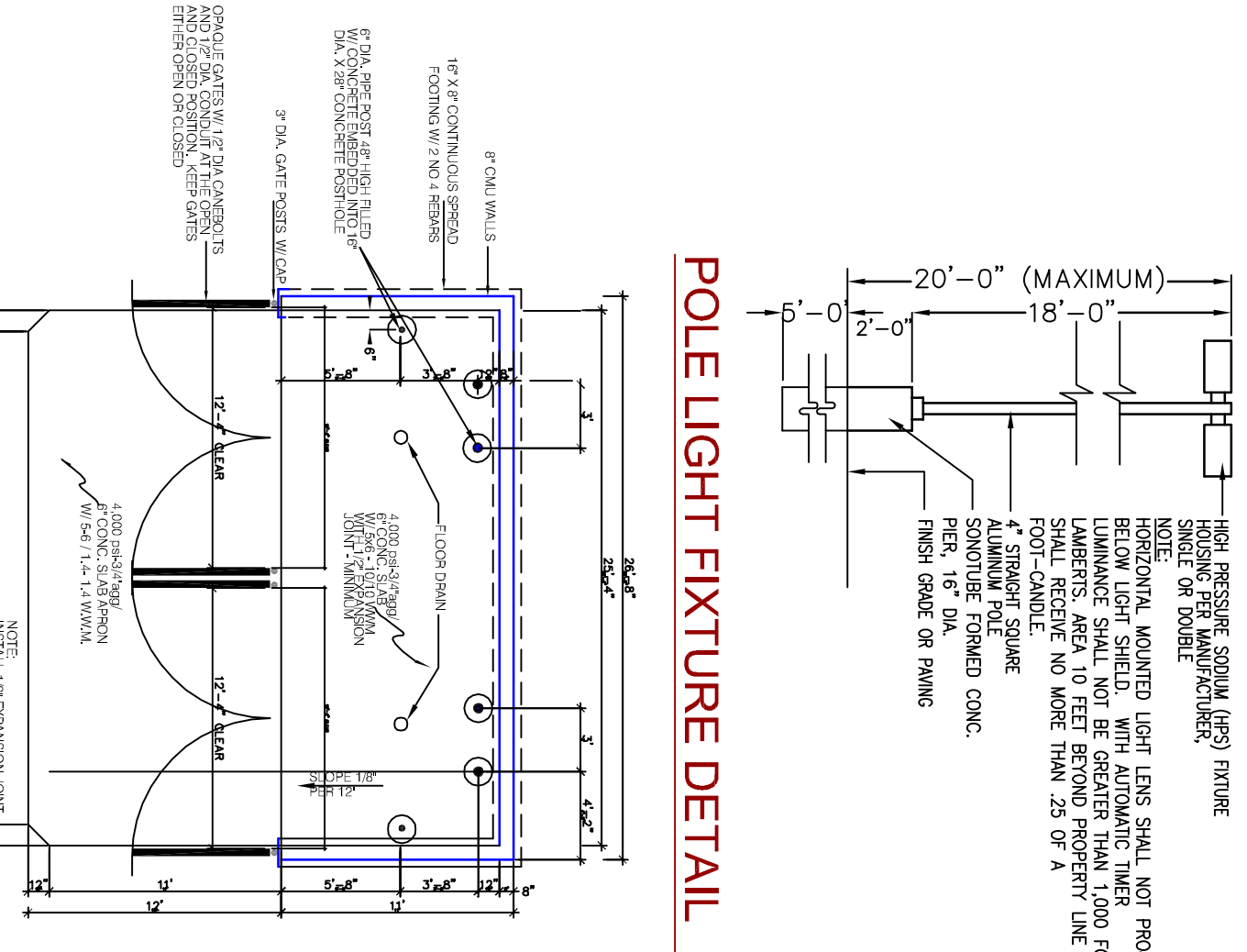


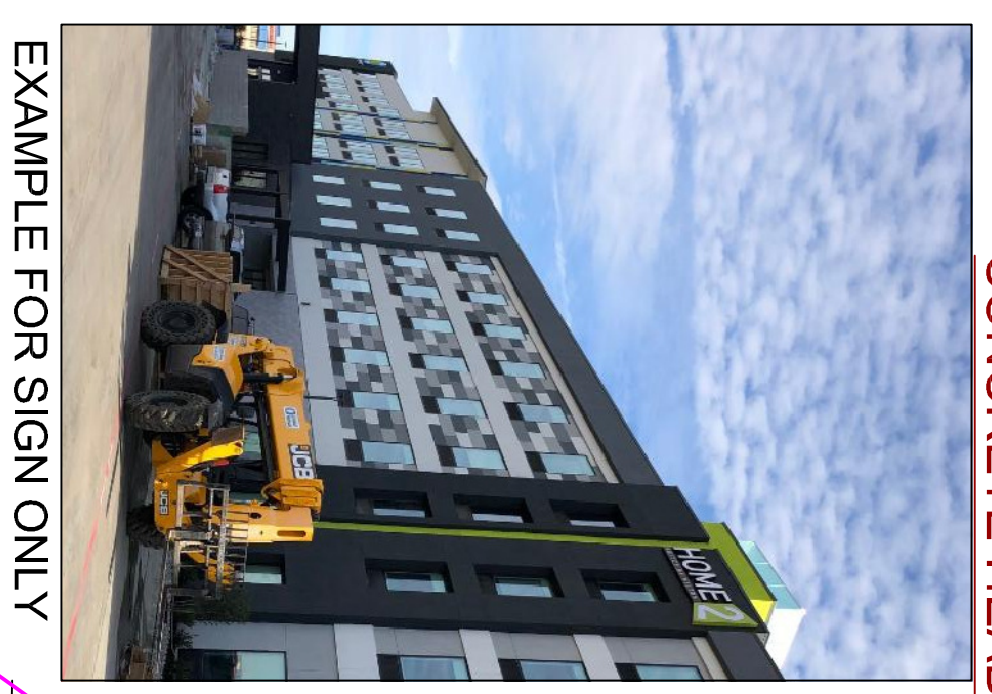
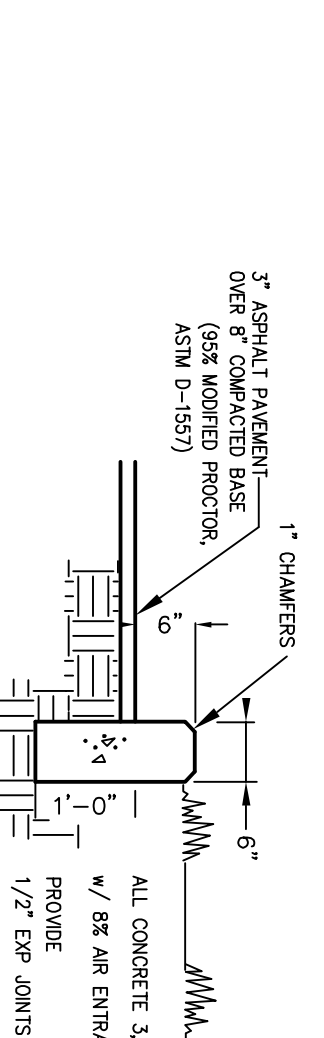
NOTES

