

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 8, 2023

Phillip Clark
Clark Consulting Engineers
Edgewood, NM 87015

Re: Home 2 Suites Hotel
3021 Flightway Ave SE
Request for Certificate of Occupancy- 30 Day Temp
Transportation Development Final Inspection
Engineer's Stamp dated 10-26-21 (M15D047)
Certification dated 12-5-23

Dear Mr. Clark;

Based upon the information provided in your submittal received 12-5-23, Transportation Development has no objection to a 30-Day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-Day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to issuance of a Permanent Certificate of Occupancy, the following items are to be addressed:

1. The 6' pedestrian pathway to University Blvd is not wide enough. At three locations between the parking lot and the ramp, it was $\leq 46"$ wide between curbs and one location it was 41".
2. Provide five bicycle parking spaces. Currently, there is one wave-style rack, which offers the possibility of providing two bicycle spaces.
3. The approved plan specifies 5 motorcycle parking spaces; however, the IDO only requires 4. Only two were observed on the east side of the building. Provide 4 motorcycle parking spaces.
4. The ramp north of the accessible parking aisle had an average longitudinal slope of 11.6%; which is steeper than the maximum of 8.3%. The ramp should be replaced with a ramp with an acceptable longitudinal slope.
5. A "No Parking" pavement marking is required at the back end of the accessible parking aisles. See image on next page.

PO Box 1293

Albuquerque

NM 87103

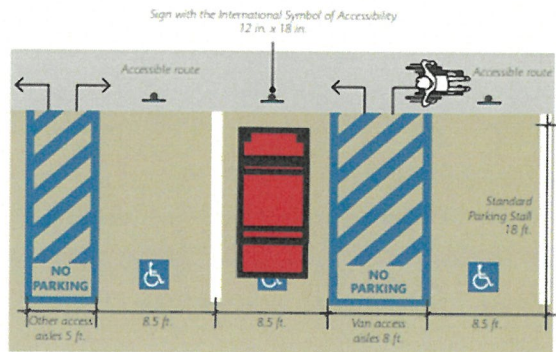
www.cabq.gov

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FIGURE 7.4.117 ADA Accessible Parking Stall and Access Aisle Dimensions



6. The Accessible Parking signs do not include the required language: "Violators are subject to a fine and/or Towing."

PO Box 1293

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Albuquerque

Cont. a Chem

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: HOME 2 SUITES HOTEL Building Permit #: _____ Hydrology File #: M-15/D047

DRB#: TBD **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT 3-A-2-A

City Address: 3021 Flightway Ave SE

Applicant: CLARK CONSULTING ENGINEERS **Contact:** PHIL

Address: _____

Phone#: 281-2444 **Fax#:** xxx cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

Other Contact: Ritesh (Rick) Patel **Contact:** (505)870-6491

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☒ ENGINEER/ _____ CERTIFICATION

_____ PAD CERTIFICATION

_____ CONCEPTUAL G & D PLAN

_____ GRADING PLAN

_____ DRAINAGE REPORT

_____ DRAINAGE MASTER PLAN

_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

_____ ELEVATION CERTIFICATE

_____ CLOMR/LOMR

_____ TRAFFIC CIRCULATION LAYOUT (TCL)

_____ TRAFFIC IMPACT STUDY (TIS)

_____ STREET LIGHT LAYOUT

☒ OTHER (SPECIFY) **SITE PLAN**

_____ PRE-DESIGN MEETING?

_____ PRELIMINARY PLAT APPROVAL

_____ SITE PLAN FOR SUB'D APPROVAL

_____ SITE PLAN FOR BLDG. PERMIT APPROVAL

_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE

_____ FOUNDATION PERMIT APPROVAL

_____ GRADING PERMIT APPROVAL

_____ SO-19 APPROVAL

_____ PAVING PERMIT APPROVAL

_____ GRADING/ PAD CERTIFICATION

_____ WORK ORDER APPROVAL

_____ CLOMR/LOMR

_____ FLOODPLAIN DEVELOPMENT PERMIT

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DATE SUBMITTED: 12/4/23

By: PWC

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

TRAFFIC CERTIFICATION

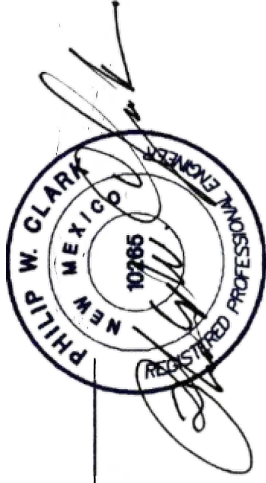
I, Philip W Clark, NMPE 10265, OF THE FIRM Clark Consulting Engineers, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 2/12/20. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL REV.10.26.21. DESIGN DOCUMENT HAS BEEN OBTAINED BY Chris Medina, PS OF THE FIRM Terra Land Surveys. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOV. 24, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer

12/5/23

Date





CITY OF ALBUQUERQUE

November 2, 2023

CERTIFICATE OF COMPLETION AND ACCEPTANCE

ABQ Airport Lodging, LLC
3501 Olympus Blvd, #340
Dallas, TX 75019

RE: Home 2 Suites – ABQ Airport Lodging
City Project Number: **795682**

Dear Mr. Patel:

This is to certify that the City of Albuquerque accepts the construction of the infrastructure provided in the Work Order Construction Plans, City Project No. **795682**. The work was completed pursuant to the required infrastructure listed in the Infrastructure Improvements Agreement (IIA) Procedure B, between **ABQ Airport Lodging, LLC** and the City of Albuquerque executed on **September 12, 2022**.

Please note that the title “Subdivision Improvements Agreement” and the word “Subdivider” which may have been used in the original agreements are respectively replaced with the title “Infrastructure Improvements Agreement” and the word “Developer”. These changes have no substantive effect on this Certificate of Completion and Acceptance.

Having satisfied the requirements referenced above, the IIA and any associated Financial Guaranty, held by the City, can now be released. Any performance/ warranty bond and the indemnity and hold harmless provisions of the IIA in favor of the City shall remain in effect. The contractor’s warranty period will begin **November 2, 2023** and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3999.

Sincerely,

DocuSigned by:

Shahab Biazar

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Shahab Biazar, P.E., City Engineer
Development Review Services
Planning Department
City of Albuquerque

11/8/2023 | 1:40 PM MST

DS
KV

DS
BMR

cc **ABQ Airport Lodging, LLC (e-mail)**

David Harrison, DMD Street and Storm Drain Maintenance (email)

Schondel, Anthony D, DMD Street Maintenance (e-mail)

Stephen Woodall, DMD Street Maintenance (e-mail)

Daniel Tapia, DMD Storm Drain Maintenance (email)

Tim Brown, DMD Traffic Operations (e-mail)

David G. Gutierrez, ABCWUA Utility Development (e-mail)

David Jaramillo, Maps & Records (e-mail)

Jorge Gonzalez, DMD IT (e-mail)

Marshall Grebe, ABCWUA GIS Coordinator (e-mail)

Shahab Biazar (e-mail)

Jeremy Shell (e-mail)

Maps@abcwua.org

City Project Number: **795682**