

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Acting Director



Mayor Timothy M. Keller

July 2, 2019

Mark Goodwin, P.E.  
Mark Goodwin & Associates  
PO Box 90606  
Albuquerque, NM, 87199

**RE: Randolph Road Project**  
**Revised Grading and Drainage Plan**  
**Engineer's Stamp Date: 06/28/19**  
**Hydrology File: M15D046**

Dear Mr. Goodwin:

PO Box 1293

Based upon the information provided in your submittal received 07/01/2019, the Revised Grading and Drainage Plan is approved for Paving Permit and Grading Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Please provide a Drainage Covenant per Chapter 17 of the DPM for Stormwater Quality pond as soon as possible. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Randolph Road Project Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot D-3, Newport Industrial Park-West Unit 1 within Section 33 Township 10 North, Range 3 east, NMPM City of Albuquerque, Bernalillo County, New Mexico

City Address: Randolph Rd SE, Albuquerque, NM 87106

Applicant: CSRA Contact: Jeff Nielsen

Address: 649 E South Temple Street, Salt Lake City, UT 84102

Phone#: 801-355-5915 Fax#: \_\_\_\_\_ E-mail: jnielsen@crsa-us.com

Other Contact: Mark Goodwin & Associates, PA Contact: Cory Pierce

Address: PO BOX 90606, Albuquerque, NM 87199

Phone#: 828.2200 Fax#: \_\_\_\_\_ E-mail: cory@goodwinengineers.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? X Yes \_\_\_\_\_ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: July 1, 2019 By: Cory Pierce

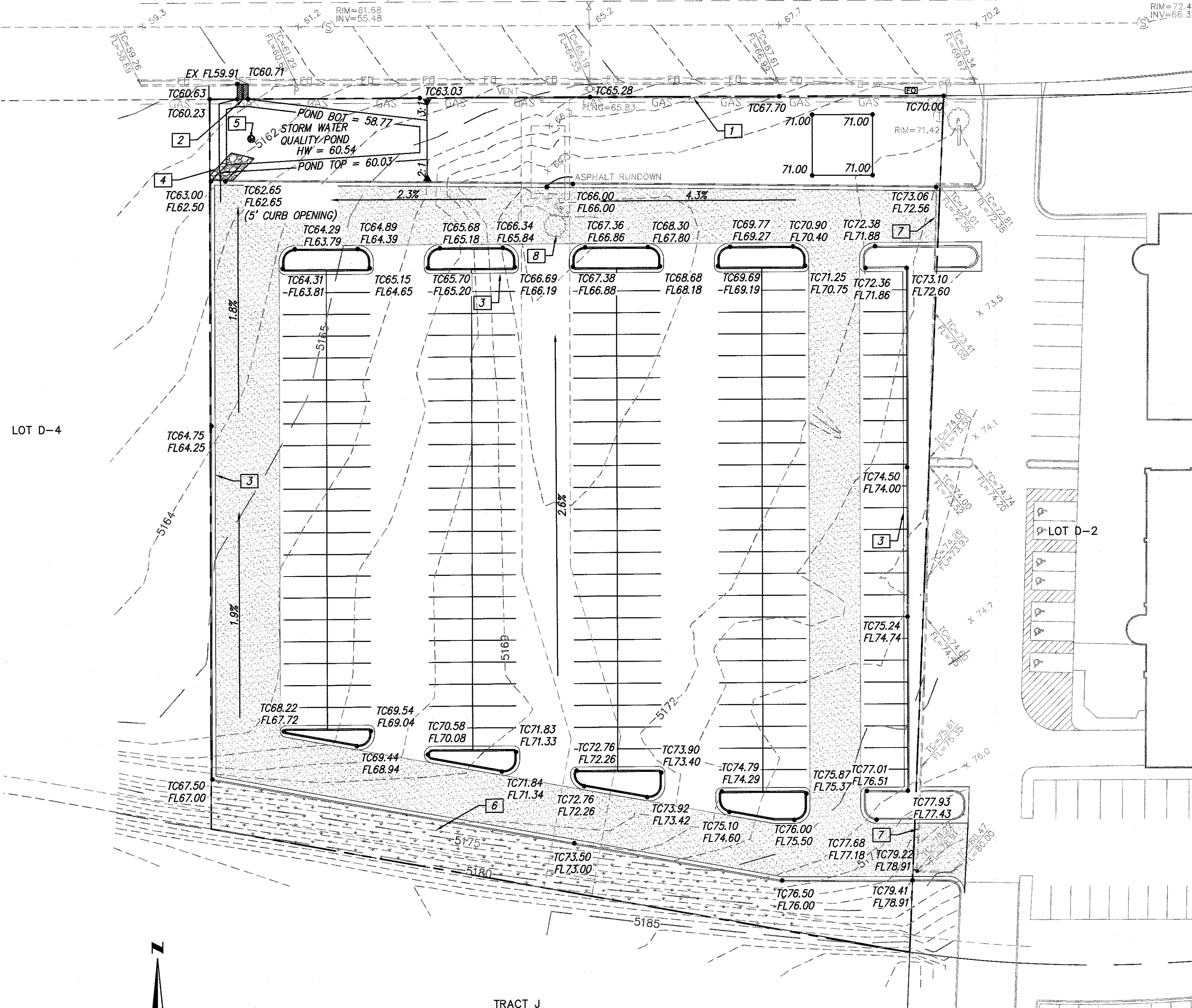
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

