

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 11, 2025

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

RE: 3021 University Blvd. SE
Permanent C.O. – Accepted
Engineer's Certification Date: 7/1/2025
Engineer's Stamp Date: 2/11/25
Hydrology File: M15D047
Case # HYDR-2025-00244

Dear Mr. Clark:

PO Box 1293

Based on the Certification received 07/09/2025 and the site visit on 07/01/2025, this letter serves an approval of the certification in support of a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

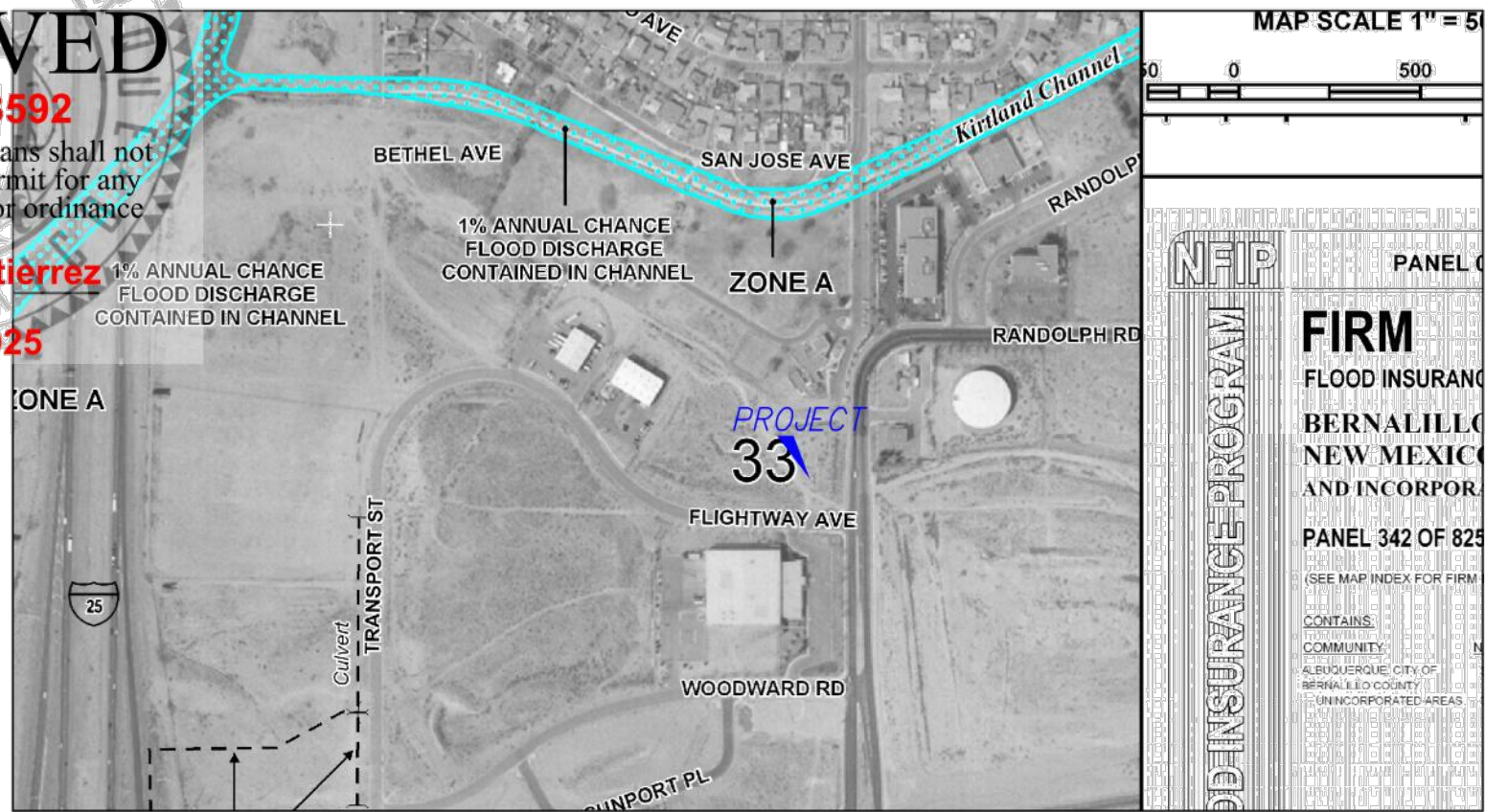
NM 87103

Sincerely,

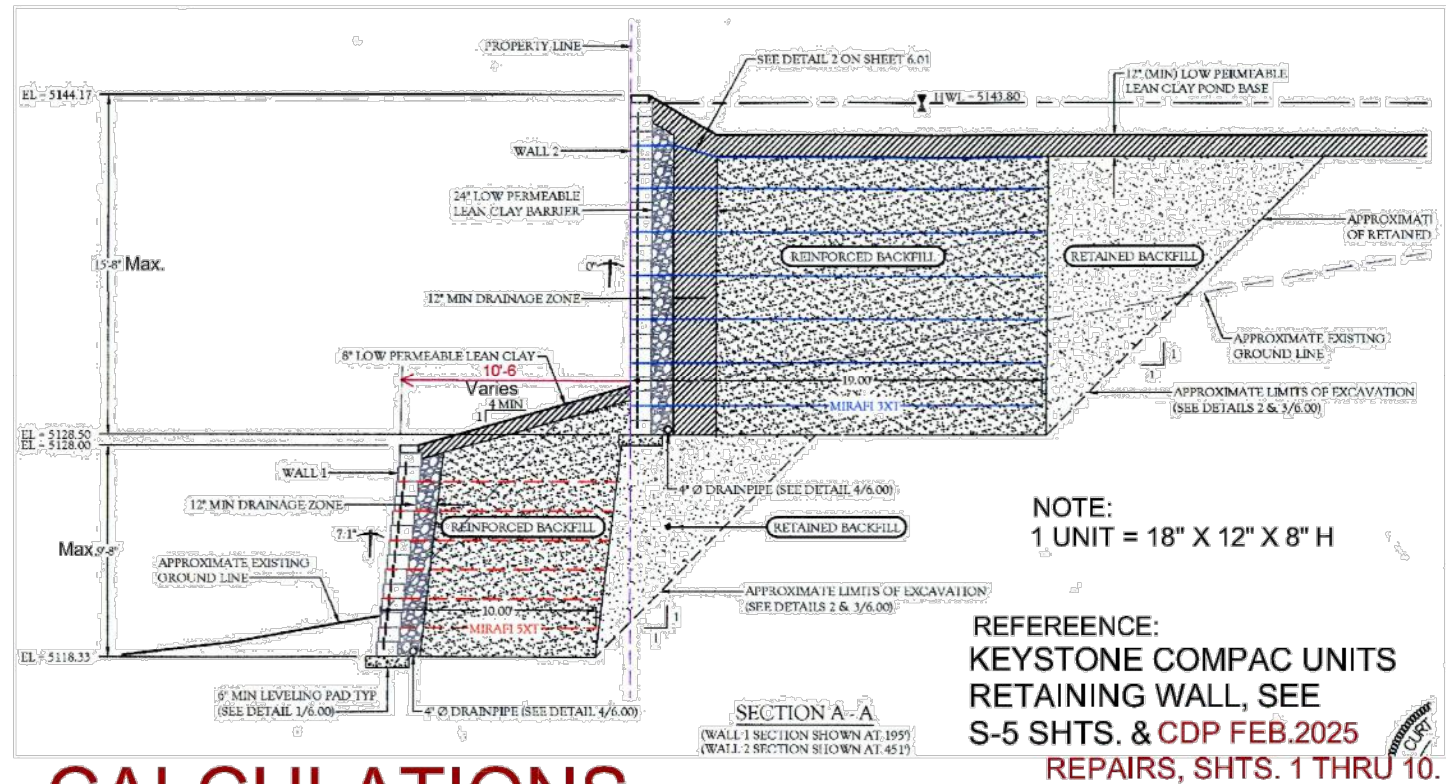
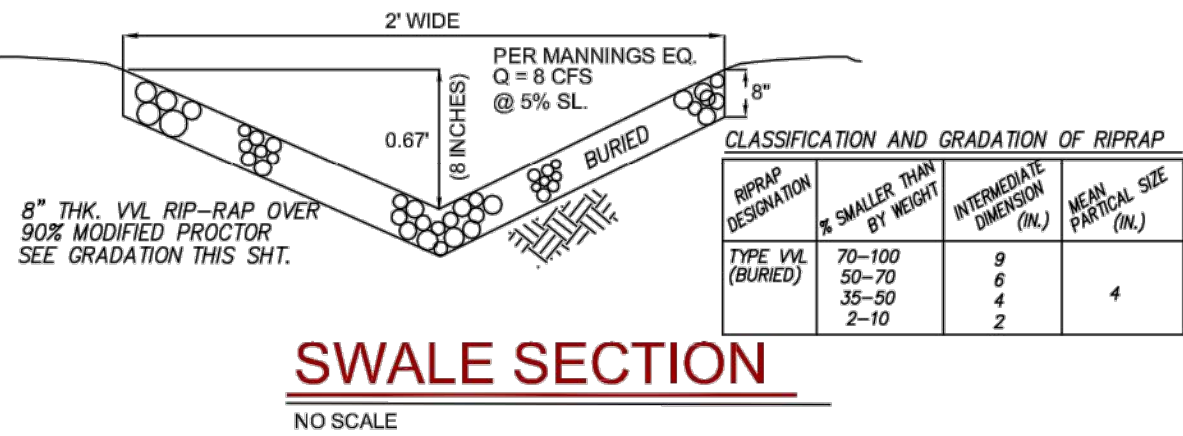
www.cabq.gov

