

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 15, 2021

Phillip W. Clark, PE
Clark Consulting Engineers
19 Ryan Rd
Edgewood, NM 87015

**RE: Home 2 Suites Hotel
3021 University Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 03/23/20
Hydrology File: M15D047**

Dear Mr. Clark:

PO Box 1293

Based upon the information provided in your submittal received 10/07/2021, the Grading & Drainage Plan **is not** approved for Building Permit, Grading Permit, and Foundation Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

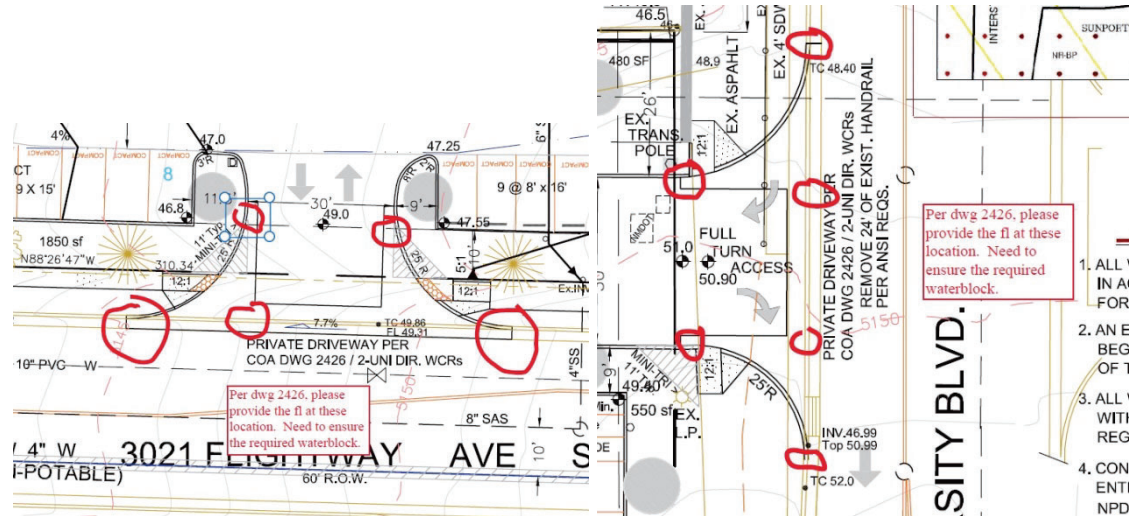
1. Under the Existing Conditions, please make reference that this site is part of the Sunport Phase 1 Master Drainage Plan by Andrews, Asbury & Robert, Inc dated 1996 and has free discharge into Flightway Ave.
2. Please remove the section Historical Conditions.
3. Please update the reference to the new Development Process Manual (DPM) (signed 06/08/20) Chapter 6 is Hydrology.
4. Please update all calculations per Article 6.2 of the DPM. The runoff numbers will be less than the old DPM.
5. Please update stormwater quality calculations per Article 6.12 of the DPM. The required volume will be greater than the old DPM. If the volume cannot be achieved, then a payment-in-lieu for the difference can be done at \$8/CF. If this is the route, then just add a line under the calculations stating, "The Owner has elected to handle the difference of xx CF with payment-in-lieu of the amount \$xxx".
6. Please add these flowline points at each driveway to ensure that the required waterblock per CoA drawing 2426 is provided. See images below.

