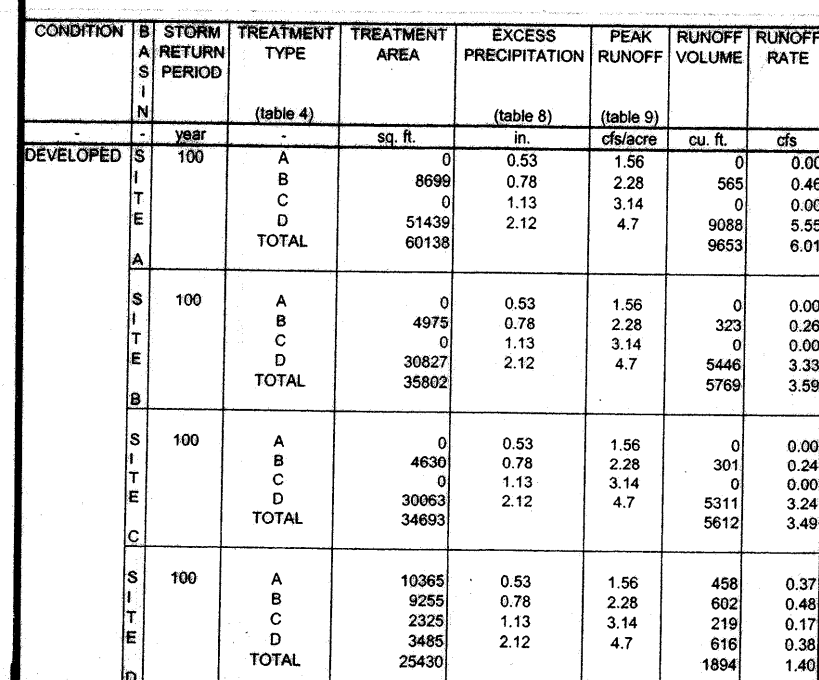
THE THREE LOTS ON WHICH THE PROPOSED CONSTRUCTION IS TO TAKE PLACE ARE PRESENTLY IN A NATURAL CONDITION. THE AREA DRAINS TO THE NORTHWEST IN A OVERLAND FLOW CONDITION. A CONCENTRATED FLOW ENTERS THE SITE, FROM RANDOLPH ROAD, NEAR THE SOUTHEAST CORNER OF THE SITE. A CONCRETE CHANNEL ON THE SOUTH SIDE OF RANDOLPH CARRIES A SIGNIFICANT FLOW FROM THE SOUTHEAST TO RANDOLPH WHERE IT CROSSES THE STREET, JUMPS THE CURB AND ENTERS THE SITE. DRAINAGE FROM THE SITE FLOWS TO THE PRIVATE STREET, RANDOLPH COURT, WHERE IT ENTERS THE STREET AND IS DIRECTED TO A STORM DRAIN.

PROPOSED CONDITION

THE SITE IS DIVIDED INTO FOUR BASINS IN WHICH MOST OF THE DRAINAGE WILL CONTINUE TO BE ROUTED TO RANDOLPH COURT VIA EITHER AN EXISTING DRAINAGE EASEMENT OR A NEW STORM DRAIN. A PORTION OF THE DRAINAGE WILL BE ROUTED OUT THE DRIVEWAY TO RANDOLPH ROAD. BASIN A IS COMPOSED OF THE NORTHERLY PORTION OF THE BUILDING AND MOST OF THE EASTERLY PARKING LOT. IT'S DRAINAGE WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. BASIN B IS COMPOSED OF THE SOUTHERLY PORTION OF THE BUILDING AND THE ENTRANCE DRIVE TO THE EASTERLY PARKING LOT. DRAINAGE FROM THIS BASIN WILL BE ROUTED ON THE SURFACE TO RANDOLPH ROAD. BASIN C IS COMPOSED OF THE WESTERLY PARKING LOT AND WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN. BASIN D IS COMPOSED OF THE SOUTHERLY PORTION OF THE UNDEVELOPED PORTION OF THE SITE AND WHICH WILL DIRECTED TO RANDOLPH COURT VIA THE STORM DRAIN. FOR BASIN C, BASIN B HAS A RETAINING WALL AT IT'S SOUTHERLY BOUNDARY THAT PARALLELS RANDOLPH ROAD. THE RETAINING PORTION OF THE WALL WILL VARY FROM 0' TO 5' IN HEIGHT. THIS WALL WILL BE PLACED IMMEDIATELY BEHIND THE SIDEWALK. THE WALL WILL BE 1.5' ABOVE THE ADJACENT WALK FROM THE EASTERLY END OF THE WALL TO THE POINT OF CURVATURE. FROM THAT POINT TO THE WEST THE WALL WILL BE FLUSH WITH THE GROUND.

CONCLUSION

THIS DESIGN WILL PROVIDE FLOOD PROTECTION TO THE NEW SITE AND IMPROVE DRAINAGE CONDITIONS TO OTHER SITES THAT SURROUND THE NEW SITE. IN ADDITION, THE DESIGN WILL SOLVE THE EXISTING CONDITION OF THE WATER EXITING THE ROAD NEAR ITS EASTERN BOUNDARY.



DATE: 03 JANUARY 2006

REVISIONS

Drawn By: PESUMA, S.A.	Checked By: T. OTT
------------------------	--------------------

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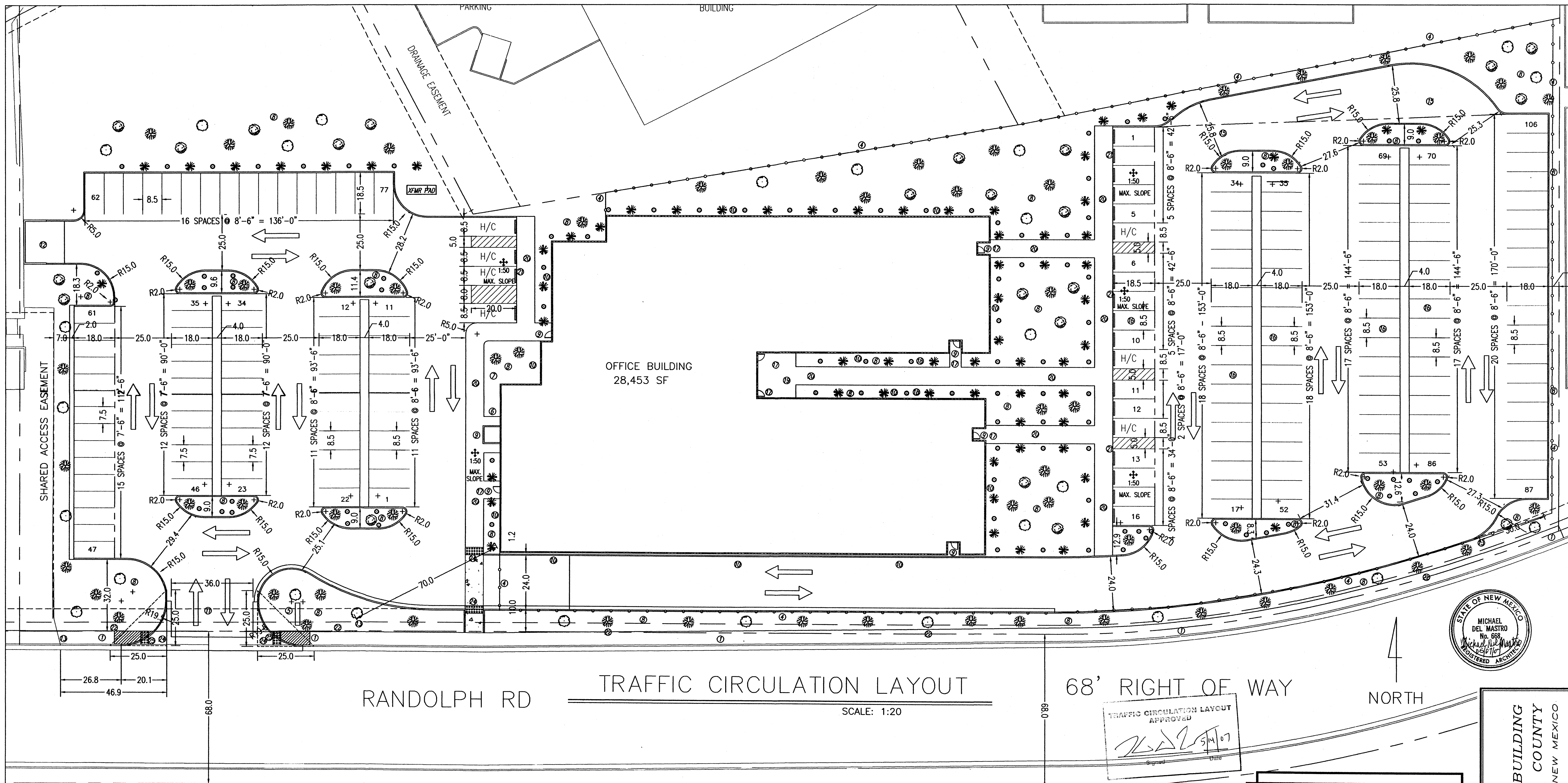
100

RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO.

FEB 15 2007

HYDROLOGY SECTION



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 9, 10, & 12, NZ COMMERCIAL - OFFICE SUBDIVISION
CITY OF ALBUQUERQUE, NEW MEXICO
COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING
SINGLE STORY

CURRENT ZONING: IP

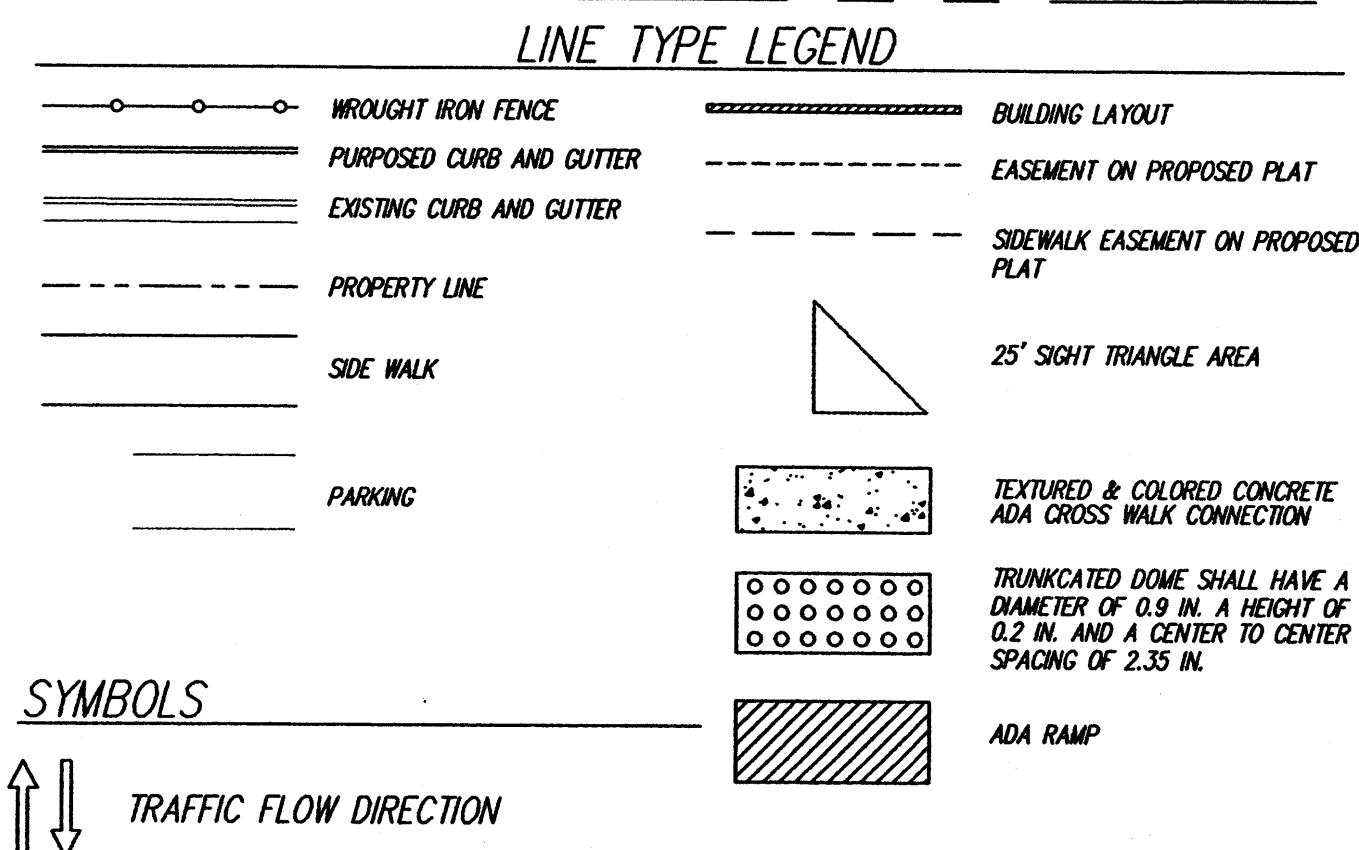
UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE
PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: 28,453/200=142 SPACES (1 Space/200 S.F.)
PROVIDED: 185 SPACES (Excess parking due to the requirement
of the State of New Mexico.)

PARKING, HANDICAP: REQUIRED PER COA CODE: 4 SPACES (with 51 to 100 req. prkng. spcs.)
PROVIDED: 7 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH
WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

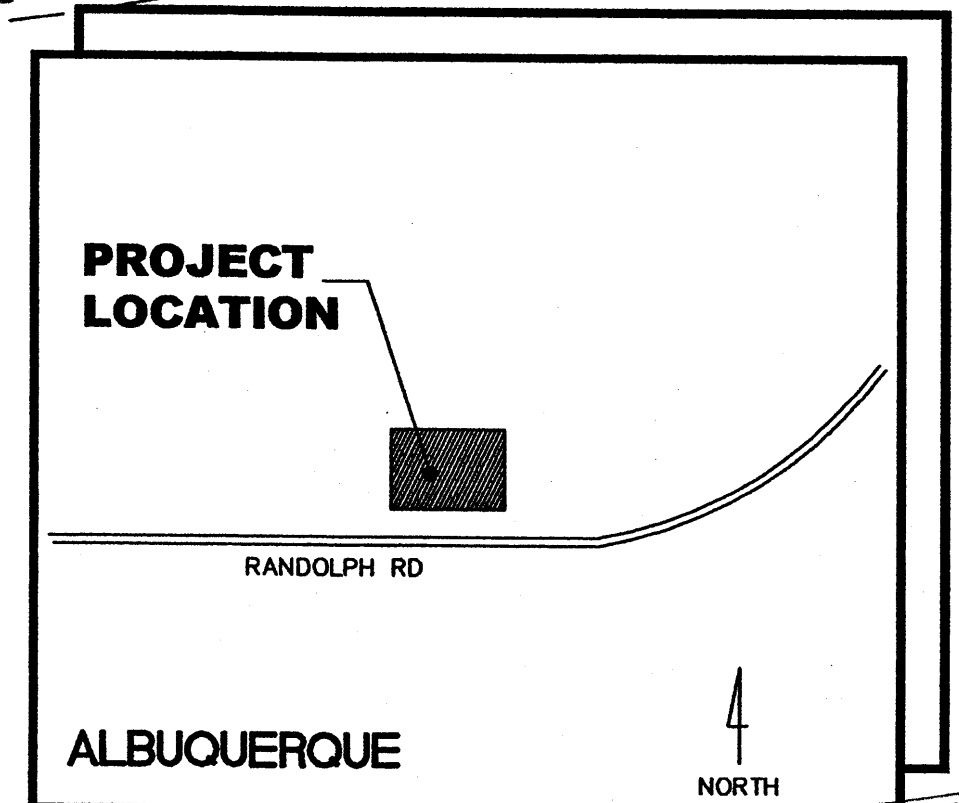
PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.



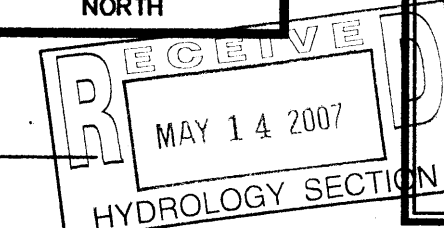
KEYED NOTES:

- 1 NEW 6" SIDEWALK TO COA STANDARDS, 2415A STD DWG
- 2 NEW CONCRETE CURB & GUTTER
- 3 WROUGHT IRON FENCING
- 4 6" HIGH SECURITY FENCE WITH MOTORIZED GATE / WROUGHT IRON
- 5 AGENCY SIGNS, DETAIL TO BE SUBMITTED TO THE CITY FOR
APPROVAL, DOUBLE SIGNAGE, REQUIRE SEPARATE PERMIT
- 6 DROP BOX, TRASH RECEPTACLE & CIGARETTE DISPOSAL
CONTAINER LOCATION TBD
- 7 FLAG POLE, IF DESIRED
- 8 LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
- 9 SECURITY LIGHTING AT ALL ENTRANCES
- 10 EXTERIOR BUILDING LIGHTING PER CITY OF ALBUQUERQUE,
NIGHT SKY PROTECTION ACT LIGHTING CODE, OPERATED
BY PHOTO CELL
- 11 DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS, 2426 STD DWG
- 12 DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS

- 13 EXISTING FIRE HYDRANTS
- 14 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER
WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE
AND NO CHAIN LINK FENCING.
- 15 TURNING RADIUS FOR FIRE TRUCKS
- 16 COVERED EMPLOYEE PARKING WITH LIGHTING
- 17 CYPER LOCK ON ENTRANCE
- 18 OASIS AREA FOR EMPLOYEES
- 19 EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH
RECEPTACLES & CIGARETTE DISPOSAL CONTAINER.
- 20 NEW 8" SIDE WALK
- 21 ASPHALT FLUSH WITH SIDEWALK. ADJACENT TO ASPHALT
AND SIDEWALK SLOPE IS NOT GREATER THEN 1:50 IN ALL
DIRECTIONS.
- 22 SIDEWALK EASEMENT IN ON REPLAT SUBMISSION.
- 23 TEXTURED & COLORED CONCRETE ADA COMPLIANT CROSS
WALK CONNECTION PER COA CODE.
- 24 TRUNCATED DOME ADA COMPLIANT 24" WIDE TACTILE
PATTERN OF RAISED TRUNCATED DOMES
- 25 ADA SIDEWALK RAMPS PER COA STANDARD 2426



Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required. N.T.S.