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

CITY OF ALBUQUERQUE
PLANNING
These plans have been reviewed
for code compliance and are:
APPROVED
GP-2024-43592
The approval of these plans shall not
be construed to be a permit for any
violations of any code or ordinance of
this city.
Anthony R. Gutiérrez
April 18, 2025



FIRM MAP PANEL 35001C0342 H



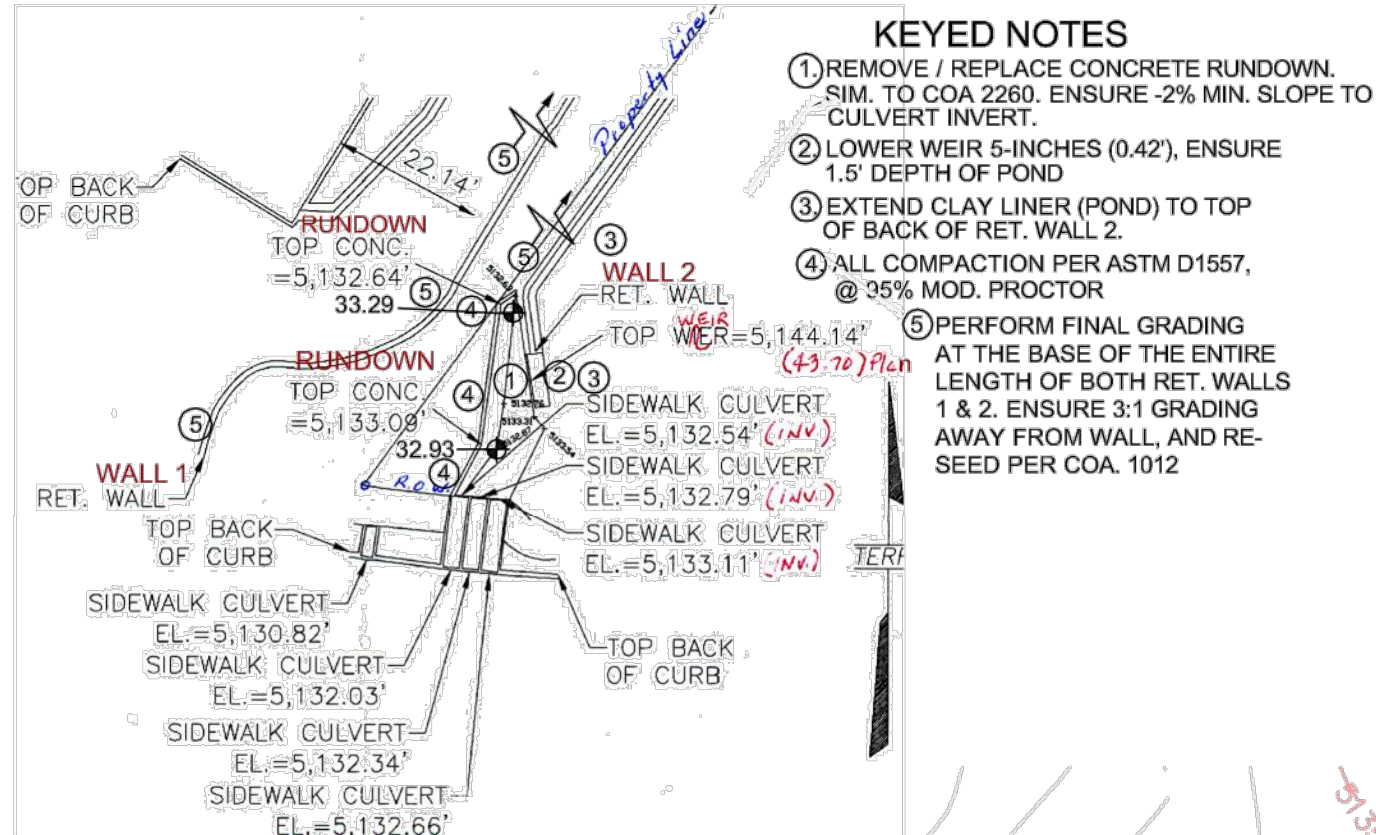
CALCULATIONS

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 4/18/2025
REV: 1
HydroTrans #: M150047

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION OR DATA PROVIDED, NOR DOES IT REPRESENT A GUARANTEE OF THE RESULTS OF THE CONSTRUCTION OR OPERATION OF THE PROJECT. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION AND DATA FOR THE PROJECT.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

