

CITY OF ALBUQUERQUE



December 31, 2015

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Hampton Inn at the Sunport
1300 Woodward SE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 10-11-13 (M15D043)
Certification dated: 12-21-15**

Dear Mr. Soule,

Based on the Certification received 12/24/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov

TE/SB

C: email, Cordova, Camille C.; Connor, Francis; Miranda, Rachel; Sandoval, Darlene M.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Hampton Inn at the Sunport
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: M15dD43
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 4A, Block 4B Sunport park
CITY ADDRESS: _____

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO Box 9394
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Aj Vijway
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Peter Butter fiedl
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Anthony Harris- Harris Survey
ADDRESS: _____
CITY, STATE: _____

CONTACT: Tony Harris
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12/21/2015 BY: David Soule

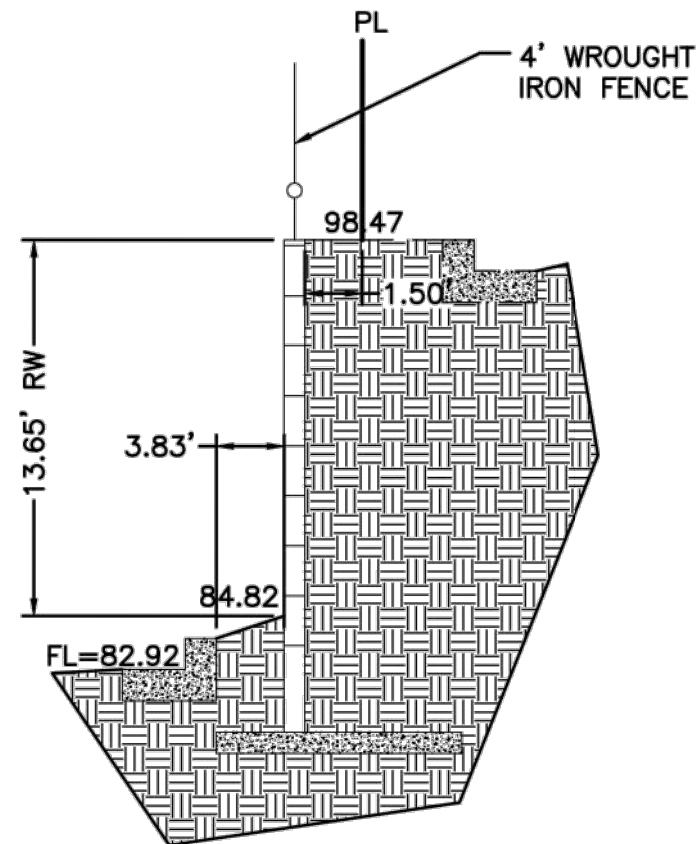
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

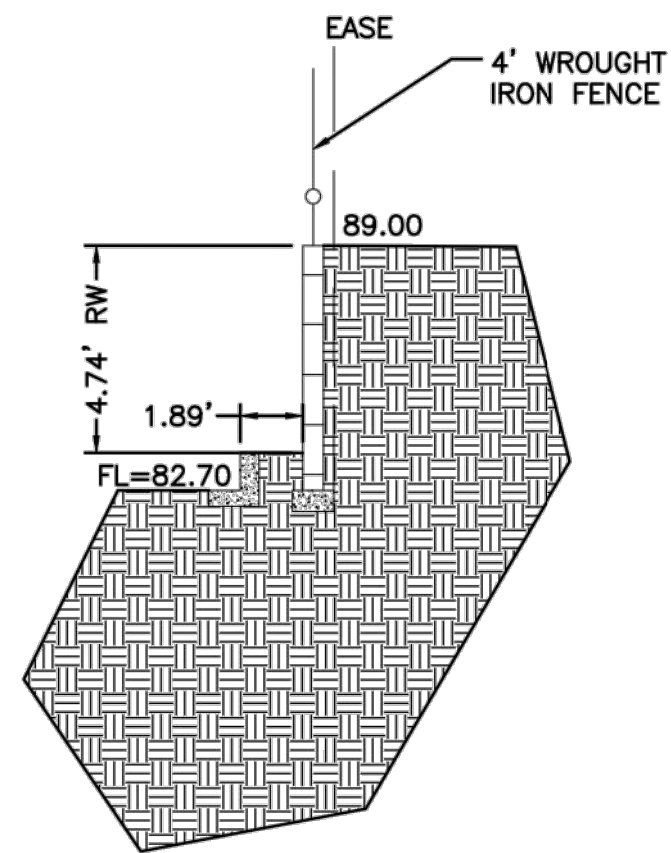
One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