Project Name
RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO.
TCL

KEYED NOTES

1. SIDEWALK. SEE DETAIL SHEET C2.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
3. HEADER CURB. SEE DETAIL SHEET C2.
4. CURB AND GUTTER. SEE DETAIL SHEET C2.
5. ASPHALT SWALE.
6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C2.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C2.
8. 40 FOOT WIDE PRIVATE ENTRANCE. SEE CITY OF ALBUQUERQUE (COA) STD. DWG. 2428 WITH UNILATERAL HC RAMPS.
9. EARTH SWALE.
10. 12" SIDEWALK OPENING TO PROVIDE DRAINAGE.
11. 18" SIDEWALK OPENING TO PROVIDE DRAINAGE.
12. 2-3" PVC PIPES UNDER SIDEWALK. THICKEN SIDEWALK TO 8" INCHES AT 6 INCHES EACH SIDE OF PIPES. SET PIPES AT 9 INCHES CENTER TO CENTER. GRADE LANDSCAPE AREA TO DRAIN TO AND FROM PIPES.
13. 2- 24" WIDE SIDEWALK CULVERTS. SEE CITY OF ALBUQUERQUE STD. DWG. 2236. SLOPE 2%.
14. RETAINING WALL. TOP OF CURVED WALL 18" ABOVE WALK, REMAINDER 6" ABOVE ADJACENT HIGH GRADE.
15. REFUSE ENCLOSURE. (NOTE: REFUSE ENCLOSURE DRAINAGE SHALL BE CAPTURED AND ROUTED TO SANITARY SEWER VIA 64 SQ. IN. AREA DRAIN AND 3" PVC OUTLET PIPE)

NOTE:
HAND LETTERED ELEV'S
ARE AS-BUILT 06/10/07

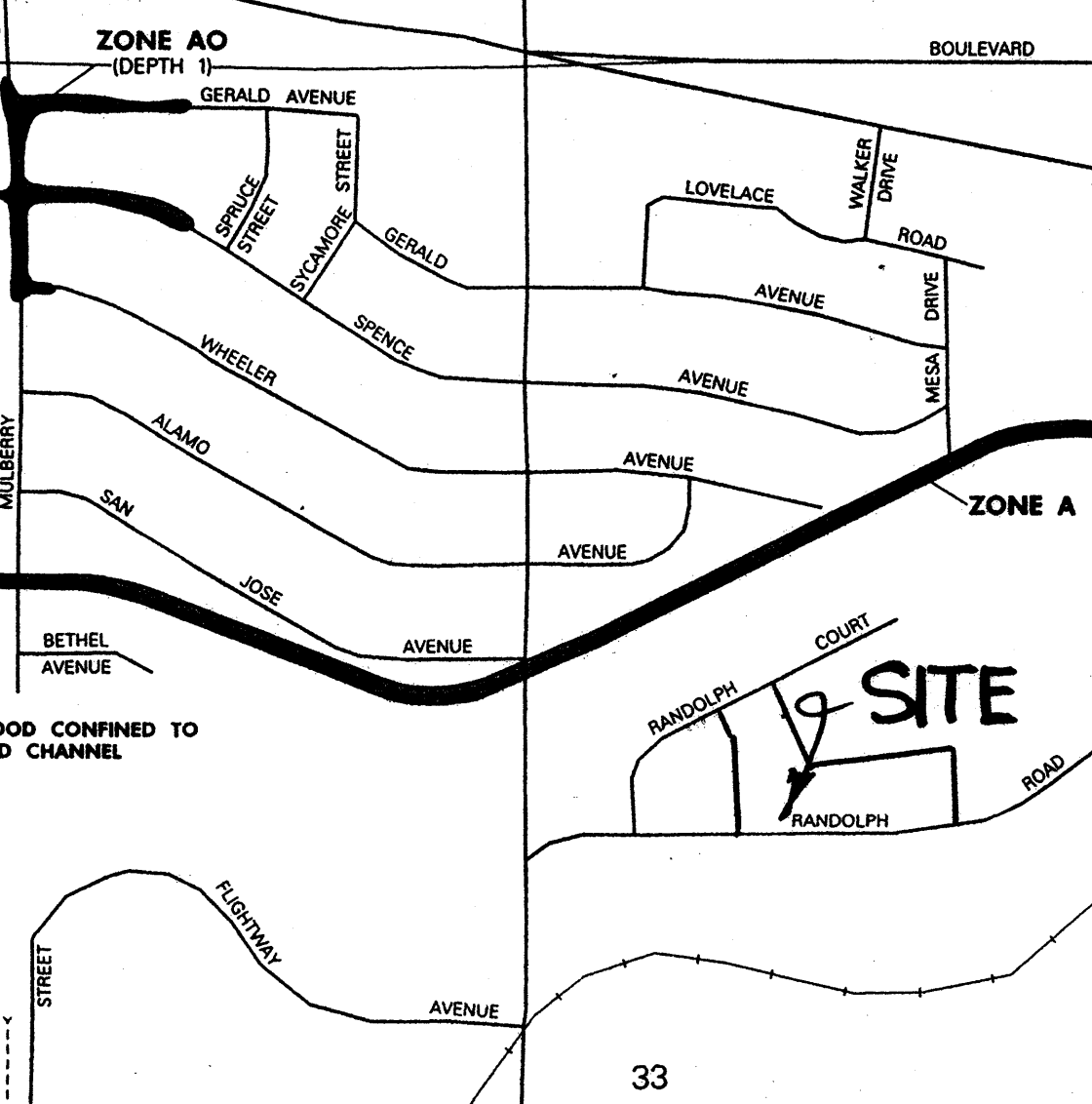
16. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37
17. 18" HDPE STORM DRAIN AT APPROX. 1.42%.
18. 18" HDPE STORM DRAIN AT APPROX. 4.1% ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
19. 4' DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INV. 54.5, 21M C24
20. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 50.75, INVERT 48.25
21. 15" HDPE STORM DRAIN AT APPROX. 9.9%
22. CONCRETE TRANSITION. SEE DETAIL SHEET C2.
23. 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO 17.
24. TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

LEGEND

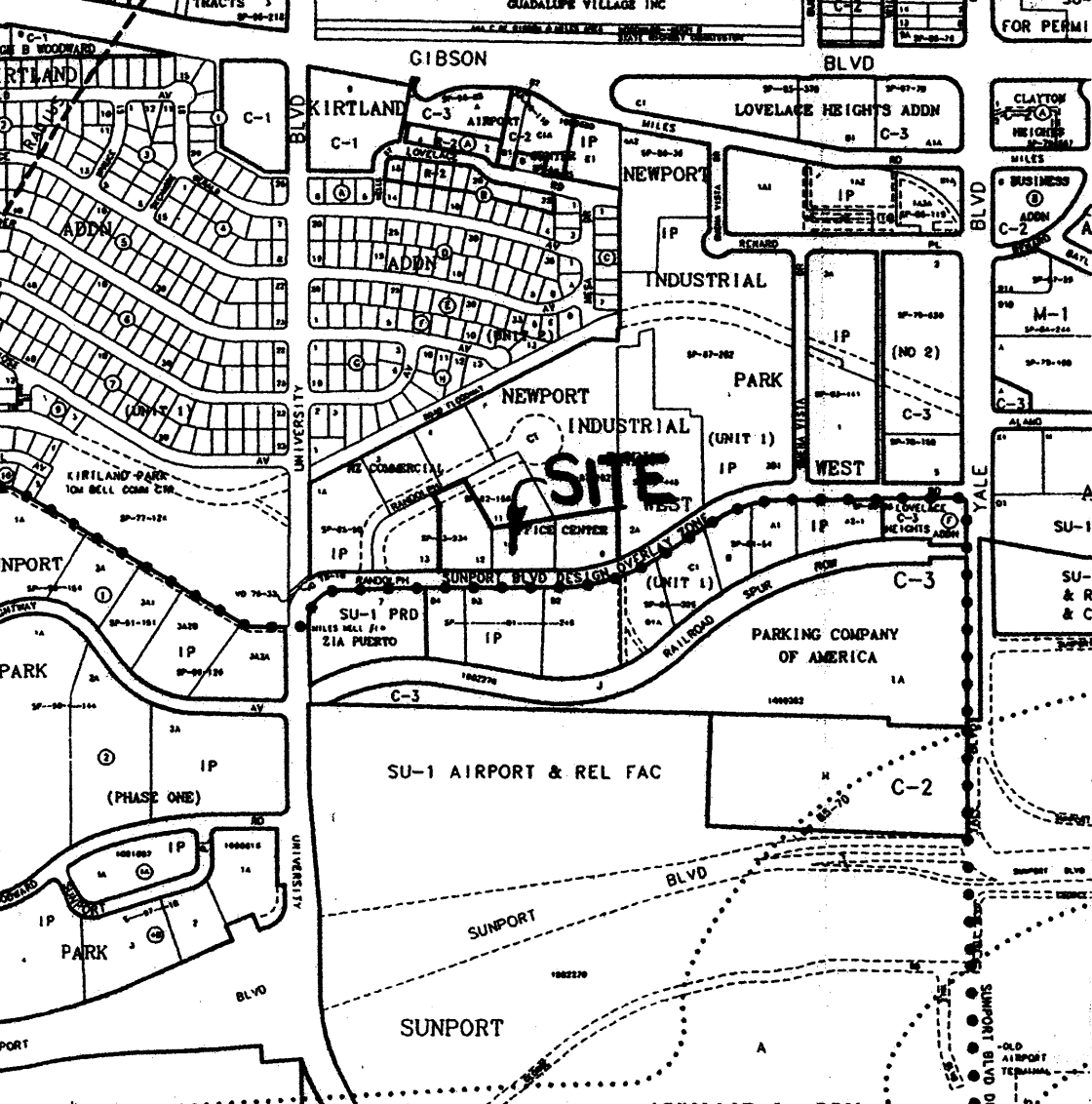
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
G	EXISTING GROUND

TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
	DRAINAGE BASIN BOUNDARY
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

FEMA FIRM MAP NO. 342



VICINITY MAP NO. M-15



LEGAL DESCRIPTION

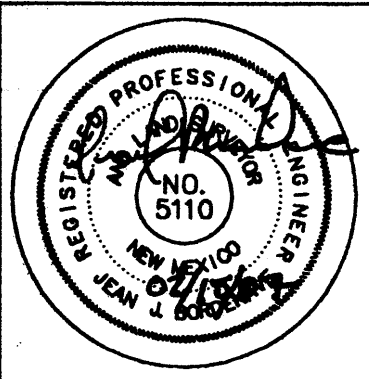
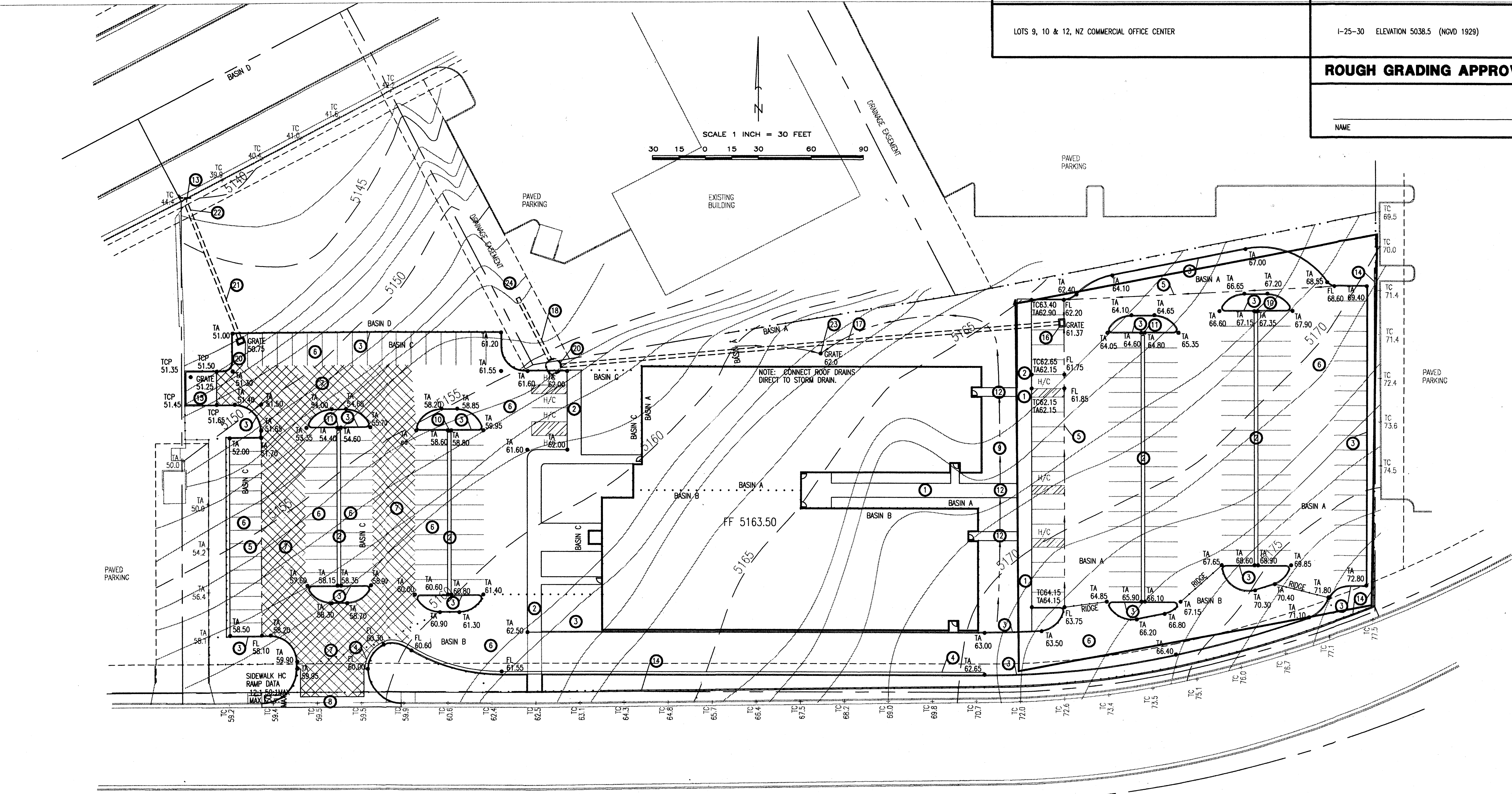
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

PERMANENT BENCHMARK

I-25-30 ELEVATION 5038.5 (NGVD 1929)