APPROVED
Bridgette Medina
March 18, 2025

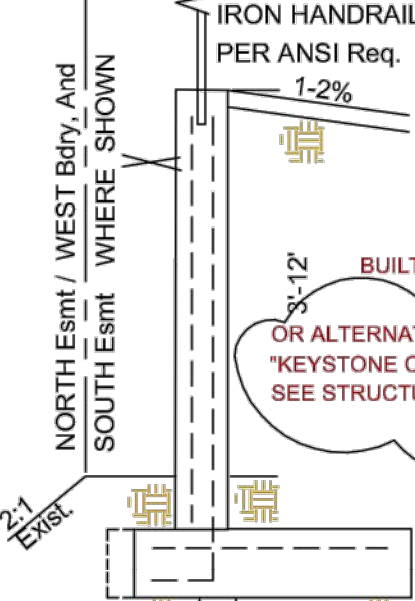
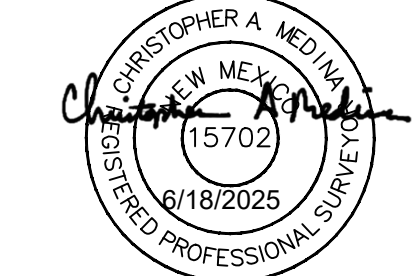


WEIR / OUTFALL DETAIL

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN ON SHEETS 9 AND SHEET 12, AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS AS-BUILT SURVEY WAS PERFORMED IN THE MONTH OF OCTOBER 2023; AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT IT MEETS ALL REQUIREMENTS LISTED UNDER THE STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR SURVEYING.

Christopher A. Medina
N.M.P.L.S. NO. 15702
JUNE 18, 2025
DATE



RPCC RETAINING WALL SECTION

NO SCALE

NOTE: 1 UNIT = 18" X 12" X 8" H

REFERENCE: KEYSTONE COMPACT UNITS RETAINING WALL, SEE S-5 SHTS. & CDP FEB.2025 REPAIRS, SHTS. 1 THRU 10.