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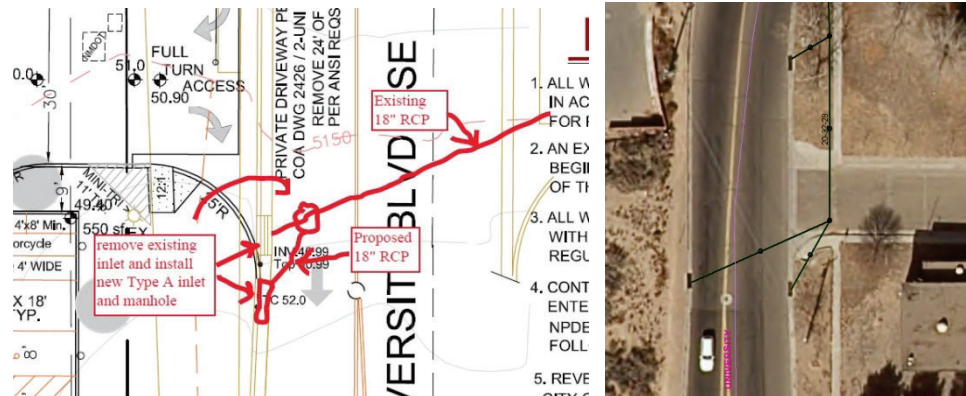
7. Please remove the existing inlet in the proposed drive on University Blvd and install a new inlet at the tangent of the curb return. Storm Maintenance does allow a bend in the storm pipe if it is within 5 feet of the proposed inlet. This may be the case. However if this cannot be achieved, than a new manhole will have to be installed on the existing 18" RCP as shown below. I have also attached some existing utilities within University Blvd that I could locate for your use. These may need to be shown. This inlet and maybe manhole will need to be added to the approved Infrastructure List. So this will have to be changed at the Development Review Board (DRB).

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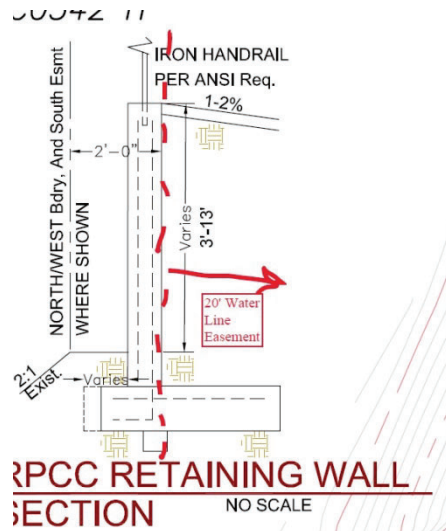


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9. Standard review fee of \$150 will be required at the time of resubmittal.

PO Box 1293

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

A handwritten signature in purple ink that reads "Renée C. Brissette".

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: HOME 2 SUITES HOTEL **Building Permit #:** _____ **Hydrology File #:** M-15/D047
DRB#: TBD **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 3-A-2-A
City Address: 3021 Flightway Ave SE

Applicant: CLARK CONSULTING ENGINEERS **Contact:** PHIL
Address: _____
Phone#: 281-2444 **Fax#:** ~~xxxx~~ cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

Other Contact: Nimesh (Nick) Patel **Contact:** (512)619-6467
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☒ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
☒ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