LOT 12-A-1

RANDOLPH ROAD SE





# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

June 12, 2019

Mark Goodwin, P.E.  
Mark Goodwin & Associates  
PO Box 90606  
Albuquerque, NM, 87199

**RE: Randolph Road Project  
Grading and Drainage Plan  
Engineer's Stamp Date: 05/28/19  
Hydrology File: M15D046**

Dear Mr. Goodwin:

PO Box 1293

Based upon the information provided in your submittal received 05/29/2019, the Grading and Drainage Plan is approved for Paving Permit and Grading Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Please provide a Drainage Covenant per Chapter 17 of the DPM for Stormwater Quality pond as soon as possible. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

*~ 2012 ACEC/NM Award Winner for Engineering Excellence ~  
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~  
~ 2017 ENR Landscape/Urban Development Award of Merit ~*

June 28, 2019

Renée C. Brissette, P.E. CFM  
City of Albuquerque  
600 2<sup>nd</sup> Street SW  
Albuquerque, NM 87102

**RE: Randolph Road Project  
Drainage Covenant  
Grading and Drainage Plan  
Hydrology File: M15D046**

Dear Ms. Brissette,

In compliance with the approval letter dated June 12, 2019, please find enclosed drainage covenant which we shall deliver to the 4<sup>th</sup> floor of Plaza del Sol along with the \$25 fee for filing.

Additionally, please find enclosed revised drainage plan, stamp date 6-28-2019. This plan includes additional construction details. The hydrology and drainage are not changed from the approved plan, stamp date 5/28/19.

Please let us know if you have any questions.

Thank you.

Sincerely,  
MARK GOODWIN & ASSOCIATES, PA

Cory D. Pierce, PE  
Staff Engineer

**PRIVATE FACILITY  
DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between Utah State University Research Foundation ("Owner"), whose address is 1695 North Research Park Way North Logan, UT 84341, and whose telephone number is (435) 713-3000 and the City of Albuquerque, New Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property located at [give legal description, and street address]

\* D-3 of summary plat replat of parcel D of the replat of Tr 4 Newport Industrial Park-West Unit1 cont 2.2318 ac

recorded on Aug 24, 1981, pages 168 through     , as Document No. C18 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:

Storm Water Quality Pond

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and made a part hereof.

3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

6. **Liability of City.** The Owner understands and agrees that the City shall not be liable



to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. **Indemnification.** The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. **Assessment.** Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. **Binding on Owner's Property.** The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. **Entire Covenant.** This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. **Changes to Covenant.** Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. **Effective Date of Covenant.** This Covenant shall be effective as of the date of signature of the Owner.