1. THERE ARE NO EXISTING BUILDINGS ON-SITE. ALL BUILDINGS ARE PROPOSED.
2. REVISIONS OF THE CONCEPT DEVELOPMENT PLAN OF APRIL 14, 2019 ARE SHOWN IN THIS SITE PLAN FOR SUBMISSION DESIGN STANDARDS.
3. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED AND BUILDING ENVELOPE WALLS, ROOF AND WINDOWS SHALL BE DESIGNED AND MANUFACTURED TO PROMOTE THE EFFICIENT USE OF ENERGY.
4. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE WALLS, ROOF AND WINDOWS SHALL BE DESIGNED AND MANUFACTURED TO PROMOTE THE EFFICIENT USE OF ENERGY.
5. SIGNAGE SHALL BE DESIGNED AND MANUFACTURED TO PROMOTE THE EFFICIENT USE OF ENERGY.
6. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY POOLS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT POOL AND 56 FEET OF CLEARANCE ON THE REAR AND SIDE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR.
7. FINAL COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY AGREEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO FURNISH NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTIONS, RAMP, AND LINDING REQUIRED TRANSCOVERED DOMES, SERVICE CUTS, AND CURBS AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS SIDEWALK (2420), RAMP (2440), AND CURB CUTOFF (2426), CURB AND GUTTER (2415A).
8. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE (UNO).
9. THIS SITE IS WITHIN THE AIRPORT OVERLAY ZONE. THEREFORE, PROVIDED DURING CONSTRUCTION, INCLUDING PROVISION OF AIRPORT HAZARD INSURANCE.
11. LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. 3-38 PERCH ABOVE GROUND SHALL BE PROVIDED DURING CONSTRUCTION.
12. THIS PLAN COMPLES WITH CRIMESCREENING RECOMMENDATIONS AS OUTLINED IN APD INTEROFFICE MEMO DATED 12/17/20.