ROUGH GRADING APPROVAL

NAME DATE



DATE	03 JANUARY 2006
REVISIONS	

Sheet Title	
Drawn By	PESILAKA, S.A.
Checked By	I. OTT

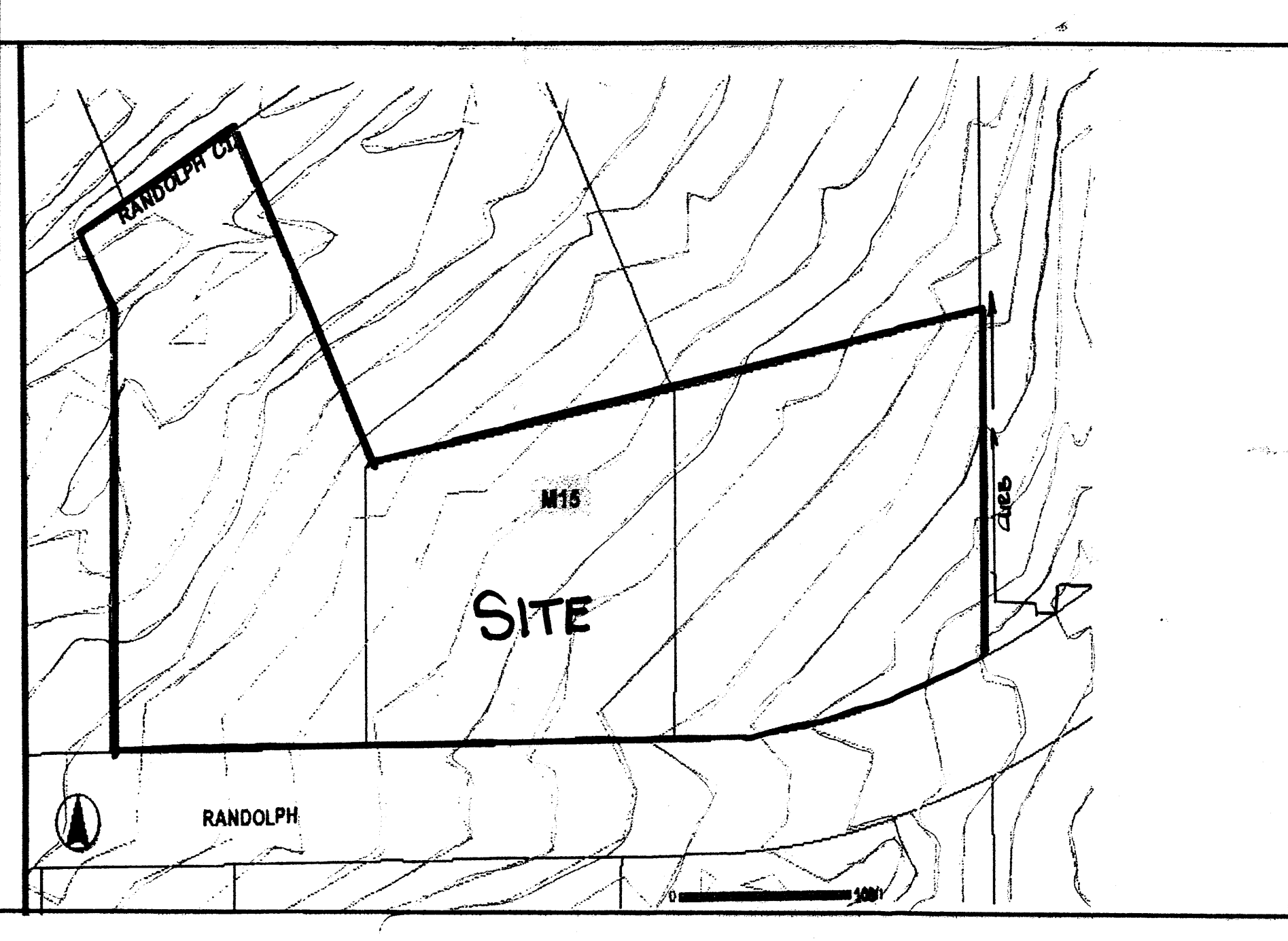
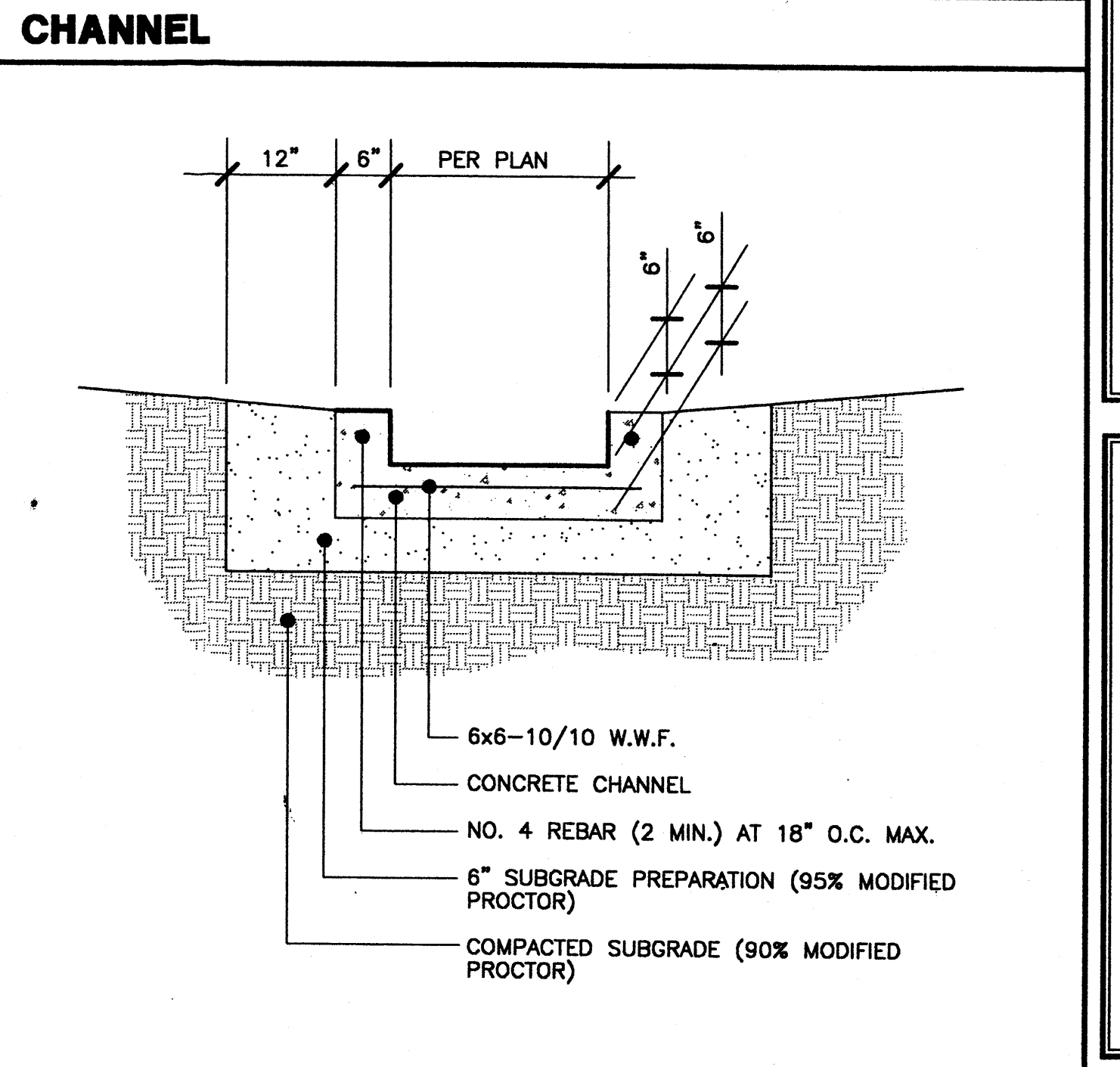
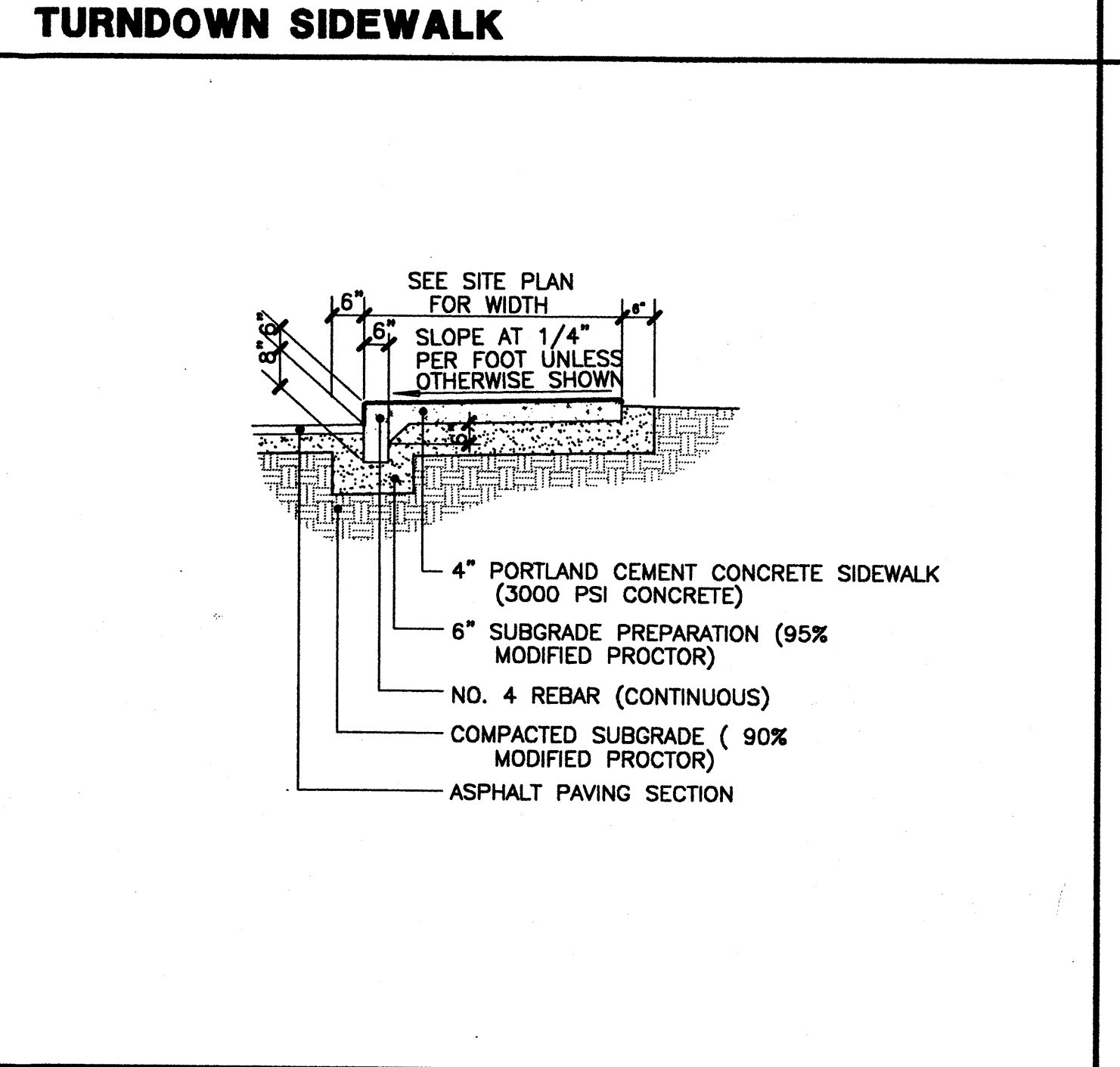
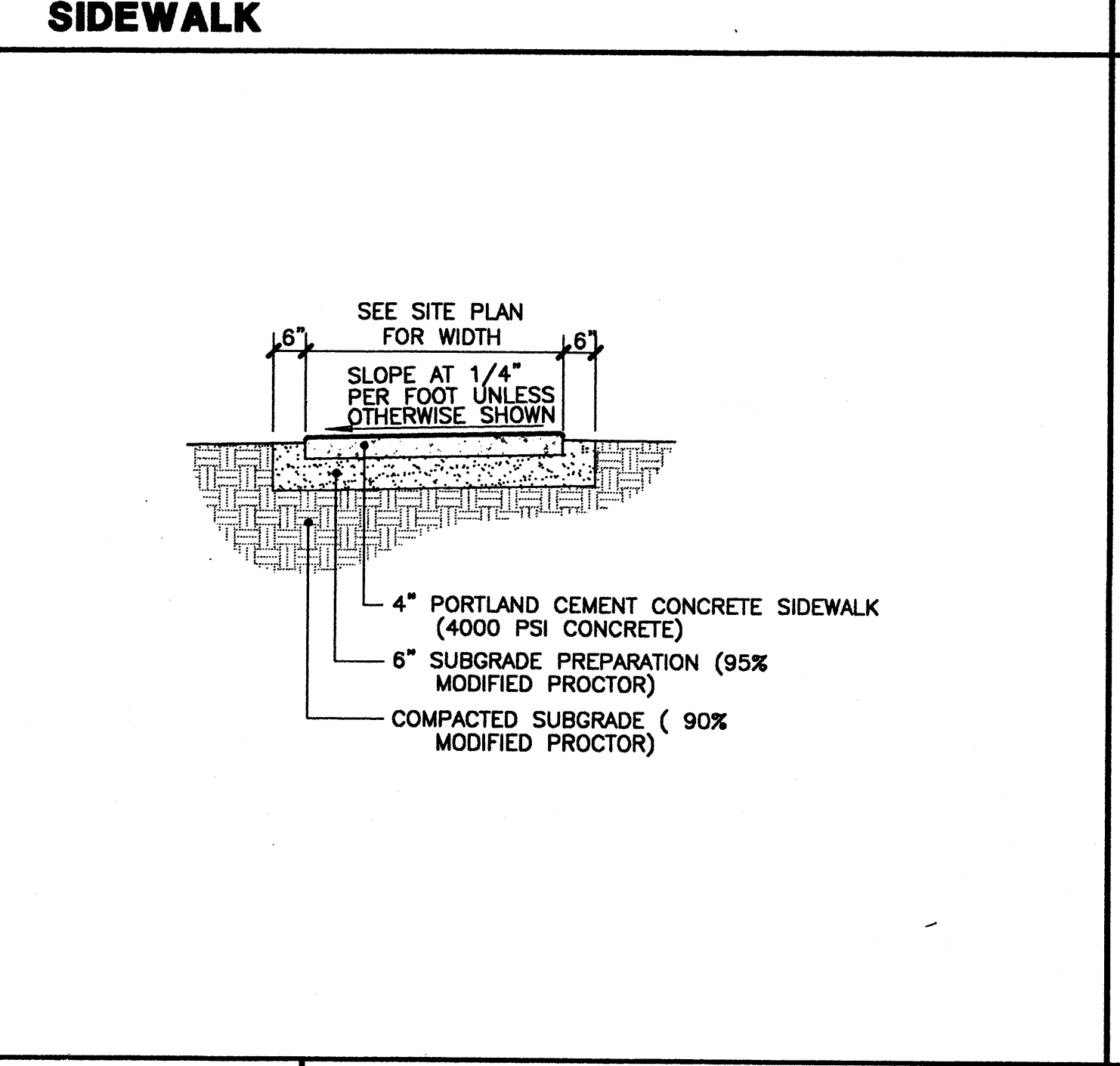
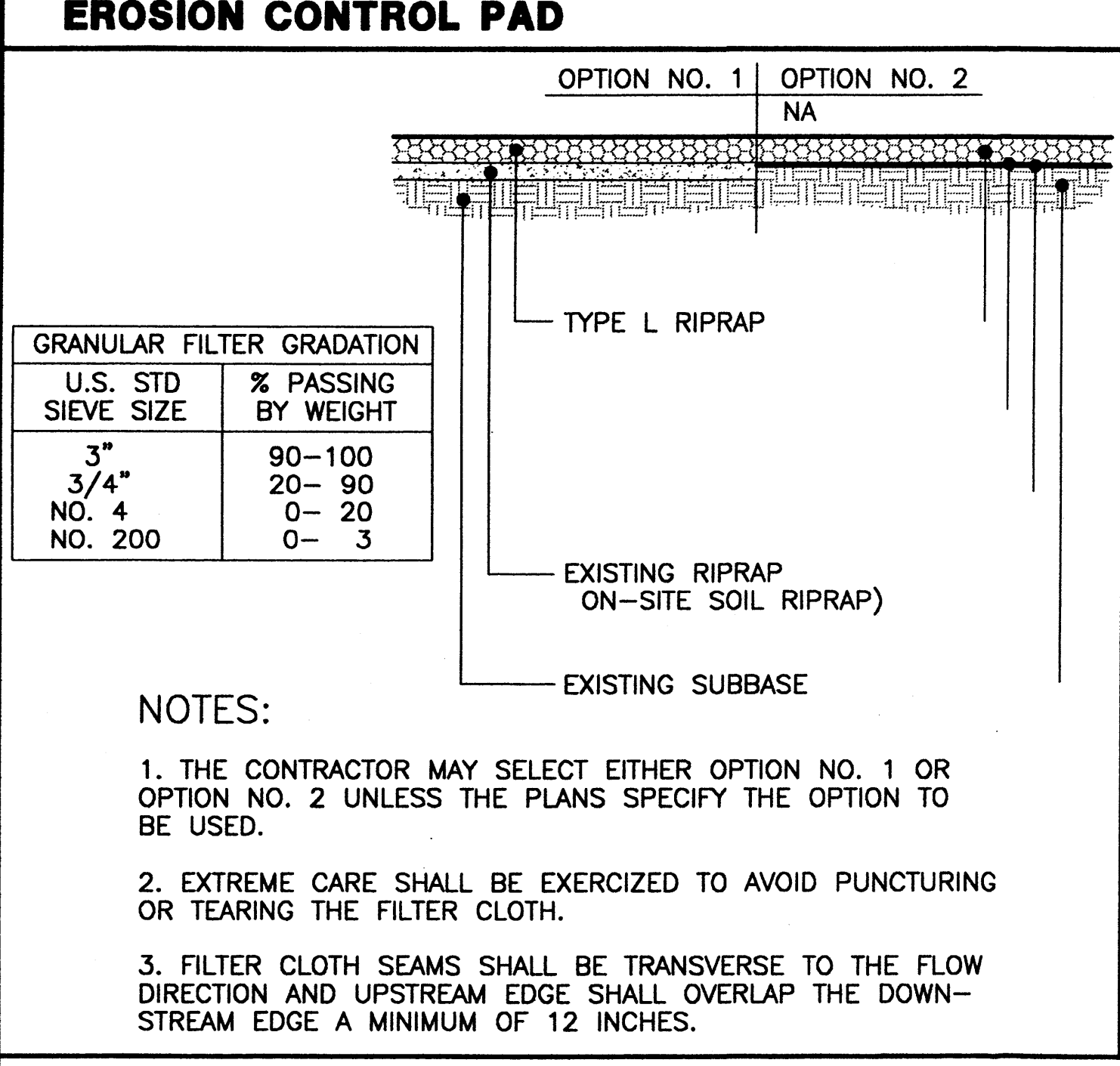
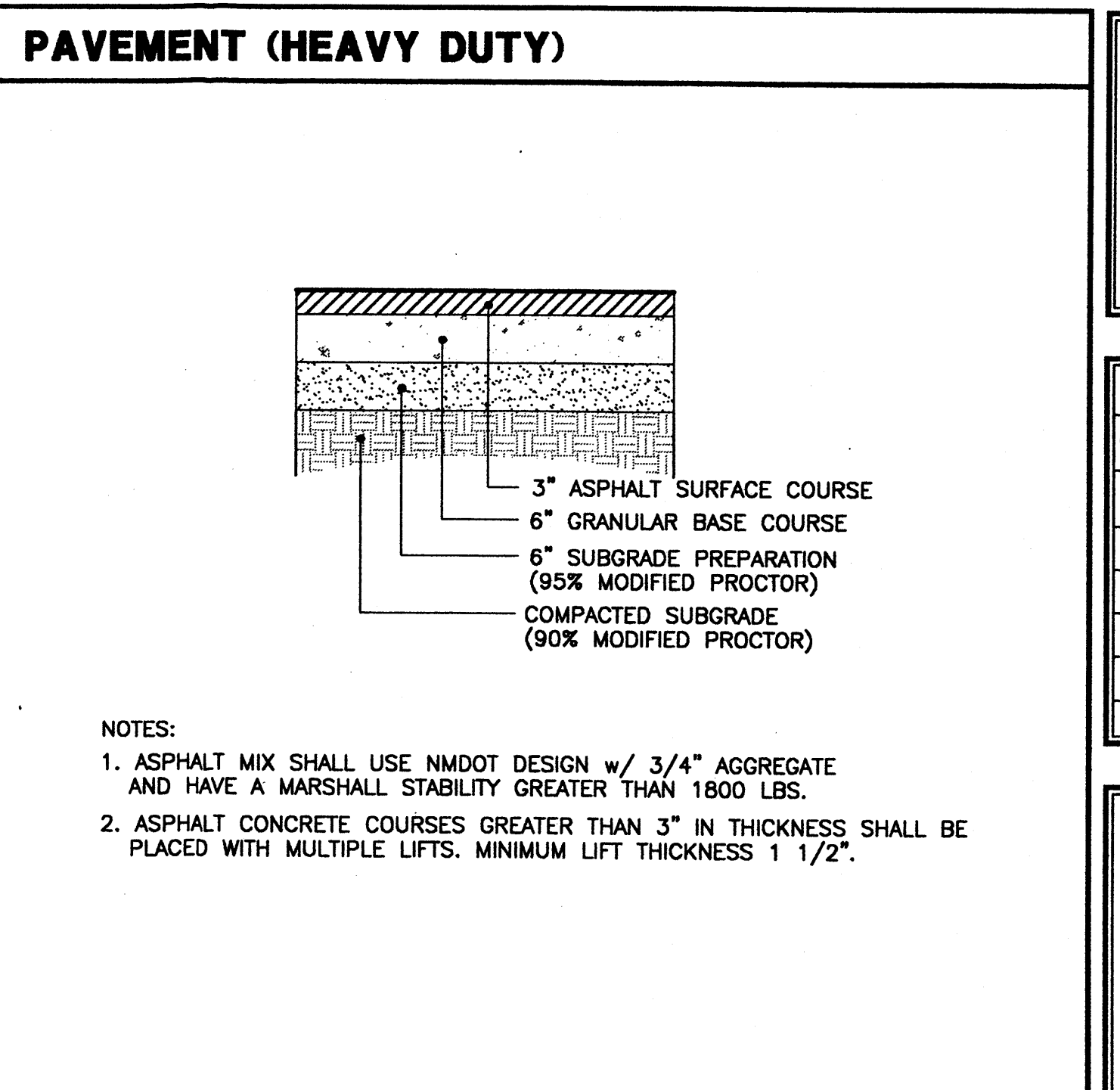
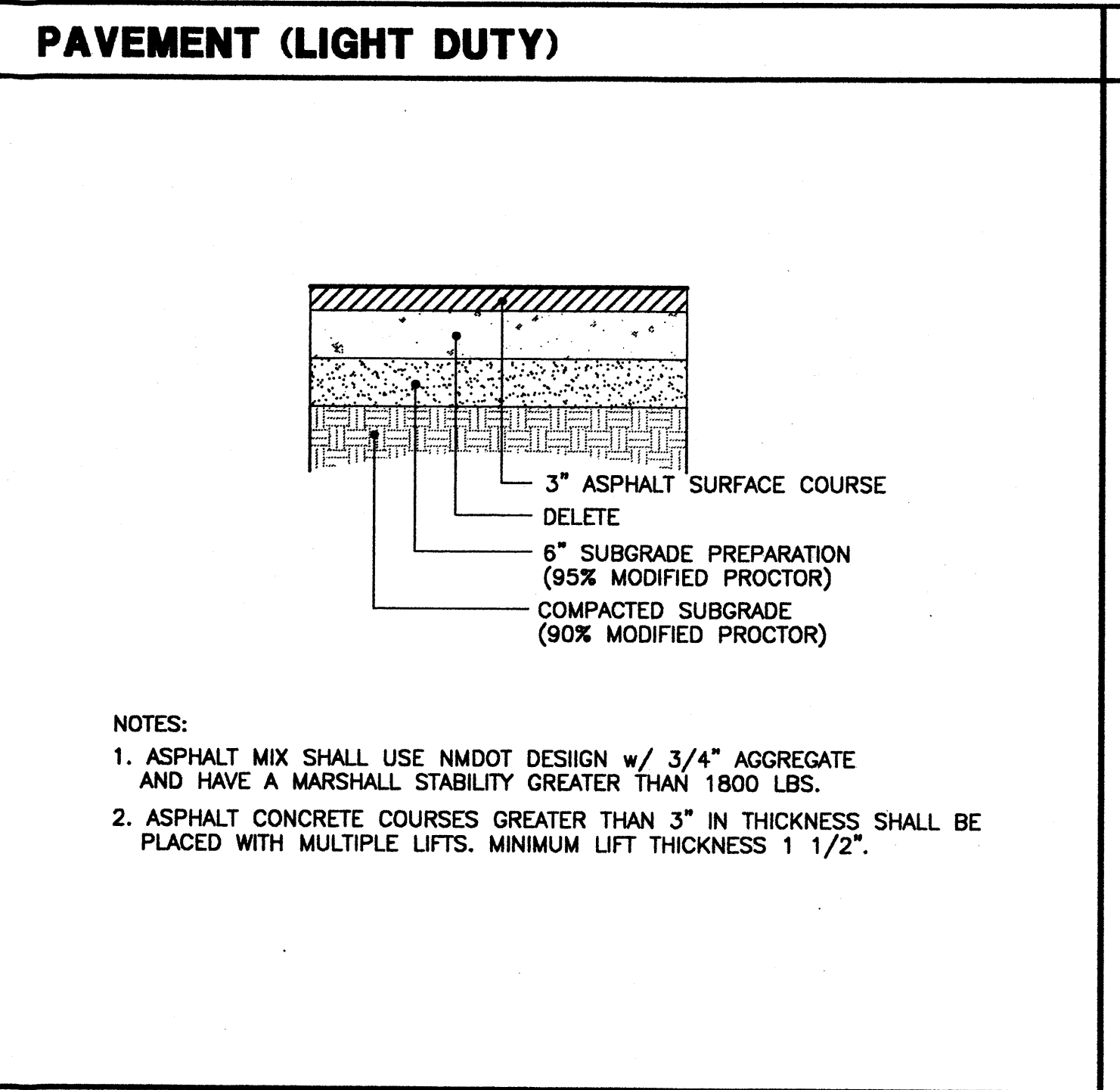
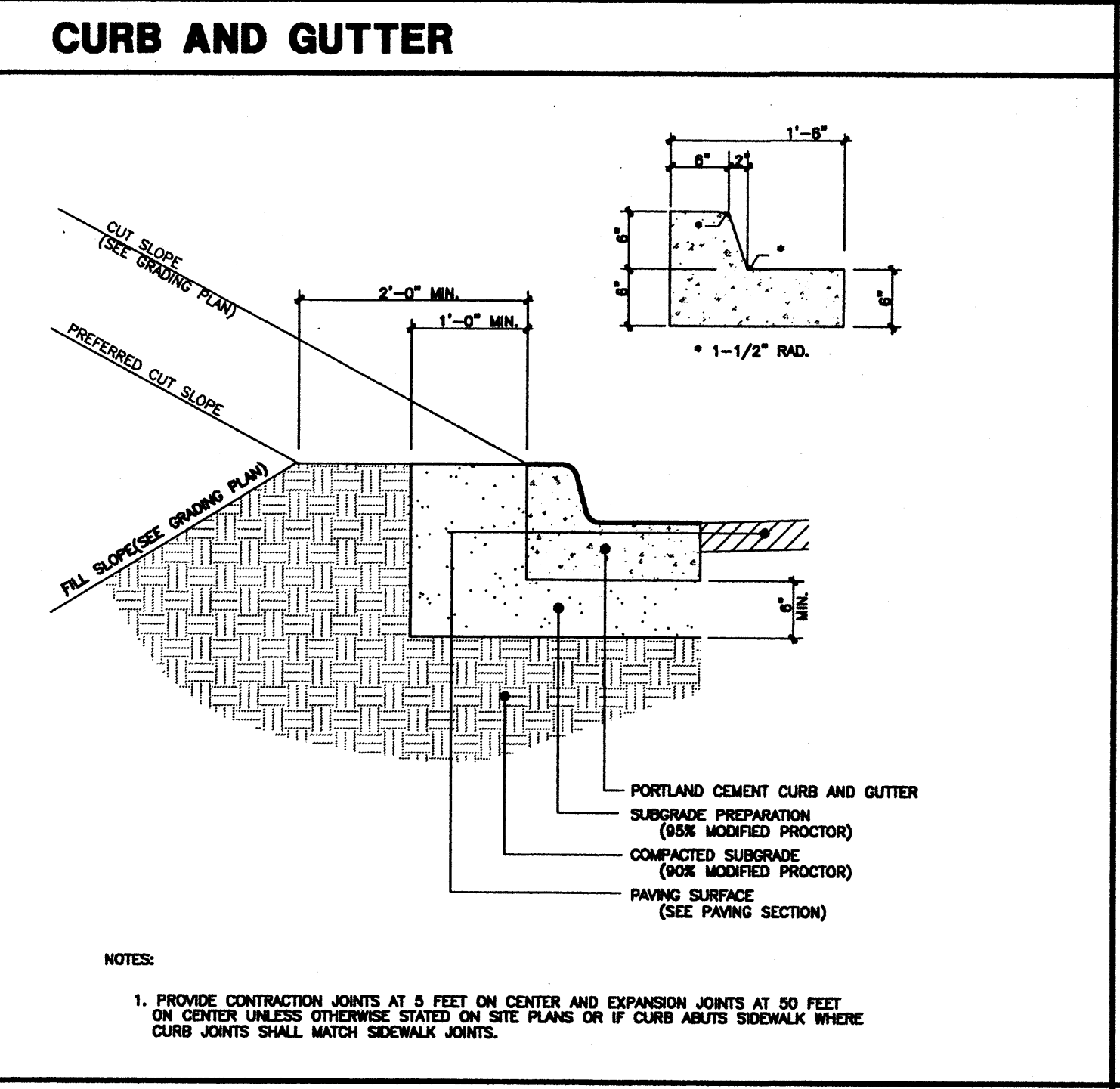
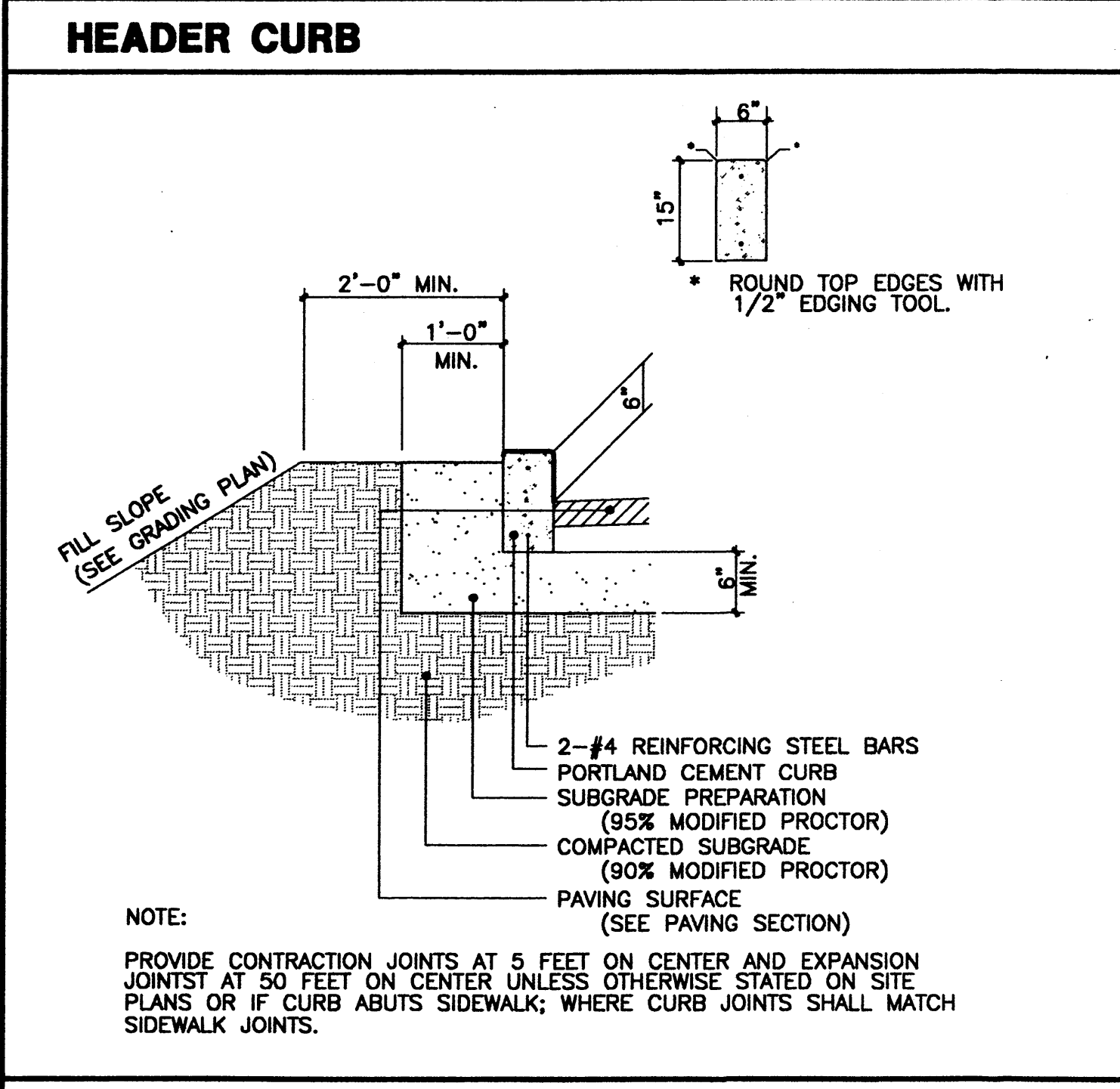
TM OTT / DEVELOPER
6800 VANCE AVE NE SUITE Q
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(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7000 DELWOOD RD NE (2500 88-4828)
ALBUQUERQUE, NEW MEXICO 87110