GRADING & DRAINAGE PLAN

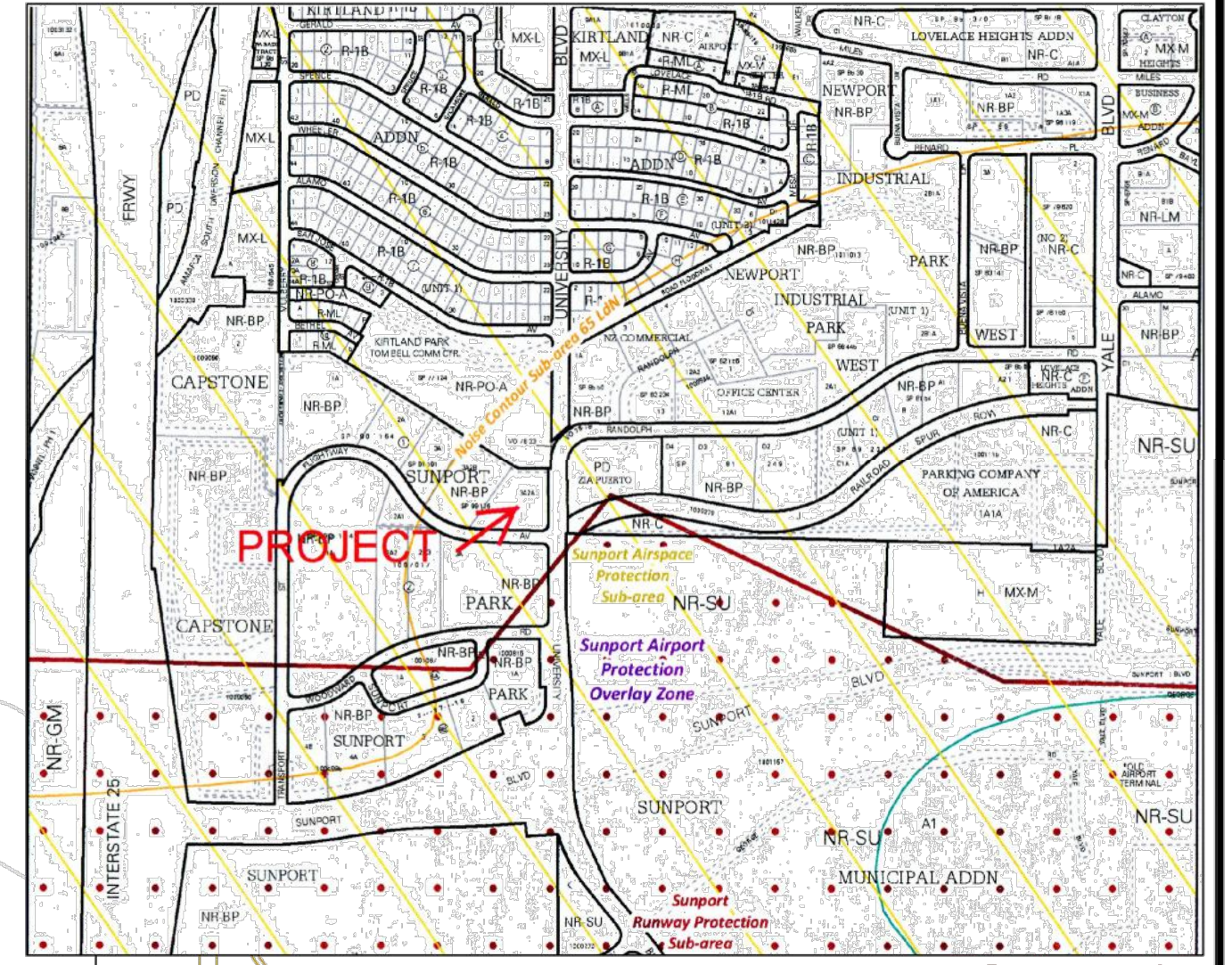
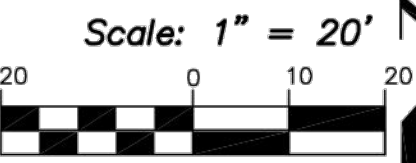
THE BUSINESS PARK ZONED PROJECT IS LOCATED IN THE DEVELOPED SUNPORT PARK SUBDIVISION (AIRPORT AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE FLOOD HAZARD ORDINANCE, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING & SUBSEQUENT BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING SURFACE UTILITIES/EASEMENTS.
2. PROPOSED IMPROVEMENTS: 85% IMPERVIOUS HOTEL SITE DEVELOPMENT, NEW GRADE ELEVATIONS, RETAINING WALLS, 2- DRIVE ENTRANCES, AND EROSION CONTROL.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON ALL SIDES BY DEVELOPED PROPERTY. FLIGHTWAY AVENUE ON THE SOUTH IS AN IMPROVED MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7% TO THE WEST.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS WITHIN THE OVERALL MASTERPLAN FOR THE SUNPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE WEST PROPERTY BOUNDARY. THE OVERALL BASIN SHALL DRAIN TO THE SW TO THE EXPANDED SIDEWALK CULVERTS LOCATED AT THE SW CORNER, WITH THE ROUTING OF SITE RUNOFF THRU DEPRESSED LANDSCAPING AREAS.



