

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 1, 2021

Phillip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**RE: Home 2 Suites Hotel  
3021 University Blvd SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 10/27/21  
Hydrology File: M15D047**

Dear Mr. Clark:

PO Box 1293

Based upon the information provided in your submittal received 10/28/2021, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and Foundation Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide Drainage Covenant for the stormwater quality pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at [mgvelasquez@cabq.gov](mailto:mgvelasquez@cabq.gov). Once the electronic file is approved for completeness, please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Marion on the 4th floor of Plaza de Sol.

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** HOME 2 SUITES HOTEL **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** M-15/D047  
**DRB#:** TBD **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 3-A-2-A  
**City Address:** 3021 Flightway Ave SE

**Applicant:** CLARK CONSULTING ENGINEERS **Contact:** PHIL  
**Address:** \_\_\_\_\_

**Phone#:** 281-2444 **Fax#:** xxxx cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

**Other Contact:** Nimesh (Nick) Patel **Contact:** (512)619-6467

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☒ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/28/21 **By:** PWC

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

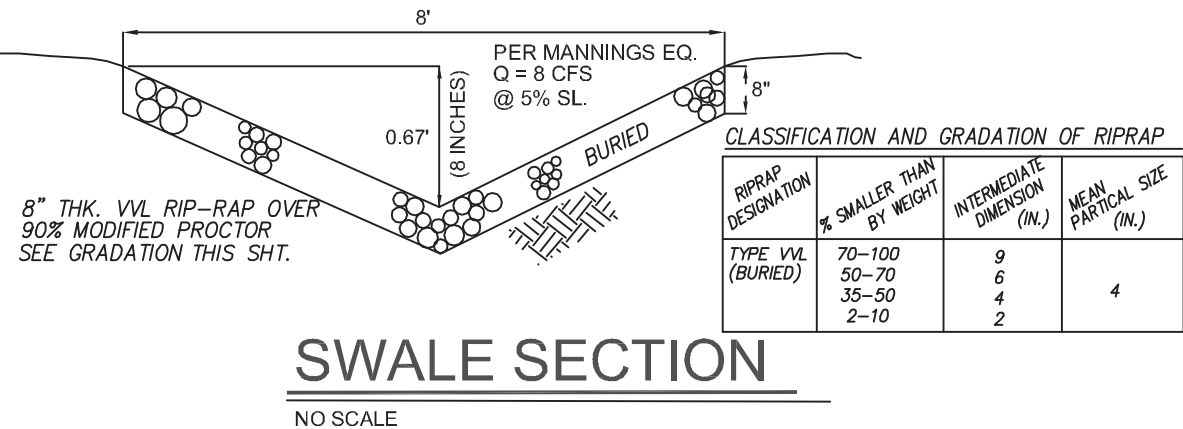
FEE PAID: \_\_\_\_\_





## FIRM MAP

PANEL 35001C0342 H



## SWALE SECTION

## CALCULATIONS

### DESIGN CRITERIA

NOTE: THIS SITE IS PART OF THE SUNPORT PHASE 1 MASTER DRAINAGE PLAN BY ANDREWS, ASBURY & ROBERT, INC DATED 1996 AND HAS FREE DISCHARGE INTO FLIGHTWAY AVE.  
HYDROLOGIC METHODS PER CHAPTER 6, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) 2020 EDITION FOR CITY OF ALBUQUERQUE.  
DISCHARGE RATE:  $Q = Q_{PEAK} \times AREA$ , "Peak Discharge Rates For Small Watersheds"  
VOLUMETRIC DISCHARGE:  $VOLUME = E \times WEIGHTED \times AREA$   
 $P100-6 Hr = 2.29$  In., Zone 2,  $TC = 12$  Min.  
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

### EXISTING CONDITIONS

TOTAL AREA = 1.88 ACRES, WHERE EXCESS PRECIP. (AVG.) = 0.71 In. [0.23]  
PEAK DISCHARGE,  $Q_{100} = 4.5$  CFS [1.8], WHERE UNIT PEAK DISCHARGE  $B' = 2.4$  CFS/AC. [0.95]  
THEREFORE:  $VOLUME_{100} = 4645$  CF [1570]

### DEVELOPED CONDITIONS - HOTEL

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED	---	Ac.	A
LANDSCAPING / Harvesting	0.1 Ac.(6%)	B	2.36[0.95]
GRAVEL & COMPACTED SOIL	0.2 Ac.(11%)	C	3.05[1.59]
ROOF - PAVEMENT	1.5 Ac.(83%)	D	4.34[2.71]
	1.80 Ac.		2.33[1.51]

THEREFORE:  $E_{Weighted} = 2.0$  In. &  
 $Q_{100} = 7.3$  CFS

VOLUME 100 = 13068 CF±

### WATER QUALITY STORM EVENT

FIRST FLUSH - TOTAL SITE, 0.42"/12 X 1.5 X43560  
= 2287 CF

WEIR CALC.

