

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 23, 2025

Darby Miera
RBA Architecture
1104 Park SW
Albuquerque, NM 87102

darby@rba81.com

Re: Veterans Integration Center-Ph2 Expan.
2701 Mulberry SE
Traffic Circulation Layout
Engineer's Stamp 6-17-25 (M15D054) TRANS-2025-00161

Dear Miera,

The TCL submittal received 6-17-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

- KEYED NOTES
- NEW 6" RAISED CONCRETE CURB.
 - NEW 2'-0" RAISED CONC. CURB RADIUS.
 - NEW 3'-0" RAISED CONC. CURB RADIUS.
 - NEW 4'-0" RAISED CONC. CURB RADIUS.
 - NEW 4" THICK CONC. SIDEWALK, 3500 PSI MIN.
 - NO NEW CURB, NEW ASPHALT PAVING AND NEW CONC. SIDEWALK EDGE TO BE FLUSH.
 - NEW ACCESSIBLE SIDEWALK RAMP (1/12 SLOPE MIN.) WITH RAISED HEADER CURB AND 24" WIDE TRUNCATE DOMES, INSTALL NEW PER CITY OF ALBUQUERQUE STANDARDS (C.O.A.).
 - REF: GRADING AND DRAINAGE PLAN.
 - NEW HANDICAP SYMBOL, TYP., INSTALL PER C.O.A. STANDARDS.
 - NEW PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE, TYP., INSTALL PER C.O.A. STANDARDS.
 - NEW HANDICAP ACCESSIBLE SIGNAGE, TYP., INSTALL PER C.O.A. REQUIREMENTS.
 - NEW CONCRETE WHEEL STOP, TYPICAL.
 - G.C. TO PROVIDE AND INSTALL WALL SURFACE MOUNTED KNOX BOX, MOUNTED TO 48" HIGH A.F.F. MAX., FIRE MARSHAL TO APPROVED KNOX BOX FINAL LOCATION.
 - EXIST. GRAVEL ROAD, TYP.
 - EXIST. ASPHALT PAVING.
 - NEW ASPHALT PAVING, DEPTH PER SOILS REPORT.
 - NEW 2" WIDE PAINTED PARKING STRIPE, TYP., INSTALL PER C.O.A. STANDARDS.
 - NEW 5" WIDE PAINTED STRIPE ACCESSIBLE PEDESTRIAN WALKWAY, PER C.O.G. STANDARDS.
 - NEW BIKE RACK FOR (9) BICYCLES AT TWO NEW LOCATIONS, REF DETAIL C-1/AS-2.0. BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
 - A. 30" TALL x 18" WIDE.
 - B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
 - NOT USED.

PROJECT NARRATIVE

PROJECT CONSISTS OF NEW PHASE EXPANSION, 3,410 S.F. ONE STORY BUILDING.

THE NEW PHASE ONE ADDITION WILL MATCH THE EXIST. PHASE 1 WOOD FRAME CONSTRUCTION WITH STUCCO FINISH, ROOFING SYSTEM WILL BE TPO MEMBRANE ON ON OSB ROOF SHEATHING OVER PRE-ENGINEERED WOOD ROOF TRUSSES.

PHASE 1 - BUILDING AREAS

1ST FLOOR AREA = 10,072 S.F.

2ND FLOOR AREA = 9,889 S.F.

TOTAL HEATED AREA = 19,961 S.F.

COVERED AREA = 494 S.F.

TOTAL PHASE 1 AREA = 20,455 S.F.

PHASE 2 - BLDG. AREAS

1ST FLOOR AREA = 3,768 S.F.

2ND FLOOR AREA = 3,768 S.F.

TOTAL PHASE 2 AREA = 7,536 S.F.

PHASE 2 EXPANSION (FUTURE) - BLDG. AREA

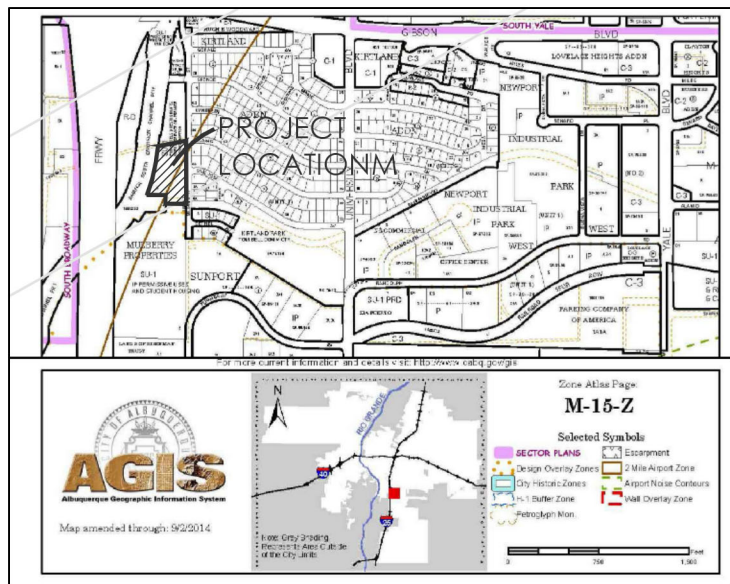
TOTAL AREA = 3,410 S.F.