Project Name
RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO.

M-15/D42
Reid
MAY 16 2007



CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
		(Table D)	(Table E)	(Table F)	(Table G)	(Table H)	(Table I)
			sq. ft.	in.	cu. ft.	cu. ft.	cfs
DEVELOPED	100	A	0	0.53	1.96	0	0.00
		B	8690	0.78	2.28	560	0.46
		C	0	1.13	3.14	0	0.00
		D	51436	2.12	4.7	9080	5.55
		TOTAL	60136			9640	6.01
RESIDENTIAL	100	A	0	0.53	1.96	0	0.00
		B	4975	0.78	2.28	360	0.30
		C	0	1.13	3.14	0	0.00
		D	30827	2.12	4.7	5448	3.33
		TOTAL	35802			5768	3.59
INDUSTRIAL	100	A	0	0.53	1.96	0	0.00
		B	4630	0.78	2.28	301	0.24
		C	0	1.13	3.14	0	0.00
		D	30063	2.12	4.7	5311	3.24
		TOTAL	34693			5612	3.48
COMMERCIAL	100	A	0	0.53	1.96	0	0.00
		B	6256	0.78	2.28	602	0.48
		C	2325	1.13	3.14	219	0.17
		D	3485	2.12	4.7	616	0.38
		TOTAL	25430			1894	1.40

DRAINAGE NOTES

EXISTING CONDITIONS

THE THREE LOTS ON WHICH THE PROPOSED CONSTRUCTION IS TO TAKE PLACE ARE PRESENTLY IN A NATURAL CONDITION. THE AREA DRAINS TO THE NORTHWEST IN A OVERLAND FLOW CONDITION. A CONCENTRATED FLOW ENTERS THE SITE, FROM RANDOLPH ROAD, NEAR THE SOUTHEAST CORNER OF THE SITE. A CONCRETE CHANNEL ON THE SOUTH SIDE OF RANDOLPH CARRIES A SIGNIFICANT FLOW FROM THE SOUTHEAST TO RANDOLPH WHERE IT CROSSES THE STREET, JUMPS THE CURB AND ENTERS THE SITE. DRAINAGE FROM THE SITE FLOWS TO THE PRIVATE STREET, RANDOLPH COURT, WHERE IT ENTERS THE STREET AND IS DIRECTED TO A STORM DRAIN.