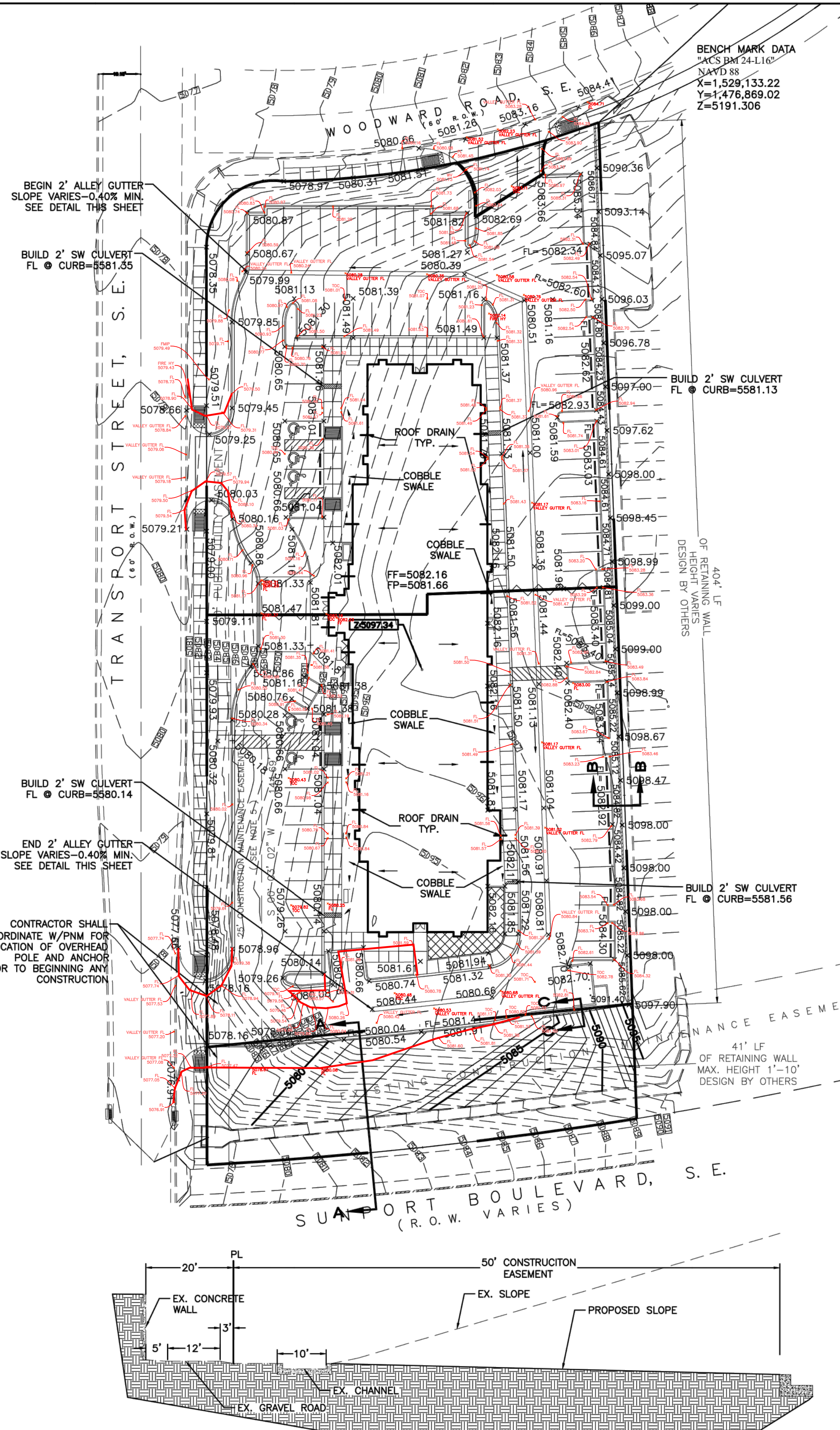
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