$Q = CLH^{3/2}$  WHERE:  $C = 2.7$   
THEN:  $L = 8'$   $H = 6"$   $Q = 7.3$  CFS  
or Provide 4 SF NOTCH EQUIVALENT

### RECOMMENDATION:

1. ROUTE BASIN THRU DEPRESSED LANDSCAPE AREAS.
2. SEE NOTE 4.

## PROJECT DATA Cont.

### FIRE 1 - ALBUQ. FIRE RESCUE NOTES

- BUILDING HEIGHT, 58 FEET
- OCCUPANCY TYPE, 'R'
- ACCESS GRADE FOR APPARATUS <10%
- STANDPIPE SYSTEM SHALL BE INSTALLED WITH THE BUILDING WHERE THE FLOOR LEVEL OF HIGHEST STORY IS >30' ABOVE THE VEH. ACCESS LEVEL
- PREMISE ID: ADDRESS TO BE PROVIDED PER FD ORD 505.1
- THE SPRINKLER & STANDPIPE CONNECTION SHALL BE A COMBINATION



## GRADING & DRAINAGE PLAN

THE BUSINESS PARK ZONED PROJECT IS LOCATED IN THE DEVELOPED SUNPORT PARK SUBDIVISION (AIRPORT AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE FLOOD HAZARD ORDINANCE, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING & SUBSEQUENT BUILDING PERMIT. THE PLAN SHOWS:

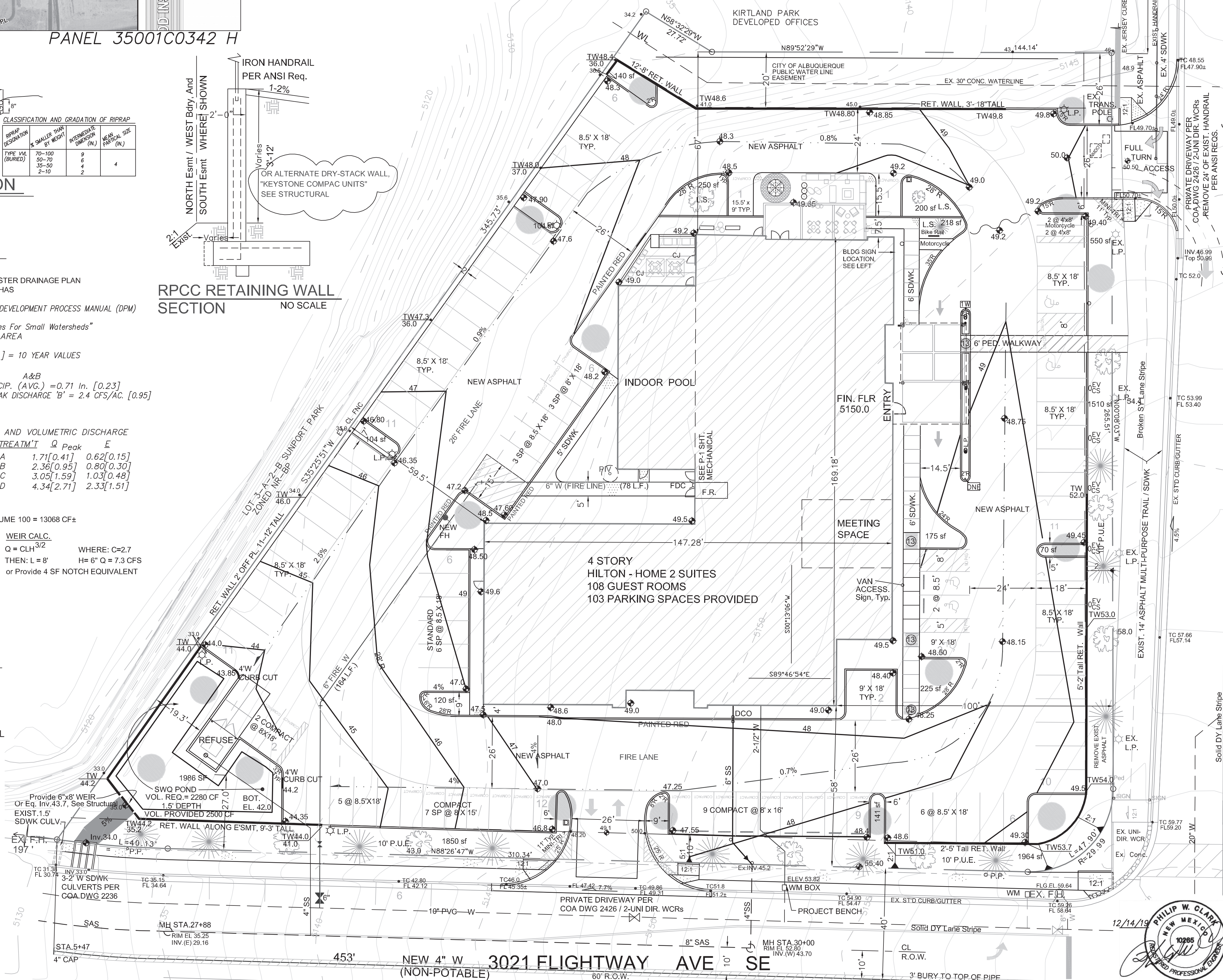
1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING SURFACE UTILITIES/EASEMENTS.
2. PROPOSED IMPROVEMENTS: 85% IMPERVIOUS HOTEL SITE DEVELOPMENT, NEW GRADE ELEVATIONS, RETAINING WALLS, 2- DRIVE ENTRANCES, AND EROSION CONTROL.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON ALL SIDES BY DEVELOPED PROPERTY. FLIGHTWAY AVENUE ON THE SOUTH IS AN IMPROVED ASPHALT MAJOR ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7% TO THE WEST.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS WITHIN THE OVERALL MASTERPLAN FOR THE SUNPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE WEST PROPERTY BOUNDARY. THE OVERALL BASIN SHALL DRAIN TO THE SW TO THE EXPANDED SIDEWALK CULVERT(S) LOCATED AT THE SW CORNER, WITH THE ROUTING OF SITE RUNOFF THRU DEPRESSED LANDSCAPING AREAS.