PROPOSED CONDITION

THE SITE IS DIVIDED INTO FOUR BASINS IN WHICH MOST OF THE DRAINAGE WILL CONTINUE TO BE ROUTED TO RANDOLPH COURT VIA EITHER AN EXISTING DRAINAGE EASEMENT OR A NEW STORM DRAIN. A PORTION OF THE DRAINAGE WILL BE ROUTED OUT THE DRIVEWAY TO RANDOLPH ROAD. BASIN A IS COMPOSED OF THE NORTHERLY PORTION OF THE BUILDING AND MOST OF THE EASTERLY PARKING LOT. ITS DRAINAGE WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. BASIN B IS COMPOSED OF THE SOUTHERLY PORTION OF THE BUILDING AND THE ENTRANCE DRIVE TO THE EASTERLY PARKING LOT. DRAINAGE FROM THIS BASIN WILL BE ROUTED ON THE SURFACE TO RANDOLPH ROAD. BASIN C IS COMPOSED OF THE WESTERLY PARKING LOT AND WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AT THE SOUTH END OF THE SITE. AND LAST, BASIN D IS THE UNDEVELOPED PORTION OF THE SITE AND WHICH WILL DIRECTED TO RANDOLPH COURT VIA THE STORM DRAIN FOR BASIN C. BASIN B HAS A RETAINING WALL AT ITS SOUTHERLY BOUNDARY THAT PARALLELS RANDOLPH ROAD. THE RETAINING PORTION OF THE WALL WILL VARY FROM 0' TO 5' IN HEIGHT. THIS WALL WILL BE PLACED IMMEDIATELY BEHIND THE SIDEWALK. THE WALL WILL BE 1.5' ABOVE THE ADJACENT WALK FROM THE EASTERLY END OF THE WALL TO THE POINT OF CURVATURE. FROM THAT POINT TO THE WEST THE WALL WILL BE FLUSH WITH THE GROUND.

CONCLUSION

THIS DESIGN WILL PROVIDE FLOOD PROTECTION TO THE NEW SITE AND IMPROVE DRAINAGE CONDITIONS TO OTHER SITES THAT SURROUND THE NEW SITE. IN ADDITION, THE DESIGN WILL SOLVE THE EXISTING CONDITION OF THE WATER EXITING THE ROAD NEAR ITS EASTERN BOUNDARY.

JOB NO:
DATE: 03 JANUARY 2006
REVISIONS

Sheet Title

Drawn By: RESHMAI, S.A. Checked By: T. OTT

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7508 DELWOOD RD. NE / SUITE 4029
ALBUQUERQUE, NEW MEXICO 87110

Project Name

RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO.

KEYED NOTES

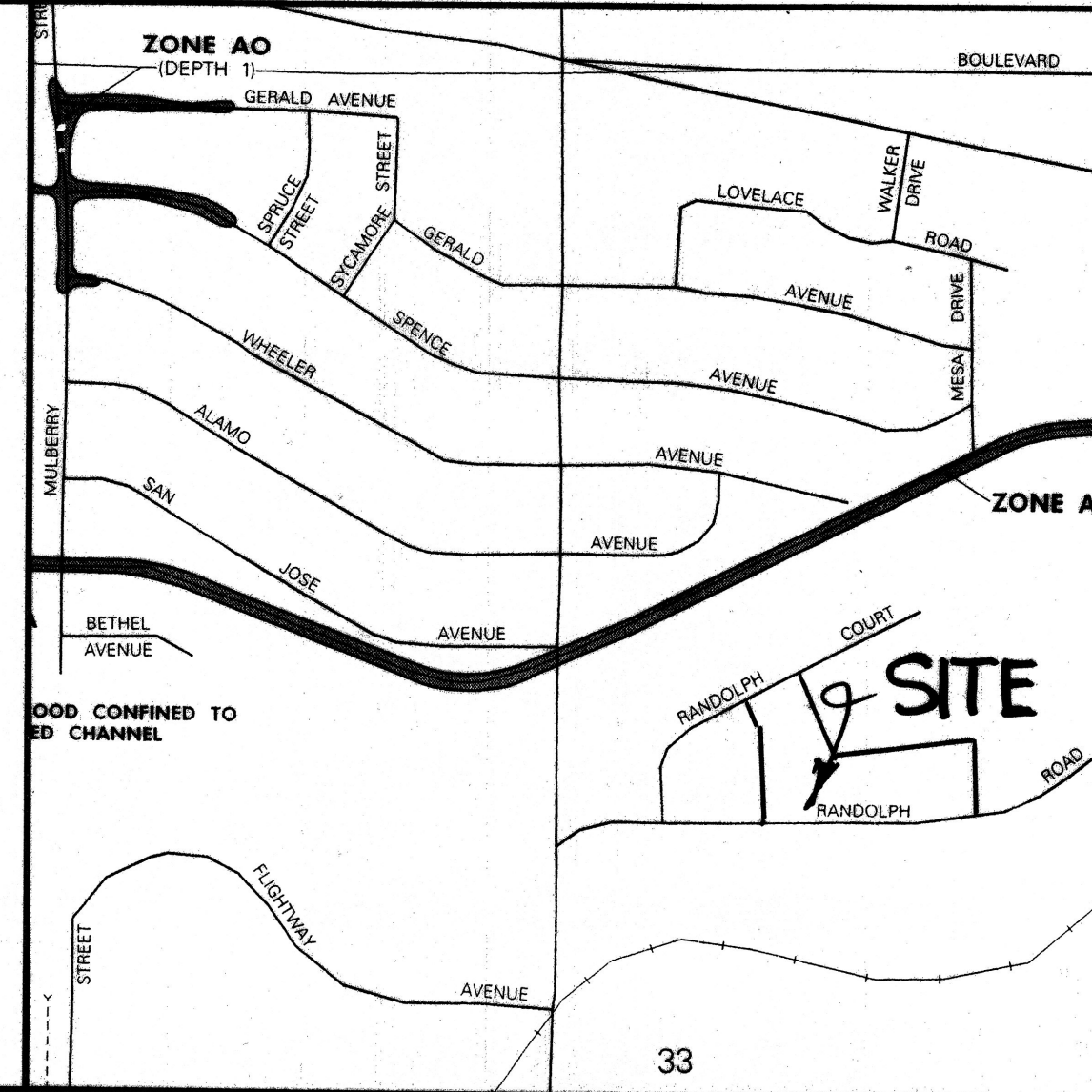
1. SIDEWALK. SEE DETAIL SHEET C2.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
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6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C2.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C2.
8. 40 FOOT WIDE PRIVATE ENTRANCE. SEE CITY OF ALBUQUERQUE (COA) STD. DWG. 2428 WITH UNILATERAL HC RAMPS.
9. EARTH SWALE.
10. 12" SIDEWALK OPENING TO PROVIDE DRAINAGE.
11. 18" SIDEWALK OPENING TO PROVIDE DRAINAGE.
12. 2-3" PVC PIPES UNDER SIDEWALK. THICKEN SIDEWALK TO 8" INCHES AT 6 INCHES EACH SIDE OF PIPES. SET PIPES AT 9 INCHES CENTER TO CENTER. GRADE LANDSCAPE AREA TO DRAIN TO AND FROM PIPES.
13. 2-24" WIDE SIDEWALK CULVERTS. SEE CITY OF ALBUQUERQUE STD. DWG. 2236. SLOPE 2%.
14. RETAINING WALL. TOP OF CURVED WALL 18" ABOVE WALK, REMAINDER 6" ABOVE ADJACENT HIGH GRADE.
15. REFUSE ENCLOSURE. (NOTE: REFUSE ENCLOSURE DRAINAGE SHALL BE CAPTURED AND ROUTED TO SANITARY SEWER VIA 64 SQ. IN. AREA DRAIN AND 3" PVC OUTLET PIPE)
16. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37
17. 18" HDPE STORM DRAIN AT APPROX. XX%.
18. 18" HDPE STORM DRAIN AT APPROX. XX%. ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
19. 4' DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INLET INV. X, OUTLET INV. X, RIM X.
20. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 50.75, INVERT 48.25
21. 15" HDPE STORM DRAIN AT APPROX. XX%.
22. CONCRETE TRANSITION. SEE DETAIL SHEET C2.
23. 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO (17)
24. TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

LEGEND

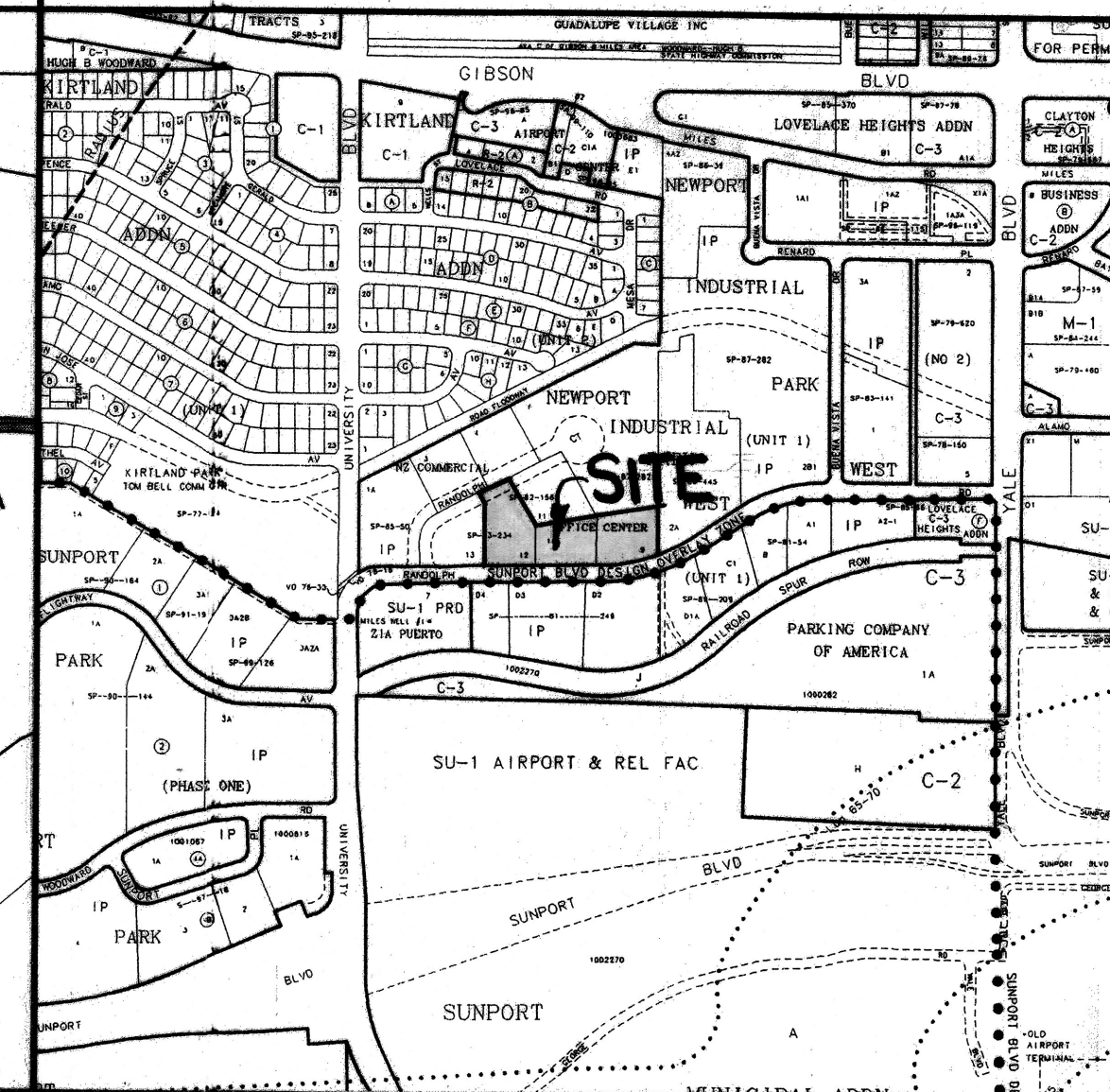
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
G	EXISTING GROUND

TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
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MH	MANHOLE
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PP	POWER POLE
GW	GUY WIRE
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RD	ROOF DRAINAGE POINT
	DRAINAGE BASIN BOUNDARY
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

FEMA FIRM MAP NO. 342



VICINITY MAP NO. M-15



LEGAL DESCRIPTION

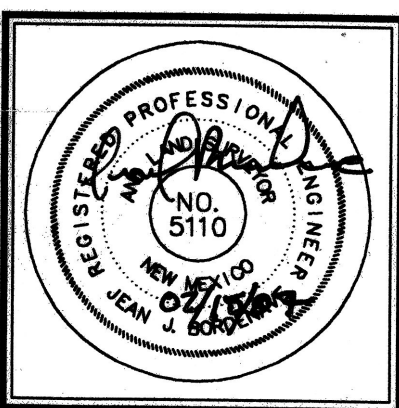
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

PERMANENT BENCHMARK

I-25-30 ELEVATION 5038.5 (NGVD 1929)

ROUGH GRADING APPROVAL

NAME _____ DATE _____



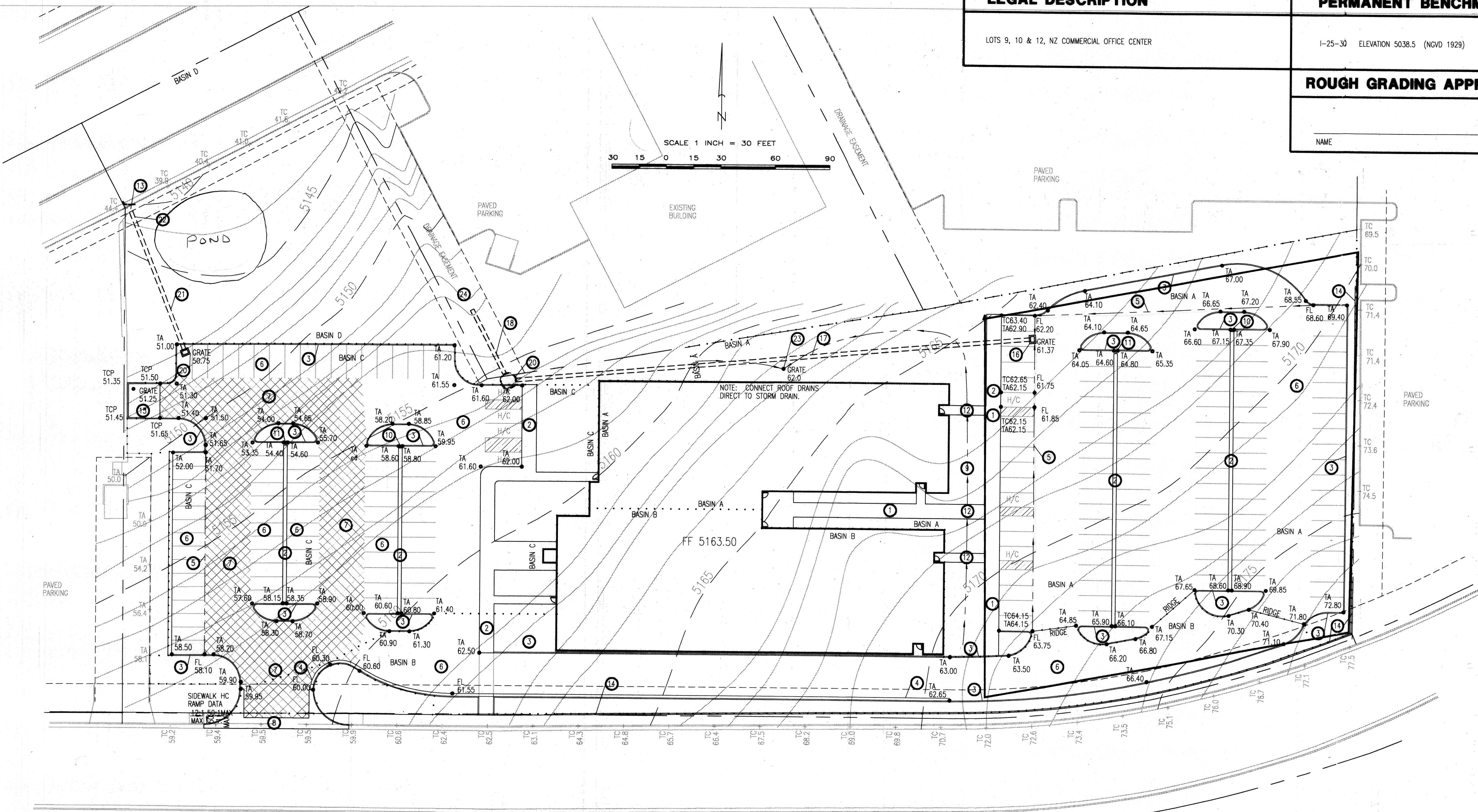
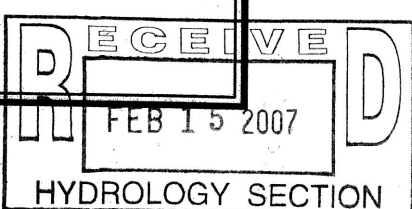
JOB NO. _____
DATE: 03 JANUARY 2006
REVISIONS