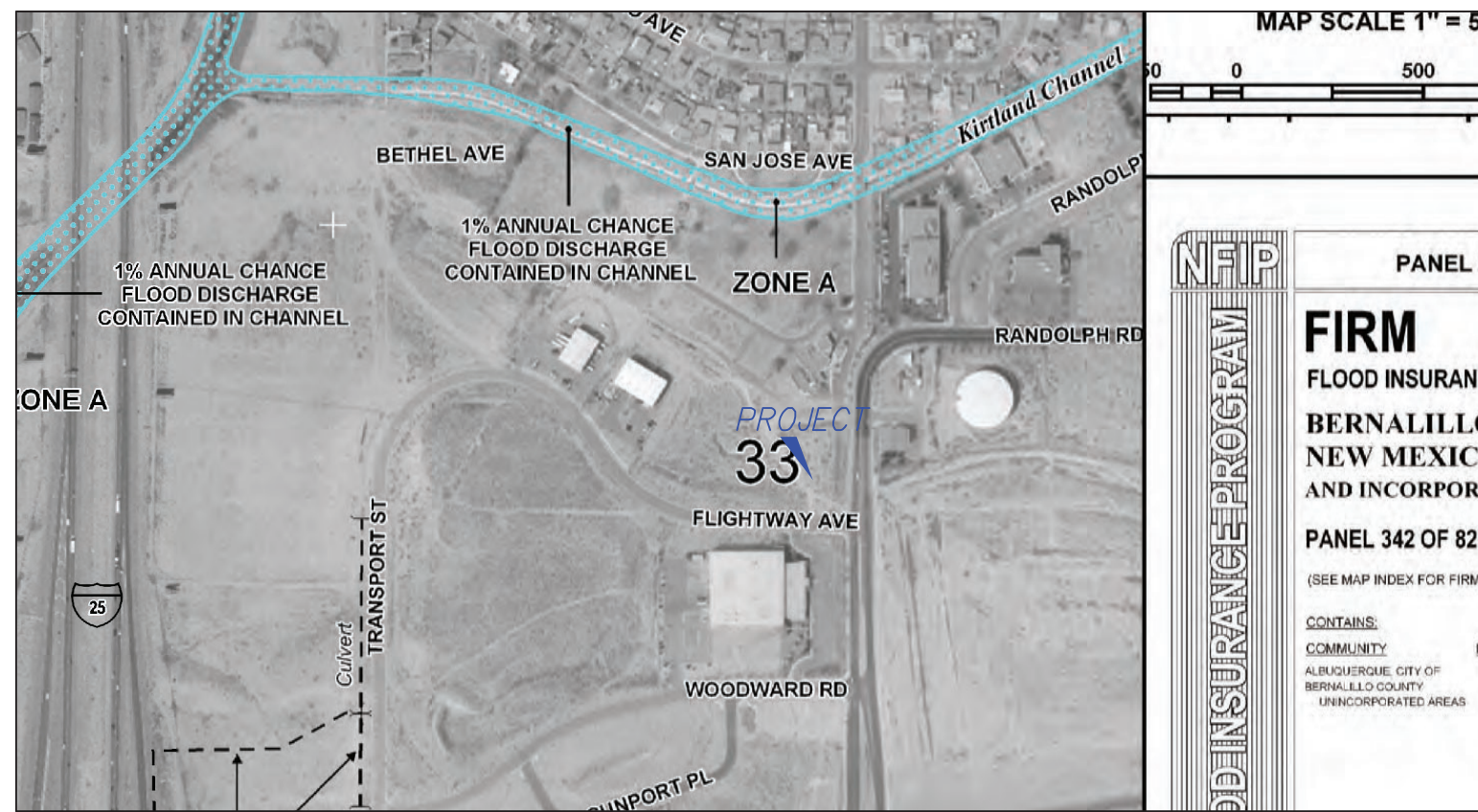
DATE SUBMITTED: 10/7/21 **By:** PWC

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

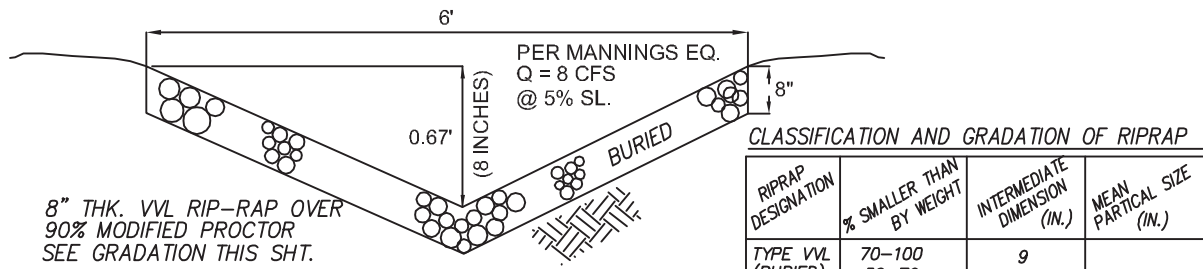
FEE PAID: _____

GRADING & DRAINAGE PLAN



FIRM MAP

PANEL 35001C0342 H



SWALE SECTION

NO SCALE

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{Weighted} \times AREA$
 $P100 = 2.35$ inches, Zone 2 Time of Concentration, $TC = 10$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