**OWNER:**

By [signature]: Lyndon B. Loosle  
Name [print]: Lyndon B. Loosle  
Title: CFO  
Dated: 06-26-2019

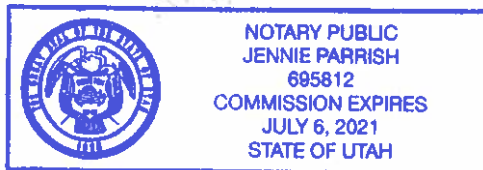
**CITY OF ALBUQUERQUE:**

By: \_\_\_\_\_  
Shahab Biazar, P.E., City engineer  
Dated: \_\_\_\_\_

**OWNER'S ACKNOWLEDGMENT**

Utah  
STATE OF ~~NEW MEXICO~~ )  
Cache )ss  
COUNTY OF ~~BERNALILLO~~ )

This instrument was acknowledged before me on this 26 day of June,  
2019, by Lyndon B. Loosle (name of person signing permit),  
CFO (title of person signing permit) of  
Utah State University Research Foundation (Owner).



Jennie Parrish  
Notary Public  
My Commission Expires: 07-06-2021

**CITY'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

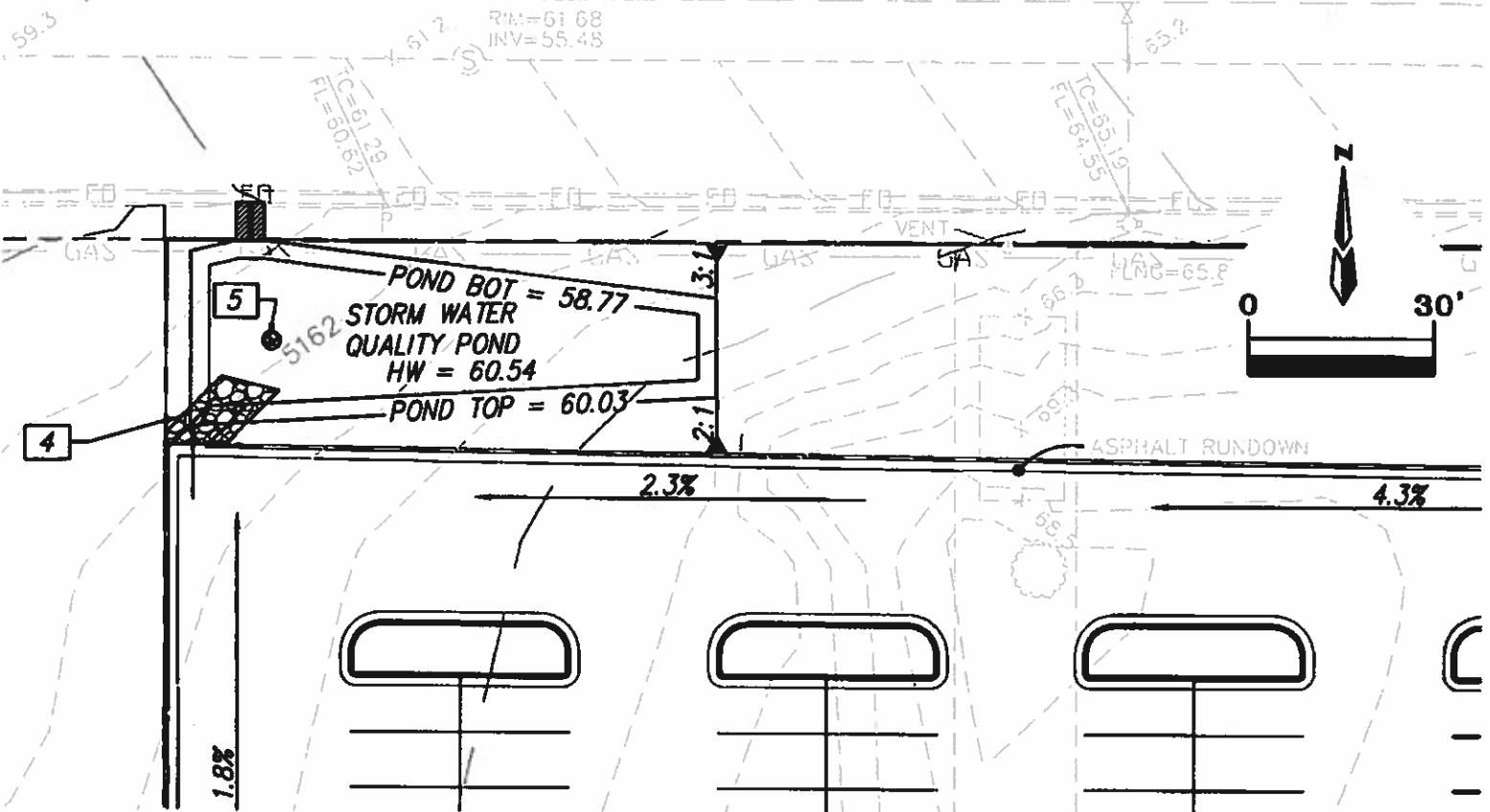
This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_  
\_\_\_\_\_, 20\_\_\_\_, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,  
a municipal corporation, on behalf of said corporation.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