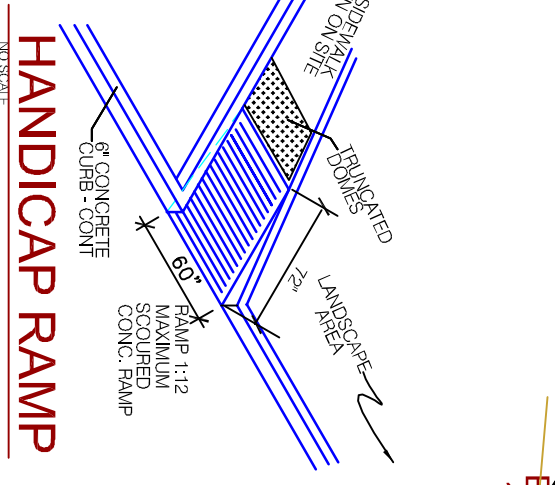
REFUSE ENCLOSURE PLAN



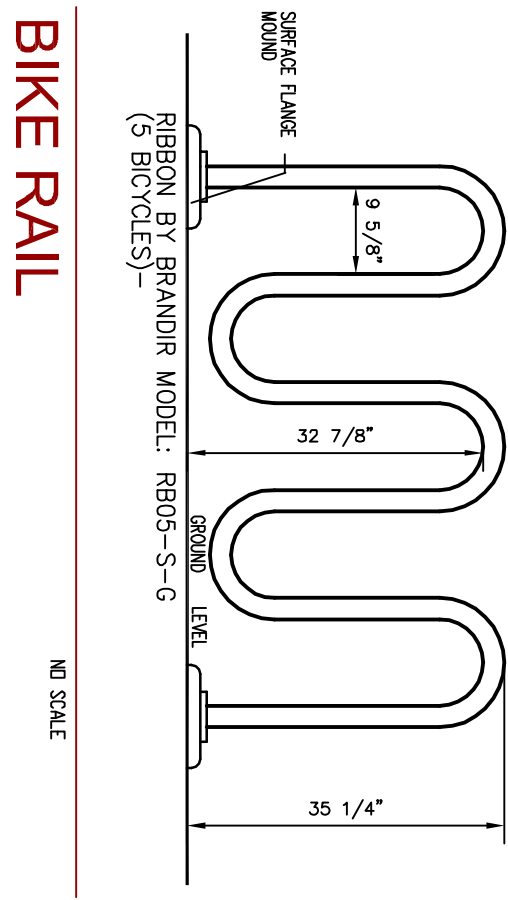
CONCRETE HEADER CURB



EXAMPLE FOR SIGN ONLY



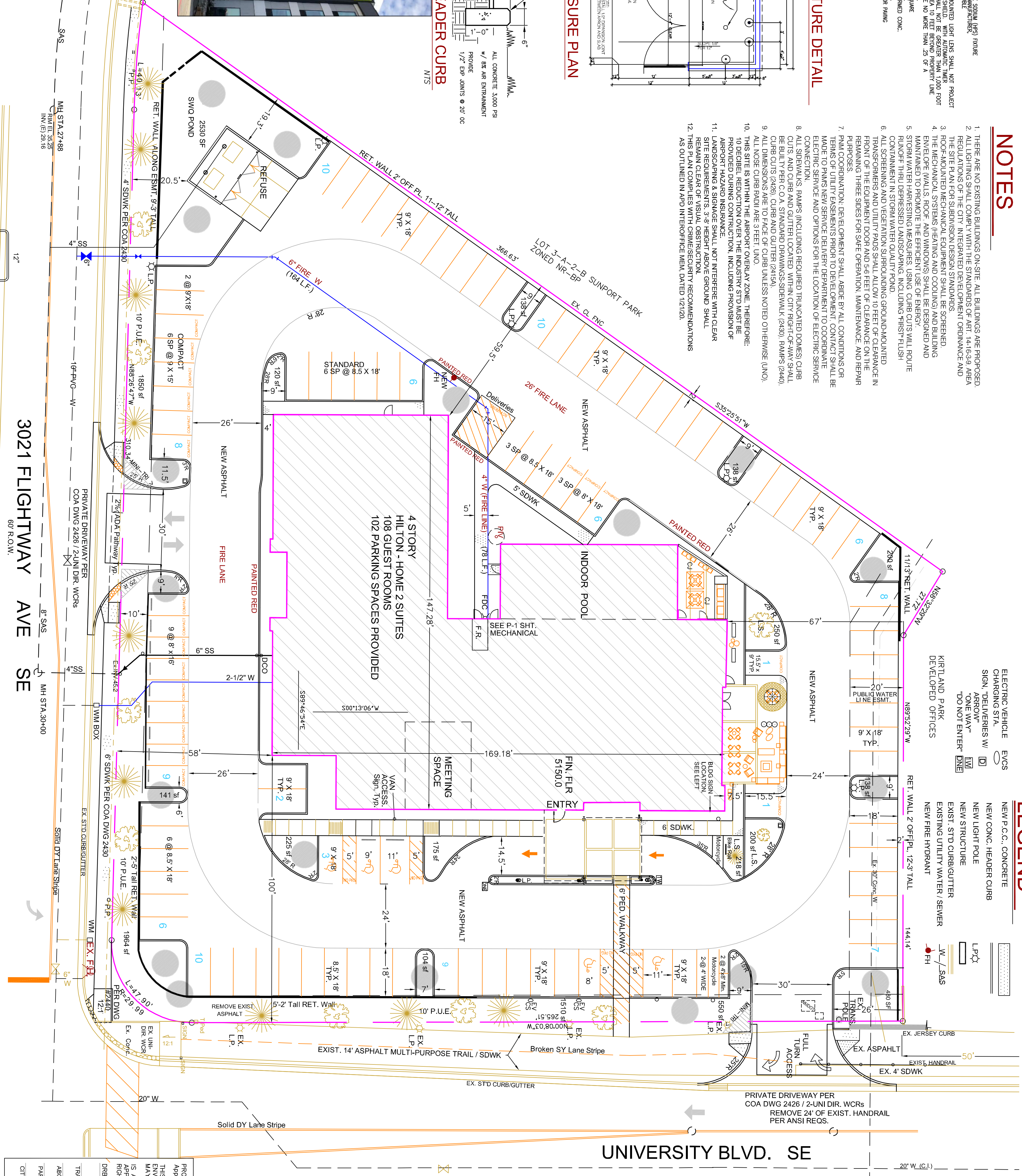
HANDICAP RAMP



BIKE RAIL

LEGEND

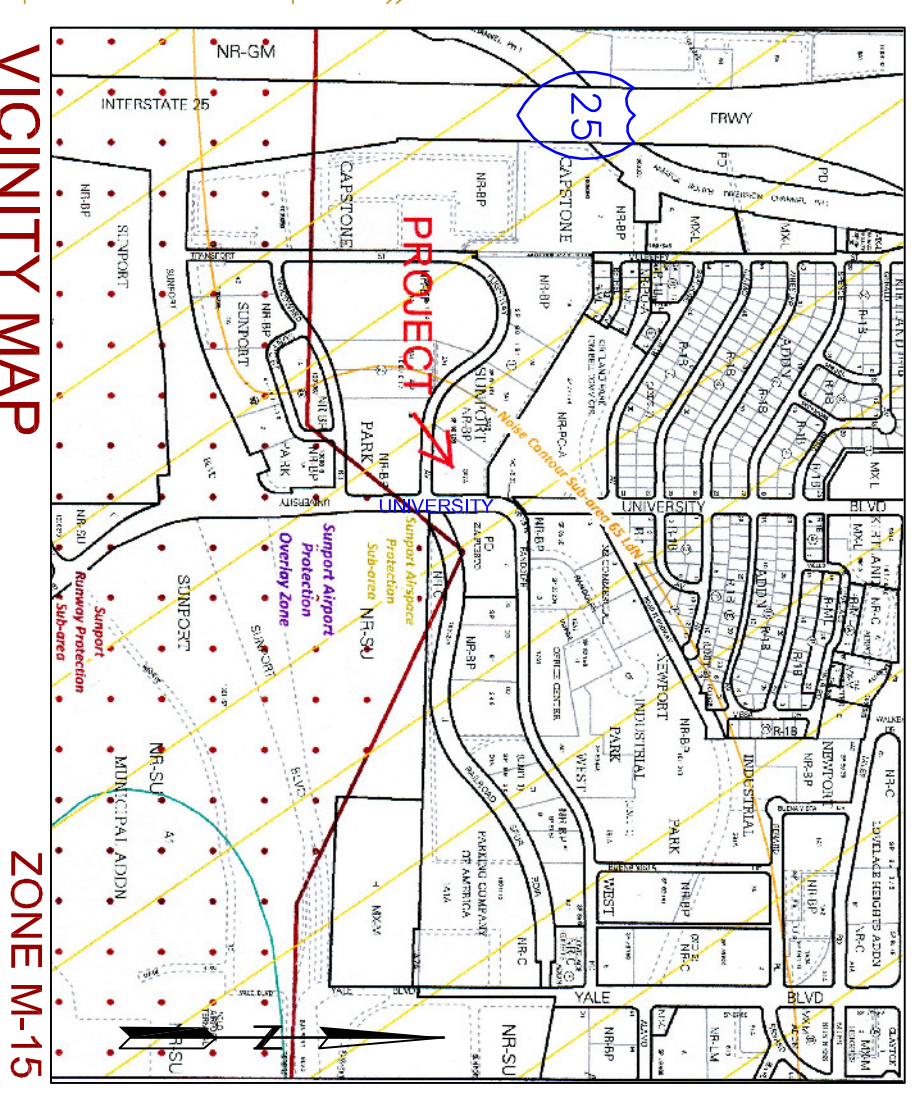
- | | |
|-----------------------------------|--------|
| ELECTRIC VEHICLE CHARGING STATION | EVCS |
| SIGN, "DELIVERIES W/Arrow" | DI |
| "ONE WAY" SIGN | OW |
| "DO NOT ENTER" SIGN | DN |
| KIRTLAND PARK DEVELOPED OFFICES | |
| NEW P.C.C. CONCRETE | L.P.C. |
| NEW CONC. HEADER CURB | |
| NEW LIGHT POLE | |
| NEW STRUCTURE | |
| EXIST. STD. CURB/GUTTER | |
| EXISTING UTILITY WATER, SEWER | |
| NEW FIRE HYDRANT | |



DRAWING INDEX

1. SITE PLAN - C101
2. LANDSCAPE PLAN - L001
3. CIVIL BASE COMPOSITE - C102
4. Approved Grading & Drainage Plan 12/14/19
5. Site Utility Plan
6. - Fire 1 Plan, Approved Copy on File (19-000919)
7. BUILDING ELEVATIONS - AS.01