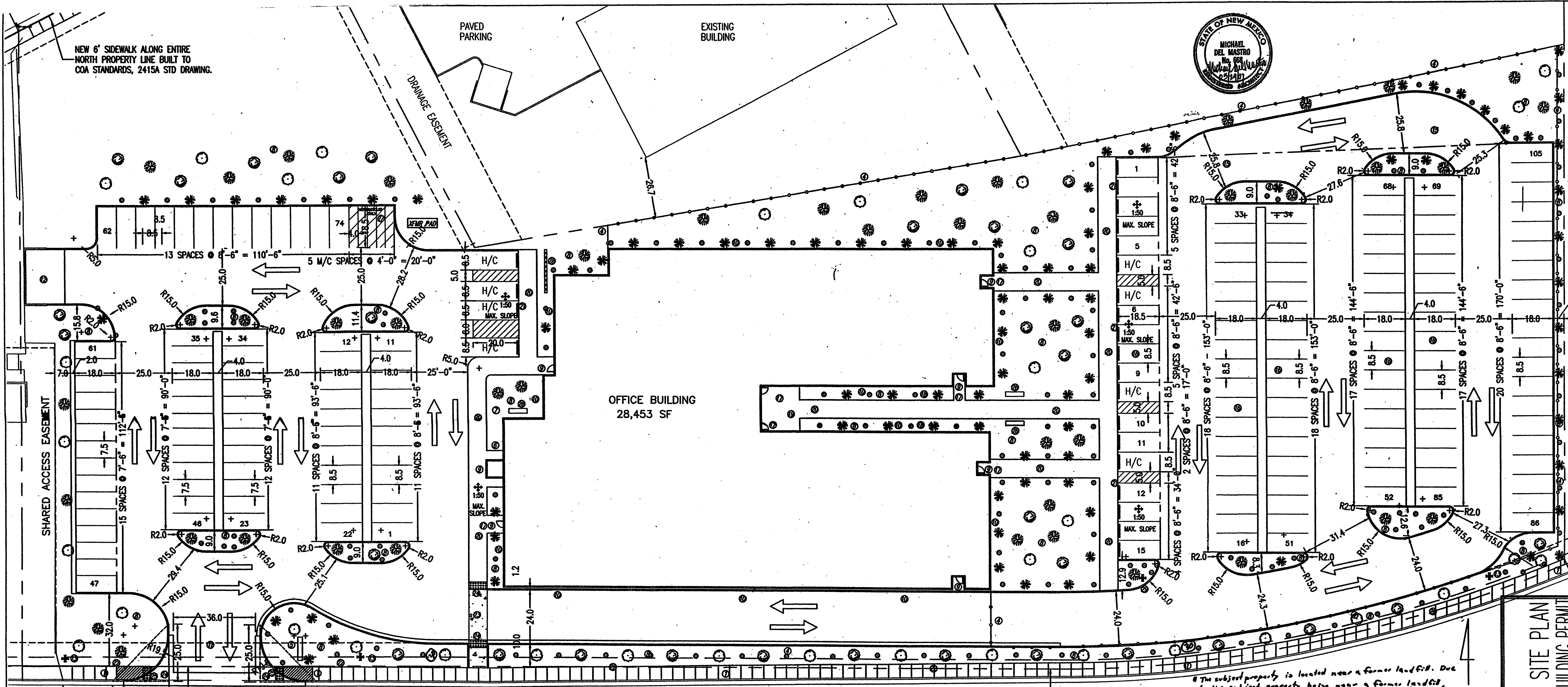
Sheet Title _____
Drawn By: PESUMA, S.A. _____
Checked By: T. OTT _____

TM OTT / DEVELOPER
5600 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 250-4675
MICHAEL DEL MASTRO / ARCHITECT
7300 DELWOOD RD NE / (505) 883-4839
ALBUQUERQUE, NEW MEXICO 87110

Project Name
RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO. _____





GENERAL NOTES:

LEGAL DESCRIPTION: LOT 9, 10, & 12, N2 COMMERCIAL - OFFICE SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING SINGLE STORY, HEIGHT 16 FT 18 FT

CURRENT ZONING: IP

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: 28,453/200=142 SPACES (1 Space/200 S.F.) PROVIDED: 179 SPACES (Excess parking due to the requirement of the State of New Mexico.)

PARKING, HANDICAP: REQUIRED PER COA CODE: 4 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES, 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 5 SPACES PROVIDED: 5 SPACES

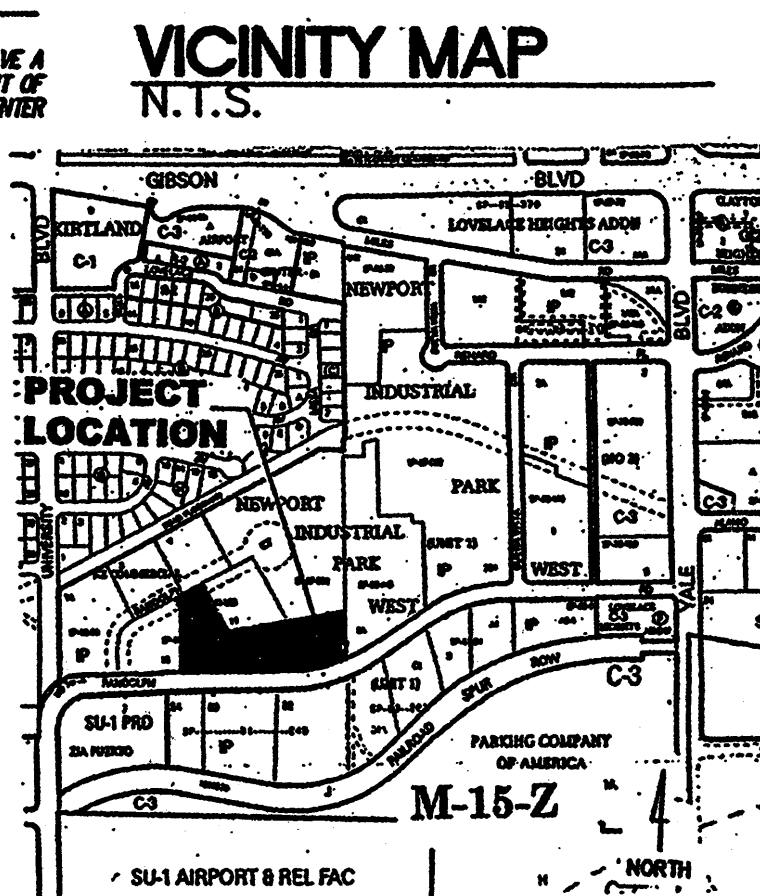
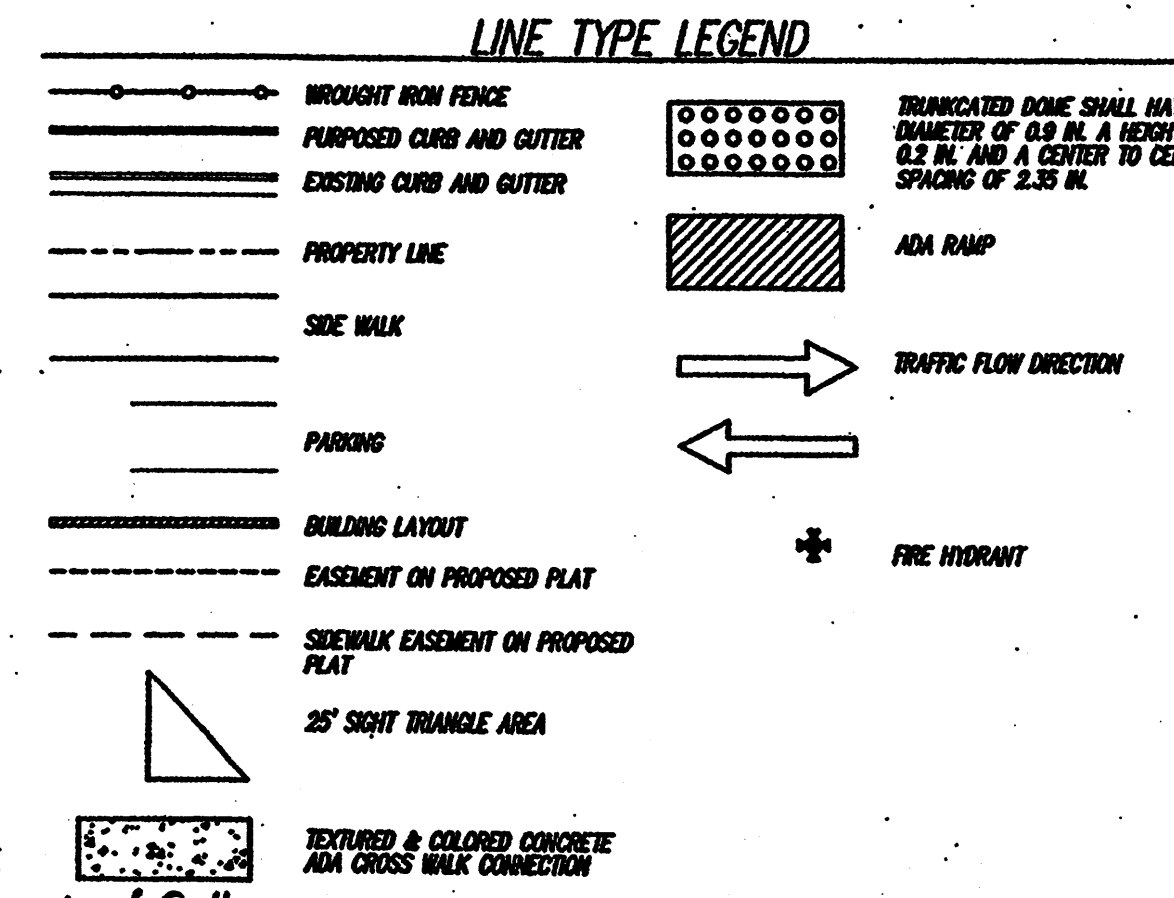
BICYCLE RACKS: REQUIRED PER COA CODE: 9 SPACES (with 160 to 180 req. parking spaces) PROVIDED: 9 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

- KEYED NOTES:**
- NEW 6' SIDEWALK TO COA STANDARDS, 2415A STD DWG
 - NEW CONCRETE CURB & GUTTER
 - WROUGHT IRON FENCING
 - 6' HIGH SECURITY FENCE WITH MOTORIZED GATE / WROUGHT IRON
 - AGENCY SIGNS, DETAIL TO BE SUBMITTED TO THE CITY FOR APPROVAL, DOUBLE SIGNAGE, REQUIRE SEPARATE PERMIT
 - DROP BOX, TRASH RECEPTACLE & CIGARETTE DISPOSAL CONTAINER LOCATION TBD.
 - FLAG POLE, IF DESIRED.
 - LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM
 - SECURITY LIGHTING AT ALL ENTRANCES
 - EXTERIOR BUILDING LIGHTING PER CITY OF ALBUQUERQUE, NIGHT SKY PROTECTION ACT LIGHTING CODE, OPERATED BY PHOTO CELL
 - DRIVEWAY PER CITY OF ALBUQUERQUE STANDARDS, 2426 STD DWG
 - DUMPSTER ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS
 - EXISTING FIRE HYDRANTS
 - 28,731 SQ. FT., STUCCO BUILDING WITH NATURAL ROCK VENEER WITH A MAXIMUM PARAPET HEIGHT OF 16 FT. NO OUTSIDE STORAGE AND NO CHAIN LINK FENCING.

- TURNING RADIUS FOR FIRE TRUCKS.
- COVERED EMPLOYEE PARKING WITH LIGHTING
- CYPHER LOCK ON ENTRANCE
- OASIS AREA FOR EMPLOYEES
- EMPLOYEE PATIO WITH COVER, PATIO FURNITURE, TRASH RECEPTACLES & CIGARETTE DISPOSAL CONTAINER.
- NEW 8' SIDE WALK
- ASPHALT FLUSH WITH SIDEWALK, ADJACENT TO ASPHALT AND SIDEWALK SLOPE IS NOT GREATER THAN 1:50 IN ALL DIRECTIONS.
- SIDEWALK EASEMENT IN ON REPLAT SUBMISSION.
- TEXTURED & COLORED CONCRETE ADA COMPLIANT CROSS WALK CONNECTION PER COA CODE.
- TRUNCATED DOME ADA COMPLIANT 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES
- ADA SIDEWALK RAMPS PER COA STANDARD 2426
- BENCH SEATING, FOR FACADE = 288" OUTSIDE SEATS REQUIRED = 12 SEATS = 3 BENCHES, 8' EACH
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- BICYCLE RACK, MINIMUM 9 SPACES.
- NEW FIRE HYDRANT PER COA FIRE DEPARTMENT REQUEST.
- Standby Monitoring Wells for landfill gases, location TBD, 2 wells.



8 The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may be needed to be taken to ensure the health and safety of the public. Remedial actions made by a professional engineer with expertise in landfill and landfill gas issues (as required by the most current version of the International Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved prior DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

DRB SITE PLAN
FOR BUILDING PERMIT

Project Name: RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO. DRB SP

DATE: 5-30-07

DATE: 5-30-07

DATE: 5-30-07

DATE: 5-30-07

DATE: 5/29/07

DATE: 5/30/07

KEYED NOTES

1. SIDEWALK. SEE DETAIL SHEET C2.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
3. HEADER CURB. SEE DETAIL SHEET C2.
4. CURB AND GUTTER. SEE DETAIL SHEET C2.
5. ASPHALT SWALE.
6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C2.
7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C2.
8. 40 FOOT WIDE PRIVATE ENTRANCE. SEE CITY OF ALBUQUERQUE (COA) STD. DWG. 2428 WITH UNILATERAL HC RAMPS.
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10. 12" SIDEWALK OPENING TO PROVIDE DRAINAGE.
11. 18" SIDEWALK OPENING TO PROVIDE DRAINAGE.
12. 2-3" PVC PIPES UNDER SIDEWALK. THICKEN SIDEWALK TO 8" INCHES AT 6 INCHES EACH SIDE OF PIPES. SET PIPES AT 9 INCHES CENTER TO CENTER. GRADE LANDSCAPE AREA TO DRAIN TO AND FROM PIPES.
13. 2- 24" WIDE SIDEWALK CULVERTS. SEE CITY OF ALBUQUERQUE STD. DWG. 2236. SLOPE 2%.
14. RETAINING WALL. TOP OF CURVED WALL 18" ABOVE WALK, REMAINDER 6" ABOVE ADJACENT HIGH GRADE.
15. REFUSE ENCLOSURE. (NOTE: REFUSE ENCLOSURE DRAINAGE SHALL BE CAPTURED AND ROUTED TO SANITARY SEWER VIA 64 SQ. IN. AREA DRAIN AND 3" PVC OUTLET PIPE)

16. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37, 60.68 57.29
17. 18" HDPE STORM DRAIN AT APPROX. XX%.
18. 18" HDPE STORM DRAIN AT APPROX. XX%. ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
19. 4' DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INLET INV. 61.37, OUTLET INV. 61.37, RIM 63.95 61.37
20. TYPE 'SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 59.75, INVERT 49.25 50.66 47.36
21. 15" HDPE STORM DRAIN AT APPROX. XX%.
22. CONCRETE TRANSITION. SEE DETAIL SHEET C2.
23. 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO 17.
24. TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