**(EXHIBIT A ATTACHED)**



# RANDOLPH ROAD SE



## DRAINAGE NARRATIVE:

RECENT STORM WATER QUALITY REQUIREMENTS OF THE CITY OF ALBUQUERQUE RESULT IN THE CAPTURE OF 0.34 INCHES OF RAINFALL OVER IMPERVIOUS SURFACES. THE IMPERVIOUS SURFACES OF THIS SITE INCLUDE THE PARKING LOT AREA AS WELL AS THE FLAT AREA IN THE NORTH EAST QUADRANT (FUTURE) TOTALING 76992 SF.

THE PROPOSED DESIGN CAPTURES THE REQUIRED WATER VOLUME WITHIN THE STORM WATER QUALITY POND AT THE LOW ELEVATIONS OF THE SITE.

FRENCH DRAINS ARE FEATURES OF THE DESIGN TO HASTEN INFILTRATION WITHIN THE PONDS WHEN RUNOFF IS CAPTURED FROM STORM EVENTS.

THE 100 YR 6 HR DESIGN STORM WILL FILL AND OVERFLOW FROM THE STORM WATER QUALITY POND THRU TWO(2) 24" WIDE SIDEWALK CULVERTS INTO RANDOLPH ROAD. THE 100 YR, 6 HR DISCHARGE WAS EVALUATED BY UTILIZING AIMO S4. INPUT TO INCLUDE SURFACE TREATMENTS, AND RAINFALL FROM NOAA 14 MITIGATED BY THE STORM WATER QUALITY RETENTION (0.34"). THE 100 YR PEAK DISCHARGE WAS EVALUATED TO BE 7.41 CFS. A WIER ANALYSIS WAS PERFORMED TO EVALUATE THE TWO(2) 24" SIDEWALK CULVERTS TO PASS THE 7.41 CFS AT AN ESTIMATED DEPTH OF 0.51'.

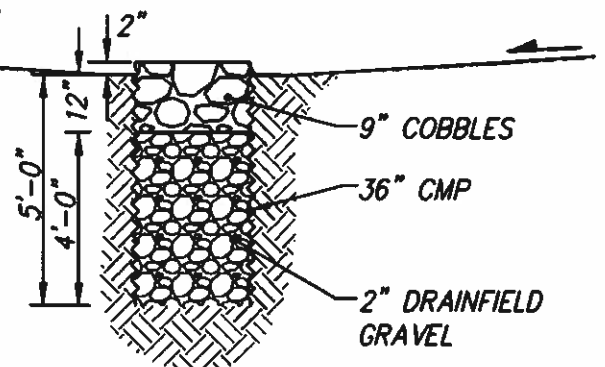
## STORM WATER QUALITY VOLUME:

Proposed Impervious Area (SF)	76992
Storm Water Quality retention depth (inches):	0.34
Required Storm Water Quality Volume (CF):	2181

## Proposed Storm Water Quality Retention Capacity:

Temporary Retention Pond	
Depth (FT):	1.26
Bottom (SF) (58.40)	1,425
Top (SF) (60.03)	2,043
Volume (CF)	2,185

- 4. 4" MINUS RIPRAP (13 SY).
- 5. FRENCH DRAIN, SEE DETAIL



FRENCH DRAIN DETAIL  
N.T.S

## LEGAL DESCRIPTION:

\*D-3 of summary plat replat of parcel D of the replat of Tr 4 Newport Industrial Park-West Unit1 cont 2.2318 ac  
SITE ADDRESS: RANDOLPH RD SE ALBUQUERQUE NM 87106  
CITY OF ALBUQUERQUE HURDLOGY FILE: M150046