ZONE M-15

VICINITY MAP

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
 2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION, AND ALL NPDES, MS-4 PROCEDURES AND BMP (BEST MGMT PRACTICE) GUIDELINES ARE FOLLOWED. SEE REQUIRED SWPP PLAN.
 5. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX USING HAY MULCH, FOR EAST SIDE APPLICATION, HATCHITA BLUE GRAMA DOMINANT MIX PER PARAGRAPH 4.1.2.
 6. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1 SLOPES < 4' TALL
 7. ALL EARTHWORK PREPARATION AND SUBGRADE PREPARATION FOR BUILDING PAD AND PAVEMENT AREAS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE GEO-TECH REPORT.
- PAVEMENT SECTION SHALL CONSIST OF 6" RPCC (REINFORCED PORTLAND CEMENT CONCRETE) OVER 8" SUBGRADE PREPARATION, 95% Modified Proctor. OR, 4" ASPHALT OVER 6" AGGREGATE BASE COURSE, NMDOT SPEC. SEE / REF: 250105.E IN SPECS. FOR PAVING UPDATE @ PORT COSHERE.

LEGEND

- AS-BUILT ELEV. ARE BOXED 7/1/25.
- EXIST. SPOT ELEVATION: 24.0
- EXIST. CONTOUR: 5110
- NEW SPOT ELEVATION: 12.0 (ADD 5100 FOR MSL)
- NEW CONTOUR: 12
- NEW SWALE: 12
- DRAINAGE DIRECTION, EXISTING: 12
- NEW P.C.C., CONCRETE: 12
- FLOWLINE: FL
- WATER BLOCK: 12
- RIPRAP STONE: 12
- TYP. V.L., 4" Avg. Dia. 12
- UNLESS NOTED OTHERWISE 8" BURY LINO 12

PROJECT DATA

ZONED NR-BP GSF 67,500 BLDG FOOTPRINT 18,214, F.A.R.=0.22 TYPE V-A CONSTRUCTION - SPRINKLERED

LEGAL DESCRIPTION

LOT 3-A-2-A, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK - On Flightway, SEE PLAN

TOP OF IRON WATER METER COVER (NE CORNER) MSL ELEVATION = 5153.82, AS TIED FROM ACS, I-25/NO, NAVD 88, 5041.30 FEET.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY ADVANTAGE SURVEYING, LLC, DATED APRIL 2019, AND SUPPLEMENTED SEPTEMBER, 2019 BY CCE.

AS-BUILT GRADES PROVIDED BY ANDREW MEDINA, P.S., SEPTEMBER 2023. & DEC. 2024

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|----------------------------|---|---|-------|
| Clark Consulting Engineers | | Edgewood, New Mexico 87015 | |
| Tel: (505) 281-2444 | | Cell/Txt: (505) 264-6042 | |
| DATE | REVISION | LOT 3-A-2-A, BLOCK 1, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO | |
| 2/11/25 | Remove/Replace Rundown, Retain Wall 1/2, Add Riprap Lower Wall (Comp) Ret., CDP Repairs | ABQ AIRPORT LODGING, LLC | |
| | | Grading & Drainage Plan | |
| DESIGNED BY: PWC | DRAWN BY: CCE | JOB #: PATEL_H2SH | C 102 |
| CHECKED BY: PWC | DATE: 9/12/19 | FILE #: G/D | |