Scale: 1" = 20'



## NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION, AND ALL NPDES, MS-4 PROCEDURES AND BMP (BEST MGMT PRACTICE) GUIDELINES ARE FOLLOWED. SEE REQUIRED SWPP PLAN.
5. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012. NATIVE SEED MIX USING HAY MULCH, FOR EAST SIDE APPLICATION, HATCHITA BLUE GRAMA DOMINANT MIX PER PARAGRAPH 4.1.2.
6. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION:  
2 HORIZONTAL TO 1 VERTICAL, 2:1 SLOPES < 4' TALL
7. ALL EARTHWORK PREPARATION AND SUBGRADE PREPARATION FOR BUILDING PAD AND PAVEMENT AREAS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE GEO-TECH REPORT.  
PAVEMENT SECTION SHALL CONSIST OF 6" RPCC (REINFORCED PORTLAND CEMENT CONCRETE) OVER 8" SUBGRADE PREPARATION, 95% Modified Proctor. OR, 4" ASPHALT OVER 6" AGGREGATE BASE COURSE, NMDOT SPEC. SEE / REF: 250105.E IN SPECS. FOR PAVING UPGRADE @ PORT COSHORE.

## LEGEND

EXIST. SPOT ELEVATION	• 24.0
EXIST. CONTOUR	— 5110
NEW SPOT ELEVATION	◆ 12.0 (ADD 5100 FOR MSL)
NEW CONTOUR	— 12
NEW SWALE	—
DRAINAGE DIRECTION, EXISTING	→
NEW P.C.C., CONCRETE	▨
FLOWLINE	FL
WATER BLOCK	—
RIPRAP STONE	—
TYP. VVL, 4" Avg. Dia.	—
UNLESS NOTED OTHERWISE	8" BURY LINO

## PROJECT DATA

ZONED NR-BP GSF 67,500 BLDG FOOTPRINT 18,214, F.A.R.=0.22  
TYPE V-A CONSTRUCTION - SPRINKLERED  
FIRE FLOW REQUIRED 2375 GPM, 225' F.H. TO FARTHEST POINT

### LEGAL DESCRIPTION

LOT 3-A-2-A, SUNPORT PARK  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### PROJECT BENCHMARK - On Flightway, SEE PLAN

TOP OF IRON WATER METER COVER (NE CORNER) MSL ELEVATION = 5153.82, AS TIED FROM ACS, I-25-30, NAVD 88, 5041.30 FEET.

### TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY ADVANTAGE SURVEYING, LLC, DATED APRIL 2019, AND SUPPLEMENTED SEPTEMBER, 2019 BY CCE.

Clark Consulting Engineers		Edgewood, New Mexico 87015	
Tel: (505) 281-2444		Cell/Txt: (505) 264-6042	
DATE	REVISION	LOT 3-A-2-A, BLOCK 1, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
10/26/21	MOVING RET WALL AND SPOTS Rev PKG + CALCS	ABQ AIRPORT LODGING, LLC	
3/23/20	REV FIRE LINE	Grading & Drainage	
10/10/19	SWAPPED ENTRANCE/ CANOPY & PATIO	Plan / with SAS/H20 & Fire 1	
DESIGNED BY: PWC		DRAWN BY: CCE	
CHECKED BY: PWC		JOB #: PATEL-H2SH	
		FILE #: G/D	
		C 102	