SECTION B-B
NTS



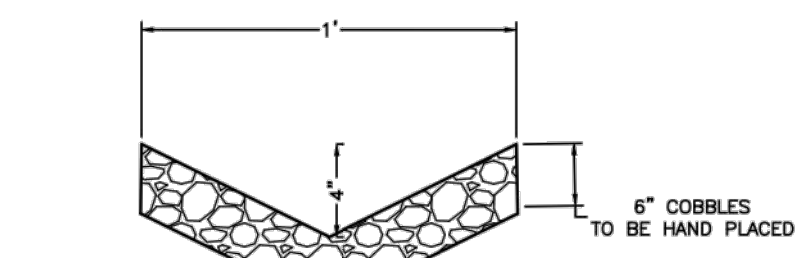
SECTION C-C
NTS



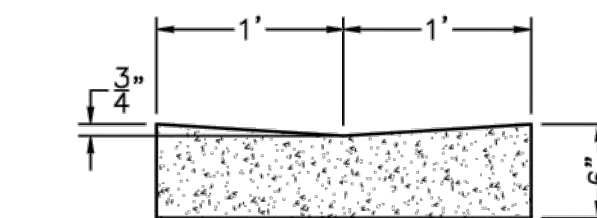
SECTION A-A
NTS

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



COBBLE SWALE DETAIL
NTS

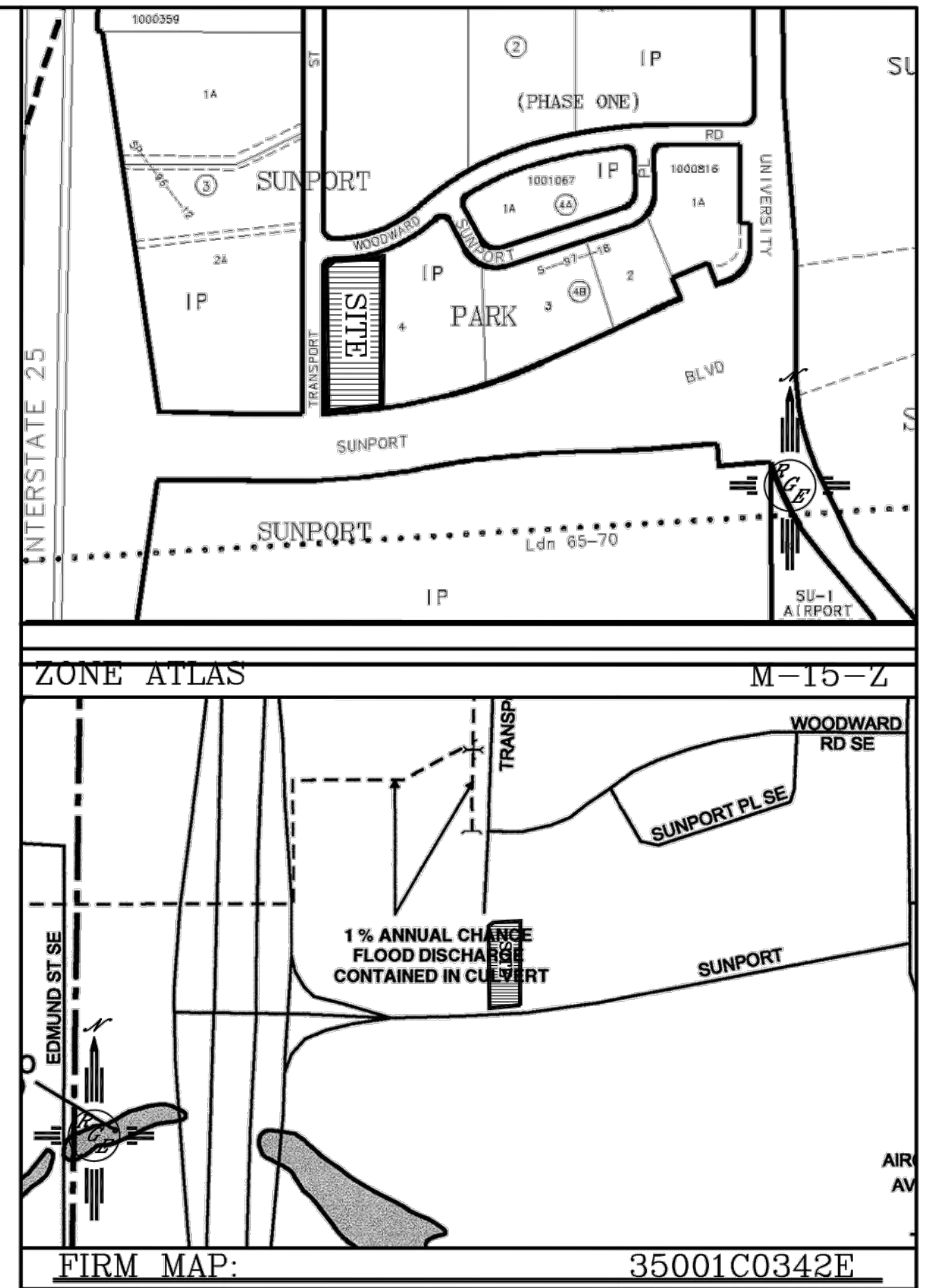


CONCRETE ALLEY GUTTER DETAIL
NTS

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 5/16/13. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose. THE SITE LAYOUT WAS MODIFIED VIA AN ADMINISTRATIVE AMMENDMENT THE CHANGES ARE SHOWN. THE CHANGES DO NOT AFFECT THE DRAINAGE. THE RETAINING WALL ON EAST SIDE OF BUILDING WAS CONSTRUCTED WITH NO INVOLVMENT BY RGE. THIS CERTIFICATION EXCLUDES ANY CONSTRUCTION ASPECTS OF THIS WALL EXCEPT FOR THE ASBUILT GRADES



12/21/15



LEGAL DESCRIPTION:
LOTS 4-A, BLOCK 4-B, SUNPORT PARK

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
x 4048.25	EXISTING SPOT ELEVATION
x 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	WATER BLOCK
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	HC RAMP 12:1 SLOPE MAX.
---	BASIN LINE
---	1' COBBLE LANDSCAPE SWALE (SEE DETAIL THIS SHEET)

ENGINEER'S SEAL DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	HAMPTON INN @ SUNPORT GRADING AND DRAINAGE PLAN <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DRAWN BY WCWJ DATE 10-04-13 21226-LAYOUT-7-05-12 SHEET # — JOB # 21226
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