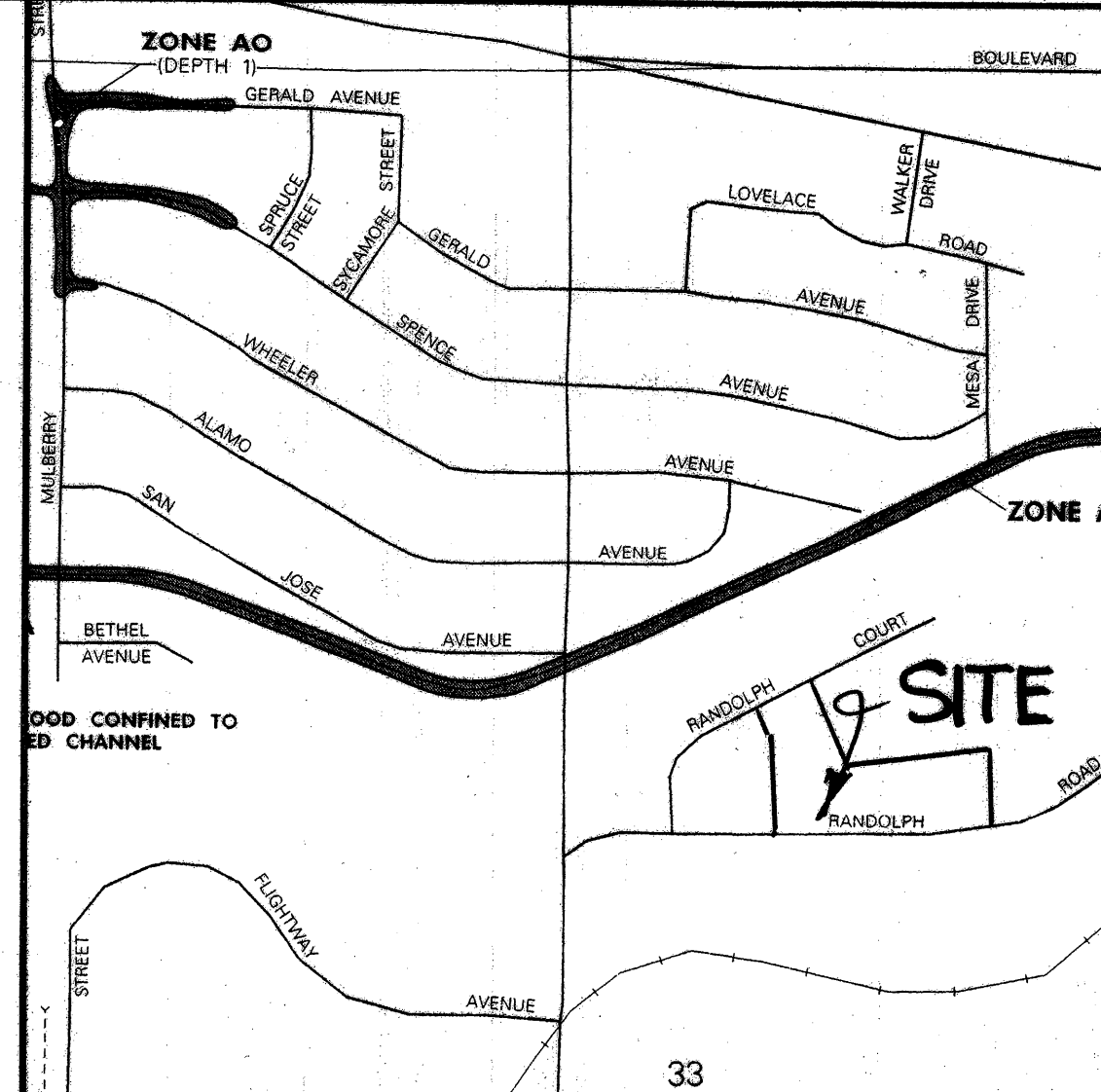
LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
G	EXISTING GROUND

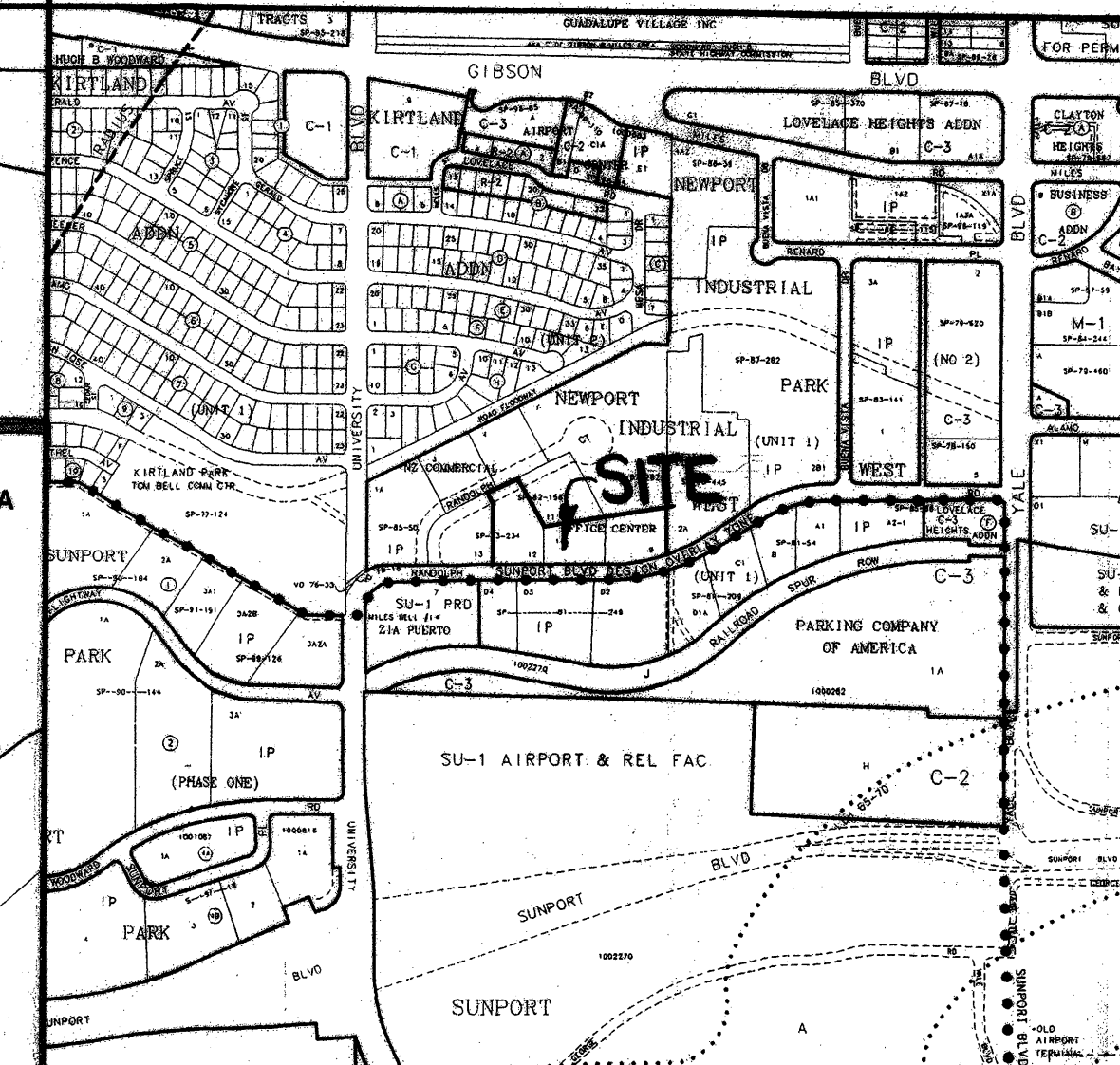
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MH	MANHOLE
CB	CATCH BASIN GRATE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

---	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

FEMA FIRM MAP NO. 342



VICINITY MAP NO. M-15



LEGAL DESCRIPTION

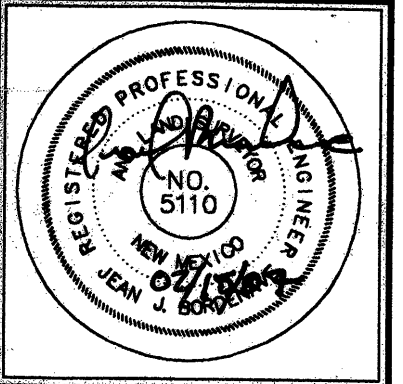
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

PERMANENT BENCHMARK

I-25-30 ELEVATION 5038.5 (NOVO 1929)

ROUGH GRADING APPROVAL

NAME _____ DATE _____



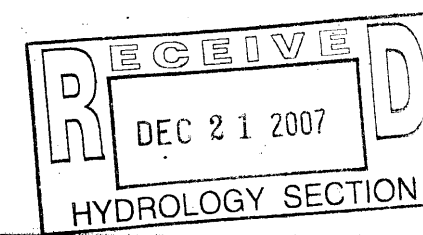
JOB NO:	
DATE:	03 JANUARY 2006
REVISIONS	

Sheet Title	
Drawn By: FESHAM, S.A.	Checked By: T. OTT

TM OTT / DEVELOPER 5850 VANCE AVE NE, SUITE G ALBUQUERQUE, NM 87115 (505) 250-4675	MICHAEL DEL MASTRO / ARCHITECT 700 DELWOOD RD. NE / (505) 883-4829 ALBUQUERQUE, NEW MEXICO 87110
---	--

Project Name	RANDOLPH BUILDING BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO
--------------	---

SHEET NO.	
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KEYED NOTES

1. SIDEWALK. SEE DETAIL SHEET C2.
2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C2.
3. HEADER CURB. SEE DETAIL SHEET C2.
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NOTE:
HAND LETTERED ELEV'S
ARE AS-BUILT 05/10/07

16. TYPE 'S' SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 61.37, INVERT 58.37
17. 18" HDPE STORM DRAIN AT APPROX. 1.46%.
18. 18" HDPE STORM DRAIN AT APPROX 4.1% ADJUST GRADE TO MATCH EXISTING ELEVATION AT OUTLET.
19. 4' DIAM. TYPE 'E' MANHOLE PER COA STD. DET. 2102. INV. 54.5, DIA 62.4
20. TYPE 'S' SINGLE D' CATCH BASIN PER COA STD. DET. 2206. GRATE 50.75, INVERT 48.25
21. 15" HDPE STORM DRAIN AT APPROX 9.9%
22. CONCRETE TRANSITION. SEE DETAIL SHEET C2.
23. 64 SQ. IN. AREA DRAIN WITH CONCRETE COLLAR AND 3" PVC OUTLET PIPE TO 17.
24. TYPE 'L' RIPRAP OUTLET. SEE DETAIL SHEET C2, OPTION 1 ONLY.

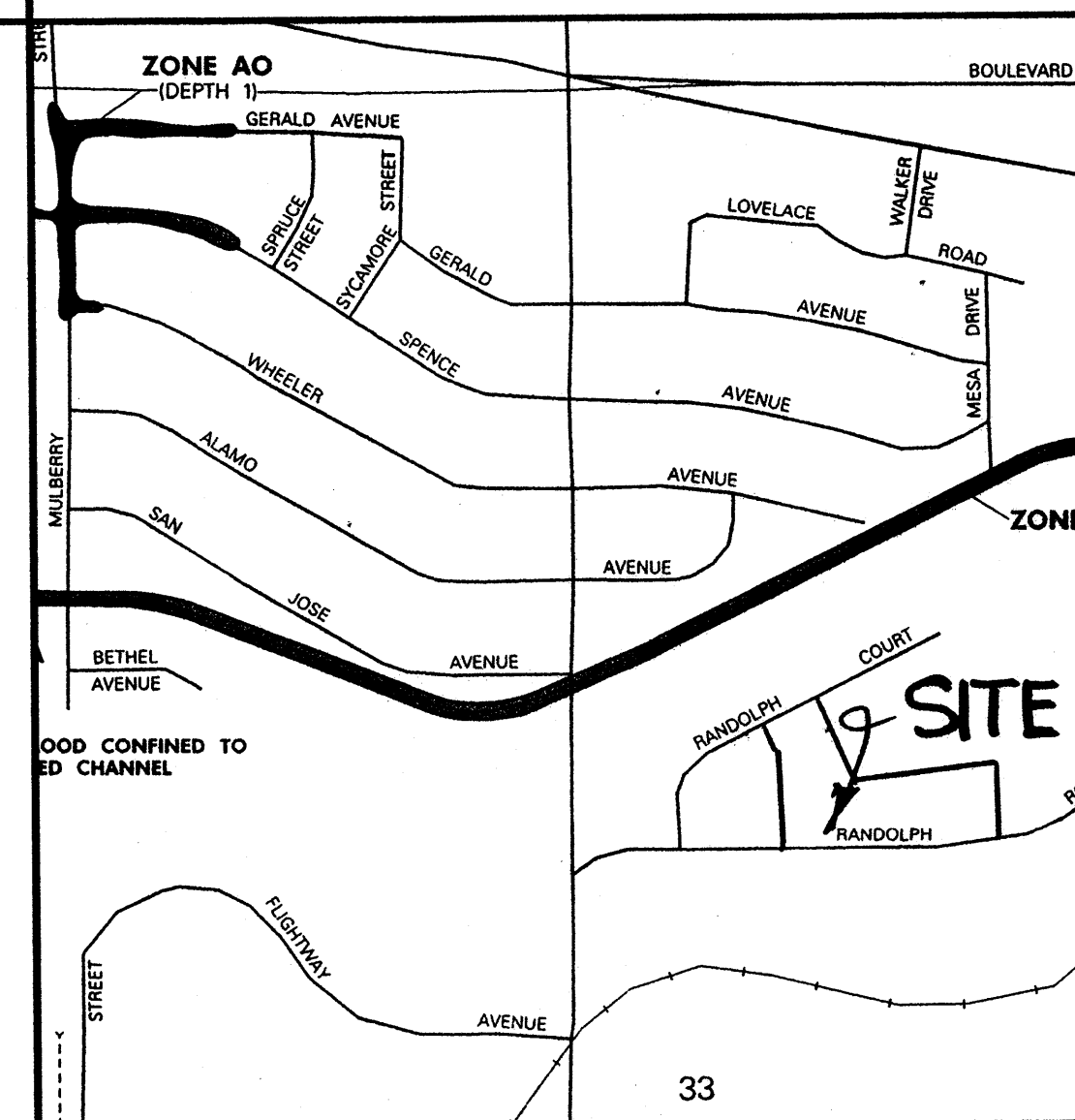
LEGEND

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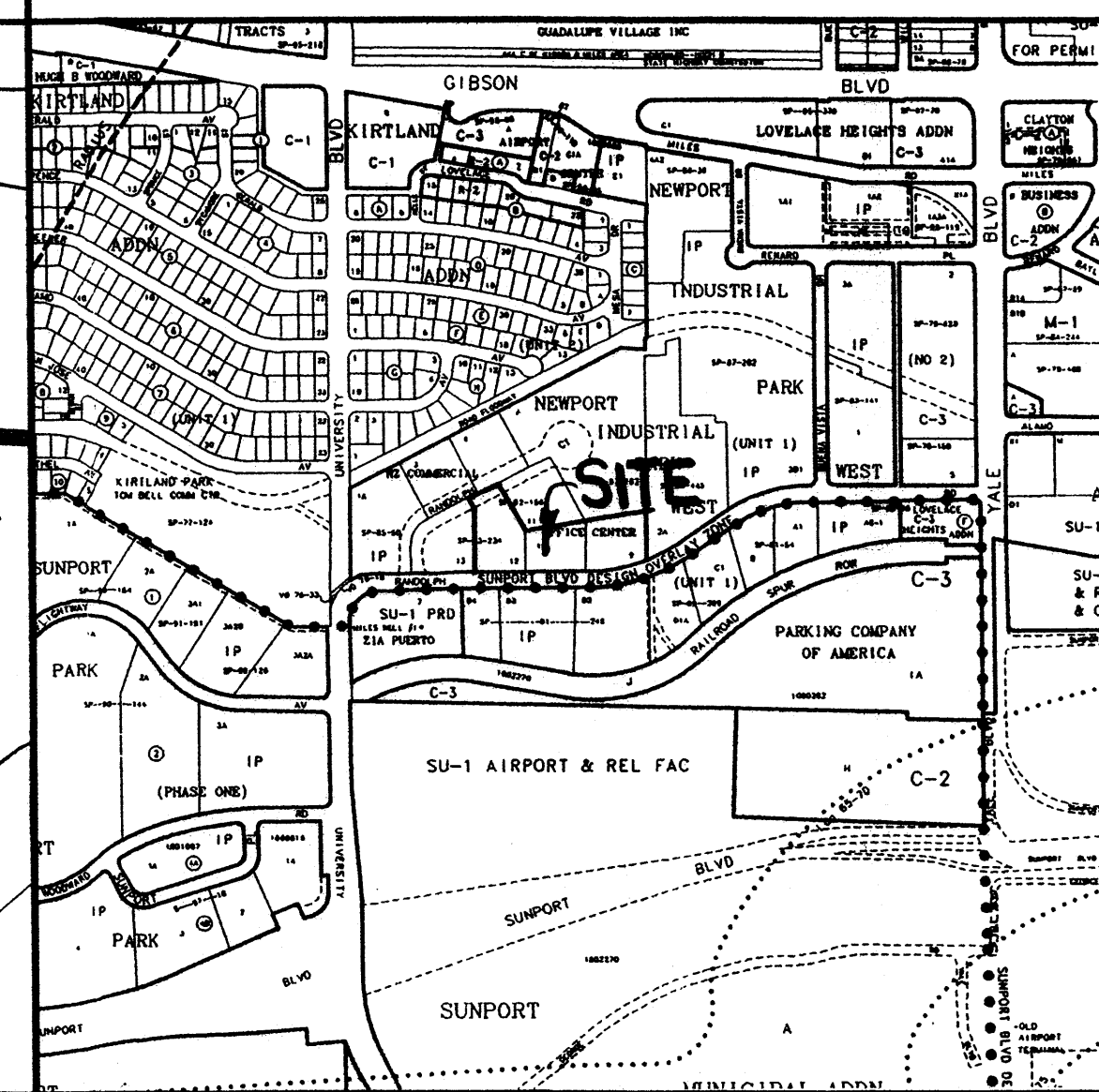
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PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