HISTORIC CONDITIONS

TOTAL AREA = 1.88 ACRES, WHERE EXCESS PRECIP. (AVG.) = 0.78 In. [0.28]
PEAK DISCHARGE, $Q100 = 4.29$ CFS [1.8], WHERE UNIT PEAK DISCHARGE "B" = 2.28CFS/AC. [0.95]
THEREFORE: $VOLUME 100 = 5323$ CF [1911]

DEVELOPED CONDITIONS - HOTEL

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED	---	Ac.	A	1.56[0.38]
LANDSCAPING / Harvesting	0.2	Ac.(10%)	B	2.28[0.95]
GRAVEL & COMPACTED SOIL	0.1	Ac.(5%)	C	3.14[1.71]
ROOF - PAVEMENT	1.6	Ac.(85%)	D	4.70[3.14]
	1.88	Ac.		2.12[1.34]

THEREFORE: $E_{Weighted} = 1.93$ In. &
 $Q100 = 8.29$ CFS

VOLUME 100 = 13171 CF±

WATER QUALITY STORM EVENT, DPM CH.22, TABLE 2, PART A.

WEIR CALC.

$Q = CLH^{3/2}$

WHERE: C=2.7

FIRST FLUSH - TOTAL SITE, 0.34"/12 X 1.6 X43560

THEN: L = 6'

H= 8" Q = 8 CFS

RECOMMENDATION:

- ROUTE BASIN THRU DEPRESSED LANDSCAPE AREAS.
- SEE NOTE 4.

PROJECT DATA Cont.

LANDSCAPING REQUIREMENTS

TOTAL SITE AREA 1.88 AC.
LESS BLDG FOOTPRINT, 18214 SF
X 15% = 9552 SF; TOTAL SHOWN >10313 SF

- 25% SHRUBS & GRASSES
- < 10% GRASSES @ 4:1 MX.
- STREET TREES PER COA APPROVED LIST
- 2" CALIPER/OR 6" EVERGREEN @ 25' O.C.

PARKING SPACE REQUIREMENTS

108 ROOM HOTEL
102 SPACES PROVIDED

PARKING SPACES REQUIRED, 102 SPACES
NOTE: 5% DEVIATION APPLIED

ADA ACCESSIBLE PROVIDED, 4 SPACES
MOTORCYCLE SP, 3
BICYCLE, 2

FIRE 1 - ALBUQ. FIRE RESCUE NOTES

- BUILDING HEIGHT, 58 FEET
- OCCUPANCY TYPE, 'R'
- ACCESS GRADE FOR APPARATUS <10%
- STANDPIPE SYSTEM SHALL BE INSTALLED WITHIN THE BUILDING WHERE THE FLOOR LEVEL OF HIGHEST STORY IS >30' ABOVE THE VEH. ACCESS LEVEL
- PREMISE ID: ADDRESS TO BE PROVIDED PER FD ORD 505.1
- THE SPRINKLER & STANDPIPE CONNECTION SHALL BE A COMBINATION

THE BUSINESS PARK ZONED PROJECT IS LOCATED IN THE DEVELOPED SUNPORT PARK SUBDIVISION (AIRPORT AREA) APPROX. 2 MILES SOUTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE FLOOD HAZARD ORDINANCE, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR EXCAVATION AND GRADING & SUBSEQUENT BUILDING PERMIT. THE PLAN SHOWS:

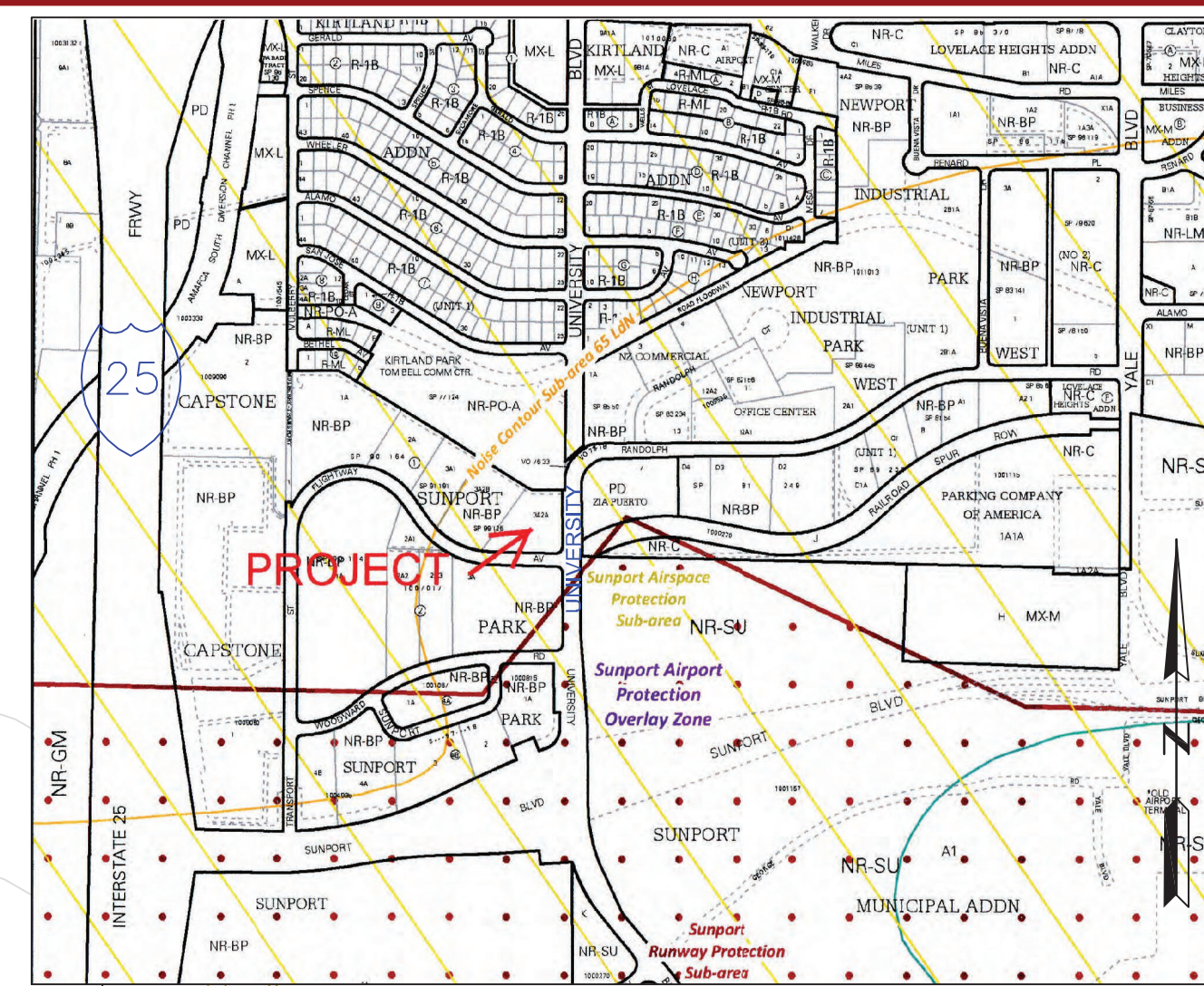
- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING SURFACE UTILITIES/EASEMENTS.
- PROPOSED IMPROVEMENTS: 85% IMPERVIOUS HOTEL SITE DEVELOPMENT, NEW GRADE ELEVATIONS, RETAINING WALLS, 2- DRIVE ENTRANCES, AND EROSION CONTROL.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ANALYSIS OF UPSTREAM OFF-SITE FLOWS (IF APPLICABLE) PLUS THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS, INCLUDING PONDING REQUIREMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON ALL SIDES BY DEVELOPED PROPERTY. FLIGHTWAY AVENUE ON THE SOUTH IS AN IMPROVED ASPHALT MAJOR LOCAL ROADWAY MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DRAINS AT APPROXIMATELY 7% TO THE WEST.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE DOWNSTREAM CAPACITY EXISTS WITHIN THE OVERALL MASTERPLAN FOR THE SUNPORT PARK REGIONAL AREA. RUNOFF WILL NOT BE ALLOWED TO CONCENTRATE AT THE WEST PROPERTY BOUNDARY. THE OVERALL BASIN SHALL DRAIN TO THE SW TO THE EXPANDED SIDEWALK CULVERT(S) LOCATED AT THE SW CORNER, WITH THE ROUTING OF SITE RUNOFF THRU DEPRESSED LANDSCAPING AREAS.