PHASE 3 (FUTURE) - BLDG. AREA

TOTAL AREA = 4,090 S.F.

TOTAL PHASE 1, 2, 2 EXPANSION AND FUTURE PHASE 3 BLDG. AREAS

TOTAL AREA = 35,491 S.F.



VICINITY MAP DESCRIPTION

TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22

2.8718 ACRES

UPC # 1010551114120220

TRAFFIC CIRCULATION LAYOUT APPROVED

Sertil A. Kanbar 6/23/2025

Signed Date



PARKING REQUIREMENTS PER THE IDO - ZONE: MX-L

PHASE 1, PHASE 2 AND PHASE 2 EXPANSION PARKING REQUIRED:

OFFICES = 3.5 SPACES/1,000 S.F. = 17,151 S.F./1000 = 17,151 x 3.5 = 60 SPACES

DORMITORY = 1 SPACE/3 UNITS = 44 UNITS / 3 = 14 SPACES

TOTAL PARKING REQUIRED = 74 SPACES

TOTAL PARKING PROVIDED = 91 SPACES (INCLUDES 5 ADA)

MOTOR CYCLE PARKING REQUIRED 51-100 SPACES = 3 SPACES

BICYCLE PARKING:

DORMITORY 1 SPACE FOR EACH 3 UNITS = 42 UNITS/3 = 14 BIKE SPACES

NOTE: PER THE APPROVED ADMINISTRATIVE AMENDMENT DATED 1/10/2024: FILE #SI-2023-01672, PROJECT #PR-2023-009409

MODIFICATION TO THE SITE PARKING: INCREASE FROM 80 TO 91 PARKING SPACES; ADDITION OF A SECOND ACCESS POINT; CHANGE IN USE FROM HOTEL TO VETERAN'S INTEGRATION CENTER;

MODIFICATION PREVIOUSLY APPROVED BUILDING: REDUCTION IN BUILDING SIZE FROM 38,040 S.F. TO 34,495 S.F. NO CHANGES TO THE SITE HANDSPRING; CHANGES COMPLY WITH APPLICABLE IDO PROVISIONS

LANDSCAPE CALCULATIONS:

GROSS LOT AREA: 125,098 S.F. (2.87 ACRES)

EXISTING PHASE 1 BUILDING FOOTPRINT AREA: 10,566 S.F.

EXISTING PHASE 2 BUILDING FOOTPRINT AREA: 3,768 S.F.

NEW PHASE 2 EXPANSION FOOTPRINT AREA: 3,410 S.F.

TOTAL PHASE 1, 2 AND 3 BUILDING FOOTPRINT AREA: 17,744 S.F.

NET LOT AREA: 125,098 - 17,744 = 107,354 S.F. (NET LOT AREA)

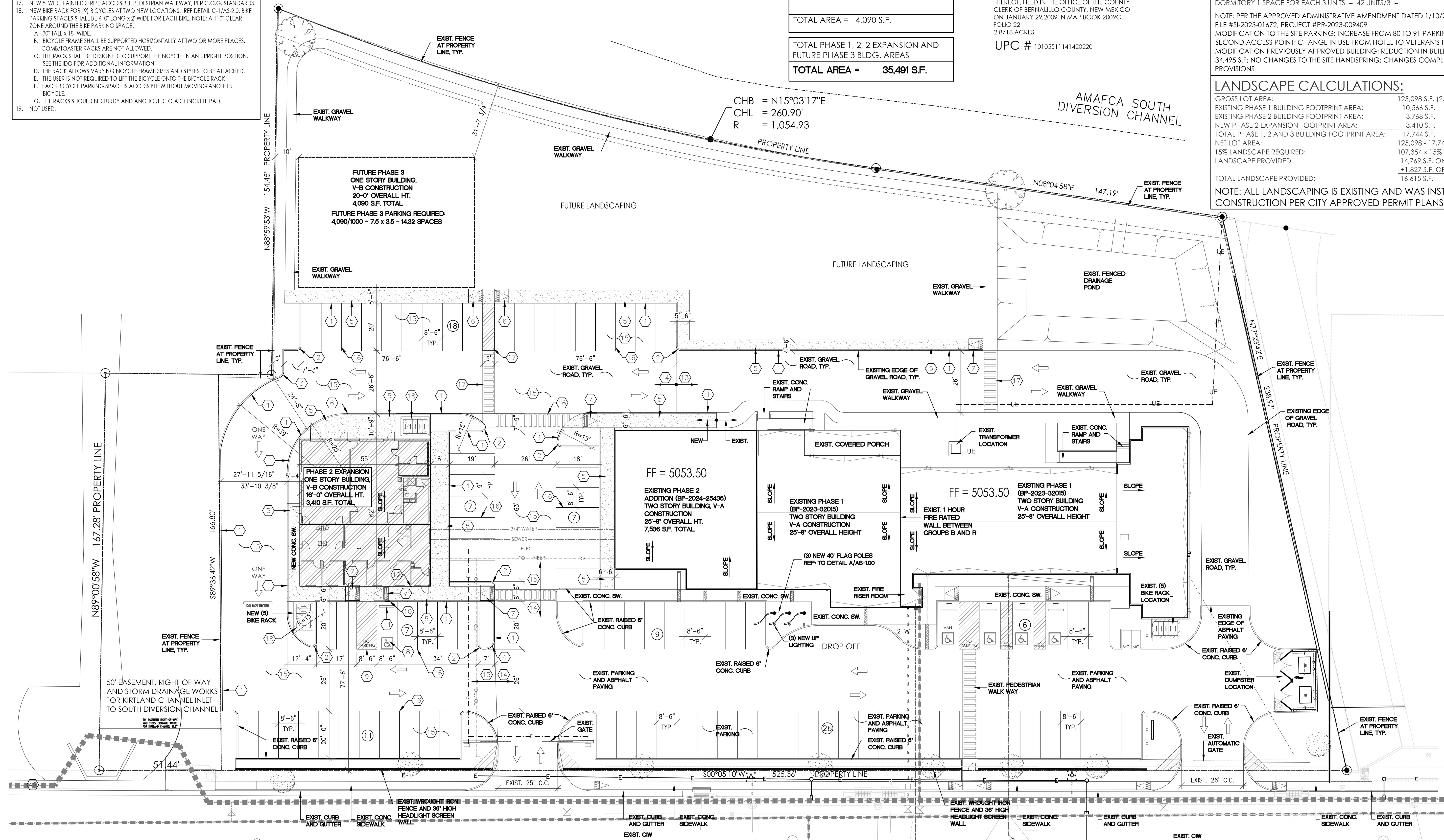
15% LANDSCAPE REQUIRED: 107,354 x 15% = 16,103 S.F. (LS. REQUIRED)