---	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

FEMA FIRM MAP NO. 342



VICINITY MAP NO. M-15



LEGAL DESCRIPTION

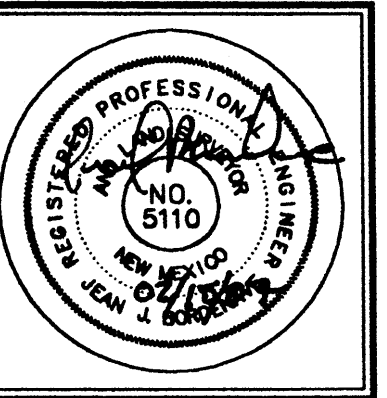
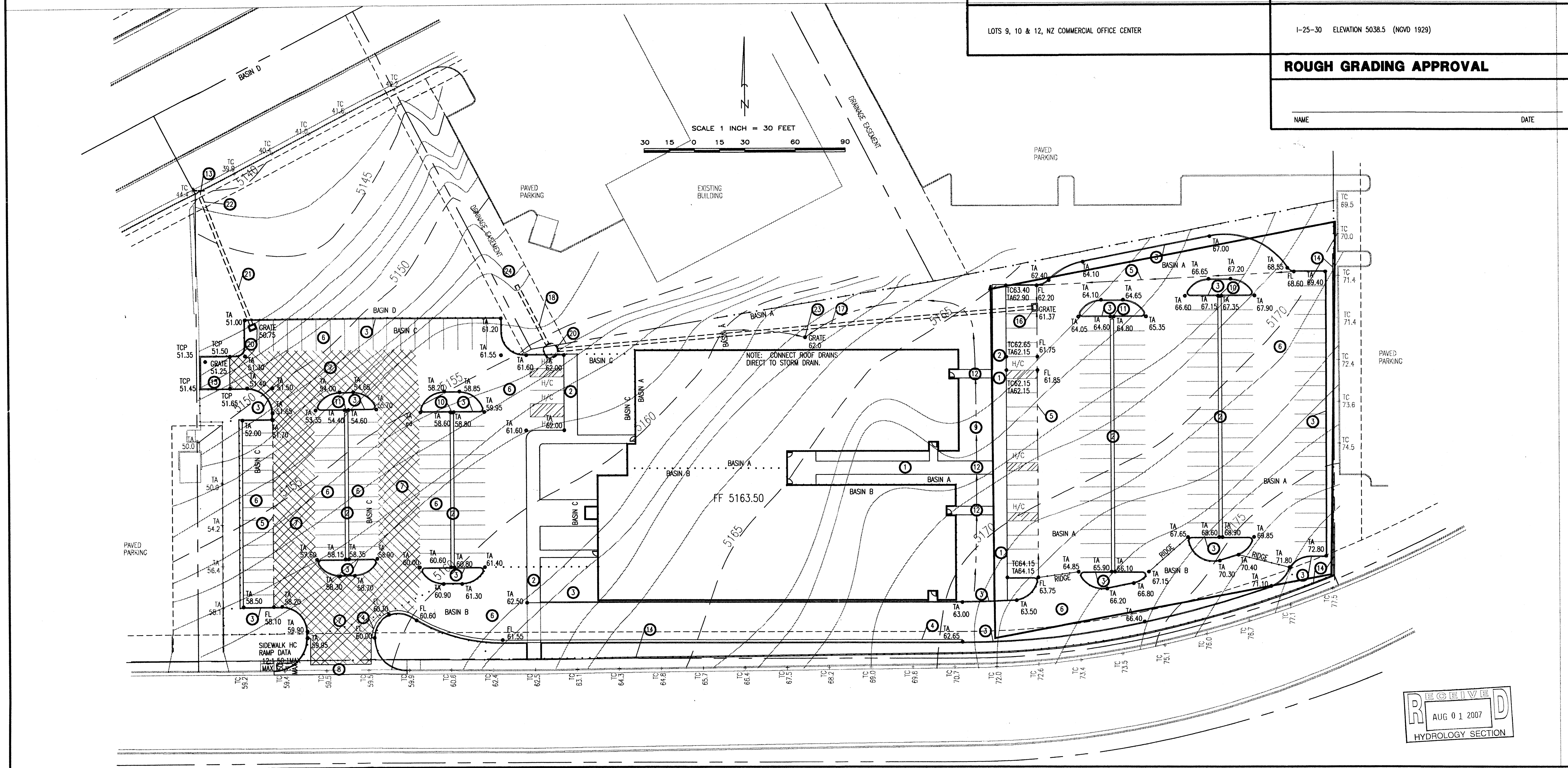
LOTS 9, 10 & 12, NZ COMMERCIAL OFFICE CENTER

PERMANENT BENCHMARK

I-25-30 ELEVATION 5038.5 (NGVD 1929)

ROUGH GRADING APPROVAL

NAME _____ DATE _____



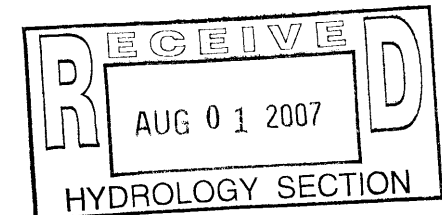
JOB NO.	
DATE	03 JANUARY 2006
REVISIONS	

Sheet Title	
Checked By: I. OTT	
Drawn By: PESHAWAN, S.A.	

TM OTT / DEVELOPER 5620 VANCE AVE. SUITE G ALBUQUERQUE, NM 87115 (505) 250-4075	MICHAEL DEL MASTRO / ARCHITECT 7300 DELWOOD RD. NE / (505) 865-9929 ALBUQUERQUE, NEW MEXICO 87110
--	---

Project Name	RANDOLPH BUILDING BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO
--------------	---

SHEET NO.	
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2'-0" MIN.

1'-0" MIN.

6" MIN.

6"

15"

* ROUND TOP EDGES WITH 1/2" EDGING TOOL.

FILL SLOPE (SEE GRADING PLAN)

2-#4 REINFORCING STEEL BARS

PORTLAND CEMENT CURB

SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

PAVING SURFACE (SEE PAVING SECTION)

NOTE:

PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

[illegible]

1. PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

3" ASPHALT SURFACE COURSE
6" GRANULAR BASE COURSE
6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)
COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

Diagram illustrating two options for riprap placement:

- OPTION NO. 1:** Shows a cross-section with layers labeled TYPE L RIPRAP, EXISTING RIPRAP, and EXISTING SUBBASE.
- OPTION NO. 2:** Shows a cross-section with a layer labeled NA (Not Applicable) above the EXISTING RIPRAP and EXISTING SUBBASE.

1. THE CONTRACTOR MAY SELECT EITHER OPTION NO. 1 OR OPTION NO. 2 UNLESS THE PLANS SPECIFY THE OPTION TO BE USED.
2. EXTREME CARE SHALL BE EXERCIZED TO AVOID PUNCTURING OR TEARING THE FILTER CLOTH.
3. FILTER CLOTH SEAMS SHALL BE TRANSVERSE TO THE FLOW DIRECTION AND UPSTREAM EDGE SHALL OVERLAP THE DOWN-STREAM EDGE A MINIMUM OF 12 INCHES.

SEE SITE PLAN
FOR WIDTH

SLOPE AT 1/4"
PER FOOT UNLESS
OTHERWISE SHOWN

6"

6"

4" PORTLAND CEMENT CONCRETE SIDEWALK
(4000 PSI CONCRETE)

6" SUBGRADE PREPARATION (95%
MODIFIED PROCTOR)

COMPACTED SUBGRADE (90%
MODIFIED PROCTOR)

SEE SITE PLAN
FOR WIDTH

16" 16" 16" 16"

1/4" SLOPE AT 1/4" PER FOOT UNLESS OTHERWISE SHOWN

4" PORTLAND CEMENT CONCRETE SIDEWALK (3000 PSI CONCRETE)

6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)

NO. 4 REBAR (CONTINUOUS)

COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

ASPHALT PAVING SECTION

Diagram illustrating the cross-section of a concrete channel installation, showing the channel, reinforcement, and subgrade preparation. The diagram includes the following dimensions and components:

- Channel width: 12"
- Channel depth: 6"
- Reinforcement: 6x6-10/10 W.W.F. (Wire Welded Fabric)
- Channel material: CONCRETE CHANNEL
- Rebar: NO. 4 REBAR (2 MIN.) AT 18" O.C. MAX.
- Subgrade preparation: 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR)
- Compacted subgrade: COMPACTED SUBGRADE (90% MODIFIED PROCTOR)

EXISTING CONDITIONS

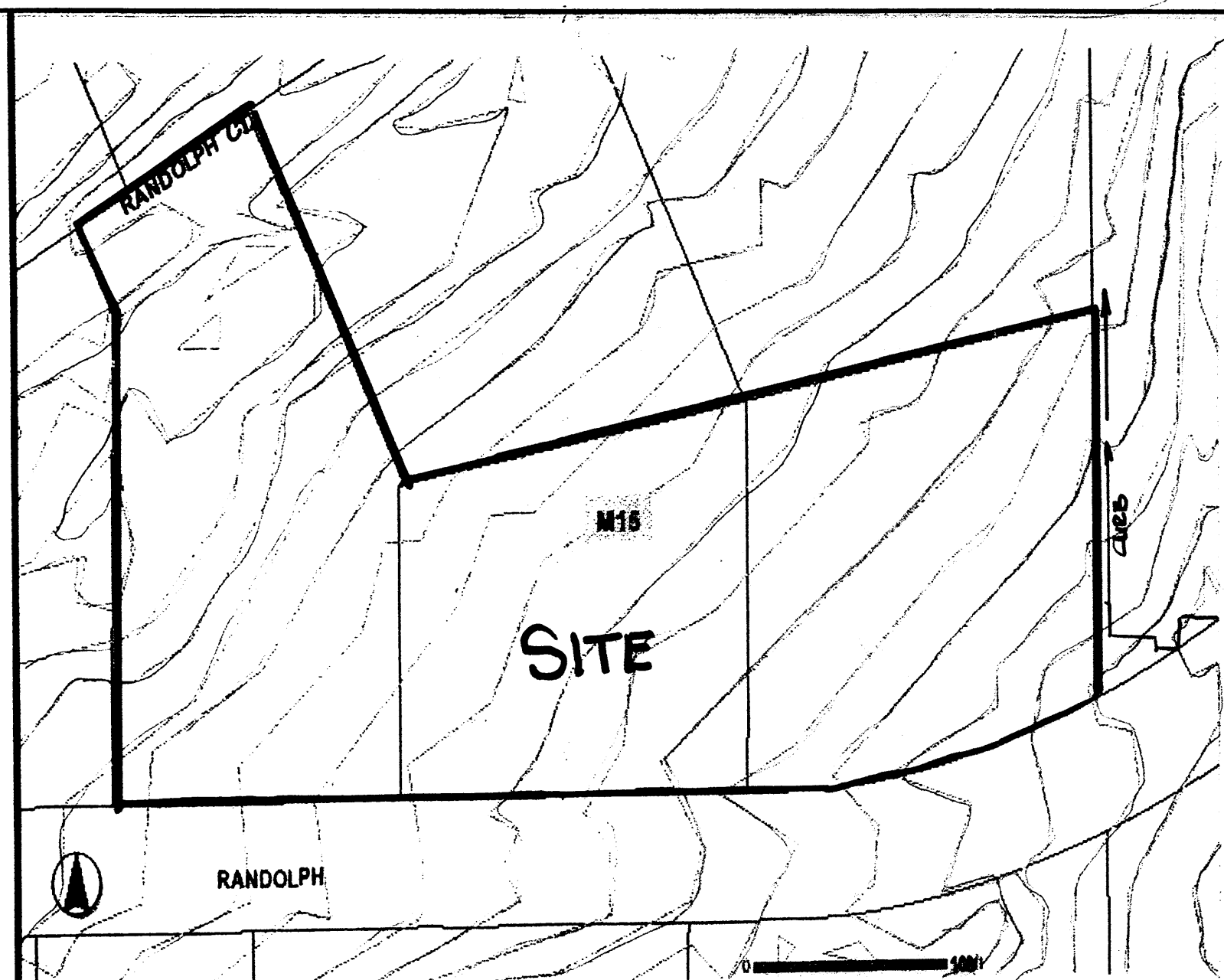
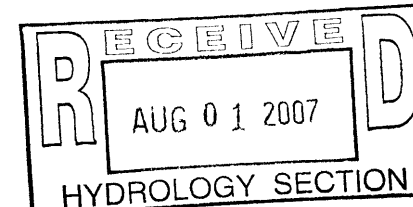
THE THREE LOTS ON WHICH THE PROPOSED CONSTRUCTION IS TO TAKE PLACE ARE PRESENTLY IN A NATURAL CONDITION. THE AREA DRAINS TO THE NORTHWEST IN AN OVERLAND FLOW CONDITION. CONCENTRATED FLOW ENTERS THE SITE, FROM RANDOLPH ROAD, NEAR THE SOUTHEAST CORNER OF THE SITE. A CONCRETE CHANNEL, WHICH RUNS ALONG THE SIDE OF RANDOLPH CARRIES A SIGNIFICANT FLOW FROM THE SOUTHEAST TO RANDOLPH WHERE IT CROSSES STREET, JUMPS THE CURB AND ENTERS THE SITE. DRAINAGE FROM THE SITE FLOWS TO THE PRIVATE STREET, RANDOLPH COURT, WHERE IT ENTERS THE STREET AND IS DIRECTED TO A STORM DRAIN.

PROPOSED CONDITION

THE SITE IS DIVIDED INTO FOUR BASINS IN WHICH MOST OF THE DRAINAGE WILL CONTINUE TO BE ROUTED TO RANDOLPH COURT VIA EITHER AN EXISTING DRAINAGE EASEMENT OR A NEW STORM DRAIN. A PORTION OF THE DRAINAGE WILL BE ROUTED OUT THE DRIVEWAY TO RANDOLPH ROAD. BASIN A IS COMPOSED OF THE NORTHERLY PORTION OF THE BUILDING AND MOST OF THE EASTERLY PARKING LOT. IT'S DRAINAGE WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. BASIN B IS COMPOSED OF THE SOUTHERLY PORTION OF THE BUILDING AND THE ENTRANCE DRIVE TO THE EASTERLY PARKING LOT. DRAINAGE FROM THIS BASIN WILL BE ROUTED ON THE SURFACE TO RANDOLPH ROAD. BASIN C IS COMPOSED OF THE WESTERLY PARKING LOT AND WILL BE ROUTED TO RANDOLPH COURT VIA A STORM DRAIN AND THE EXISTING DRAINAGE EASEMENT. THE SITE, IN LAST, BASIN D IS THE UNDEVELOPED PORTION OF THE SITE AND WHICH WILL DIRECTED TO RANDOLPH COURT VIA THE SURFACE. BASIN D HAS A RETAINING WALL AT ITS SOUTHERLY BOUNDARY THAT PARALLELS RANDOLPH ROAD. THE RETAINING WALL AT THE WEST WALL WILL VARY FROM 0' TO 5' IN HEIGHT. THIS WALL WILL BE PLACED IMMEDIATELY BEHIND THE SIDEWALK. THE WALL WILL BE 1.5' ABOVE THE ADJACENT WALL FROM THE EASTERLY END TO THE WALL TO THE POINT OF CURVATURE. FROM THAT POINT TO THE WEST THE WALL WILL BE FLUSH WITH THE GROUND.

CONCLUSION

THIS DESIGN WILL PROVIDE FLOOD PROTECTION TO THE NEW SITE AND IMPROVE DRAINAGE CONDITIONS TO OTHER SITES THAT SURROUND THE NEW SITE. IN ADDITION, THE DESIGN WILL SOLVE THE EXISTING CONDITION OF THE WATER EXITING THE ROAD NEAR IT'S EASTERN BOUNDARY.



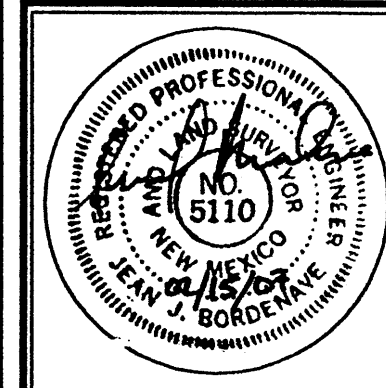
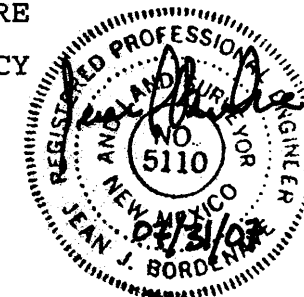
DRAINAGE CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE
DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND
WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE
WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED
February 15, 2007. THE RECORD INFORMATION EDITED
ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BY ME OR
UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST
OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN
SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS:

landscaping is in progress and asphalt will be complete the afternoon of 07/31/07.

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



JOB NO.

DATE: 03 JANUARY 2006

REVISIONS

Sheet Title

Checked By T OIT

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Project Name

RANDOLPH BUILDING
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SHEET NO.