VICINITY MAP PROJECT DATA



BUILDING DATA

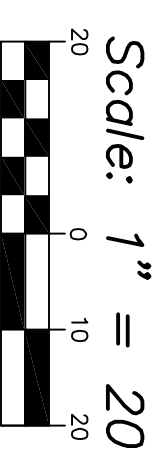
ZONED RABP - GSF 67,200 BLDG FOOTPRINT 182,141, F.A.R.=0.22
TYPE V.A. CONSTRUCTION - SPRINKLERED
FIRE FLOW REQUIRED 2375 GPM, 225' F.H. TO FARTHEST POINT
SETBACKS: 20' FRONT MIN., & 10' MIN. SIDE AND REAR
LEGAL DESCRIPTION
LOT 3-A-2-A SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
PROJECT BENCHMARK
TOP OF IRON WATER METER COVER (NE CORNER N.E. ELEVATION = 5153.82, AS TIED FROM ACS 125-30, NAMD 88, 5041.30 FEET).
TOP OF BENCHMARK
PROVIDED BY ADVANTAGE SURVEYING, LLC DATED APRIL 2019, AND SUPPLEMENTED SEPTEMBER 2019 BY CCE.

LANDSCAPING REQUIREMENTS

TOTAL SITE AREA 1.88 AC.
LESS BLDG FOOTPRINT 182,141 SF
X 15% = 26,922 SF - TOTAL SHOWN 2,031,313 SF
- 25% SHRUBS & GRASSES
- 10% GRASSES @ 4.1 MN.
- STREET TREES PER COA APPROVED LIST
- 2' CALIPER OR 6' EVERGREEN @ 25' O.C.

PARKING SPACE REQUIREMENTS

108 RM HOTEL
102 SPACES PROVIDED (INCLUDES 2 ELECTRIC VEHICLE CHARGING STATIONS)
PARKING SPACES REQUIRED: 100 SPACES (W/ 2 ELECTRIC VEH. CREDITED)
NOTE: 5% DEVIATION APPLIED
20 SMALL COMPACT CAR SPACES
20 SMALL COMPACT CAR SPACES
MOTORCYCLE SP 9
BICYCLE 5
FIRE 1-ALBUQUERQUE FIRE RESCUE NOTES
- BUILDING HEIGHT: 59 FEET
- OCCUPANCY TYPE: "R"
- ACCESS GRADE FOR APPARATUS <10%
- STANDPIPE SYSTEM SHALL BE INSTALLED WITH THE BUILDING WHERE THE FLOOR LEVEL ACCESS LEVEL
- PREMISE ID ADDRESS TO BE PROVIDED
- PER FD ORD 505.1
- THE SPRINKLER & STANDPIPE CONNECTION SHALL BE A COMBINATION



PROJECT NUMBER: 2020-081918	Application Number: S12019-09142
THIS PLAN IS CONSISTENT WITH THE SPECIFIC AIRPORT MASTER DEVELOPMENT PLAN APPROVED BY THE CITY ENGINEER AND THE AIRPORT COMMISSION (APO), INCLUDING THE INTERRELATED DEVELOPMENT ORDINANCE, DATED MAY 2018, WITH UPDATES	
IS AN INFRASTRUCTURE LIST REQUIREMENT? YES (X) NO () YES, THEN A SET OF RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRANSPORTATION DEVELOPMENT	ENVIRONMENTAL HEALTH DEPARTMENT (CONVENTIONAL) DATE
ARCHITECT	SOLID WASTE MANAGEMENT DATE
PARKS AND RECREATION DEPARTMENT	DRB CHAIRPERSON PLANNING DEPARTMENT DATE
CITY ENGINEER	CODE ENFORCEMENT ZONING DIVISION DATE

Clark Consulting Engineers
Edgewood, New Mexico 87015
Tel: (505) 281-2444
Fax: (505) 281-2444

LOT 3-A-2-A, BLOCK 1, SUNPORT PARK ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ABQ AIRPORT LODGING, LLC
SITE DEVELOPMENT PLAN
For Building Permit

DESIGNED BY: PWC
DRAWN BY: CCE
JOB #: PATL-1251
CHECKED BY: PWC
DATE: 9/12/19
FILE #: 570
C 101