Scale: 1" = 20'



ZONE M-15

VICINITY MAP

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION W/ 9 UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION, AND ALL NPDES, MS-4 PROCEDURES AND BMP (BEST MGMT PRACTICE) GUIDELINES ARE FOLLOWED. SEE REQUIRED SWPP PLAN.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX USING HAY MULCH, FOR EAST SIDE APPLICATION, HATCHITA BLUE GRAMA DOMINANT MIX PER PARAGRAPH 4.1.2.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1, SLOPES < 4' TALL
- ALL EARTHWORK PREPARATION AND SUBGRADE PREPARATION FOR BUILDING PAD AND PAVEMENT AREAS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE GEO-TECH REPORT.
PAVEMENT SECTION SHALL CONSIST OF 6" RPCC (REINFORCED PORTLAND CEMENT CONCRETE) OVER 8" SUBGRADE PREPARATION, 95% Modified Proctor. OR, 4" ASPHALT OVER 6" AGGREGATE BASE COURSE, NMDOT SPEC. SEE / REF: 250105.E IN SPECS. FOR PAVING UPGRADE @ PORT COSHERE.

LEGEND

EXIST. SPOT ELEVATION	• 24.0
EXIST. CONTOUR	5110
NEW SPOT ELEVATION	◆ 12.0 (ADD 5100 FOR MSL)
NEW CONTOUR	12
NEW SWALE	—
DRAINAGE DIRECTION, EXISTING	→
NEW P.C.C., CONCRETE	▨
FLOWLINE	FL
WATER BLOCK	—
RIPRAP STONE	—
TYP. VLL, 4" Avg. Dia.	8" BURY UNO

PROJECT DATA

ZONED NR-BP - GSF 67,500 BLDG FOOTPRINT 18,214, F.A.R.=0.22
TYPE V-A CONSTRUCTION - SPRINKLERED
FIRE FLOW REQUIRED 2375 GPM, 225' F.H. TO FARTHEST POINT

LEGAL DESCRIPTION

LOT 3-A-2-A, SUNPORT PARK
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

TOP OF IRON WATER METER COVER (NE CORNER) MSL ELEVATION = 5153.82, AS TIED FROM ACS, I-25-30, NAVD 88, 5041.30 FEET.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY ADVANTAGE SURVEYING, LLC, DATED APRIL 2019, AND SUPPLEMENTED SEPTEMBER, 2019 BY CCE.

Clark Consulting Engineers
Edgewood, New Mexico 87015

Tele: (505) 281-2444	Cell/Txt: (505) 264-6042
DATE	REVISION
3/23/20	REV FIRE LINE
10/10/19	ADDED 4" NON-POTA.
	SWAPPED
	ENTRANCE/CANOPY
	& PATIO
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 9/12/19
JOB #: PATEL-H2SH	FILE #: G/D
C 102	