LANDSCAPE PROVIDED: 14,769 S.F. ON SITE

LANDSCAPE PROVIDED: +1,827 S.F. OFF SITE

TOTAL LANDSCAPE PROVIDED: 16,615 S.F.

NOTE: ALL LANDSCAPING IS EXISTING AND WAS INSTALLED AT PHASE 1 CONSTRUCTION PER CITY APPROVED PERMIT PLANS BP-2023-32015



GENERAL NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER ACCORDING WITH THE CABQ STANDARDS"

MULBERRY STREET 50' R.O.W.

1 SITE PLAN - PHASE 2

1" = 20'-0"

BAR SCALE

10 0 20 40

(IN FEET)

VETERANS INTERGATION CENTER

ARCH SITE PLAN - PHASE 2 EXPANSION

2701 MULBERRY ST S.E.

ALBUQUERQUE, NM 87106

PROJECT #2171

REVISION DATE

STATE OF NEW MEXICO

RICHARD P. BENNETT

No. 1240

6/17/25

REGISTERED ARCHITECT

RBA ARCHITECTURE PC

1540 New Ave. SW

ALBUQUERQUE, NM 87102

www.rbaarch.com

DATE

04-21-2025

SHEET NUMBER

AS-1.00



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

VIC

Project Title: VETERANS INT. CENTER Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: MP52 DRB#: NA EPC#: NA Work Order#: _____
Legal Description: TRACT A, PART OF TRACTS A & B MULBERRY PROP.
City Address: 2701 MULBERRY ST SE 87106
Applicant: RPA ARCHITECTURE Contact: DARBY MIERA
Address: 1104 PARK AVE SW 87102
Phone#: 505 350 9919 Fax#: _____ E-mail: DARBY@RPA81.COM

Development Information

Build out/Implementation Year: 2025 Current/Proposed Zoning: MX-L
Project Type: New: ☒ Change of Use: () Same Use/Unchanged: ☒ Same Use/Increased Activity: ()
Proposed Use (mark all that apply): Residential: () Office: ☒ Retail: () Mixed-Use: ()
Describe development and Uses:
MX-L MIXED USE FOR VETERANS'S INTEGRATION CENTER
AND OFFICE
Days and Hours of Operation (if known): 8 AM. - 430 PM.

Facility

Building Size (sq. ft.): TOTAL SF. = 3410 SF. 1 STORY
Number of Residential Units: —
Number of Commercial Units: OFFICE AND PAINTY

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* 10 / DAY
Expected Number of Employees (if known):* 30 MAX
Expected Number of Delivery Trucks/Buses per Day (if known):* 1 OR 2
Trip Generations during PM/AM Peak Hour (if known):* 30 IN MORNING
Driveway(s) Located on: Street Name 2 DRIVEWAYS LOCATED ON MULBERRY ST
Adjacent Roadway(s) Posted Speed: Street Name SAN JOSE Posted Speed 25 MPH
Street Name ALVARO AVE Posted Speed 25 MPH

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: N/A
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: — Volume-to-Capacity Ratio: —
(if applicable)

Adjacent Transit Service(s): BUS ROUTE 90 Nearest Transit Stop(s): 2130 FT / GIBSON

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: EXISTING TRAIL MULBERRY / CAL JOSE
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: —

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidid=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒ Borderline []

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes:

Ernest Armijo
TRAFFIC ENGINEER

6/23/2025
DATE