

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 13, 2023

Alejandro Sazo
RBA Architects, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Veterans Intergation Center
2701 Mulberry St. SE
Traffic Circulation Layout
Architect's Stamp 04-06-23 (M15-D054)

Dear Mr. Sazo,

The TCL submittal received 04-10-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



KEYED NOTES:

- NEW 8" WATER LINE TO TIE INTO EXISTING 8" WATER LINE LOCATED IN STREET
- 6" WATER LINE TO FIRE HYDRANTS AND FIRE RISER ROOM
- 2" DOMESTIC WATER LINE
- PAVED PARKING AND STREET PAVING SHALL HAVE ENGINEERING DATA CAPABLE OF IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS
- N/A
- FIRE APPARATUS ACCESS ROAD 20 TO 26' SHALL HAVE A FIRE LANE MARKED ON BOTH SIDES OF THE ROAD SHALL BE PAINTED RED WITH "FIRE LANE NO PARKING" IN WHITE LETTERS
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE
- FIRE DEPARTMENT CONNECTION (SIAMESE FITTING) MOUNTED 18" TO 48" A.F.G. CONTRACTOR TO VERIFY WITH FIRE MARSHAL
- PREMISE ID ADDRESS NUMBER LEGIBLE AND VISIBLE FROM STREET
- CONTRACTOR TO INSTALL SURFACE MOUNTED "KNOX BOX" 4' A.F.F. CONTRACTOR TO VERIFY LOCATION AND HEIGHT WITH FIRE MARSHAL.
- 6" HIGH CURB AND GUTTER - SEE CIVIL
- 46" WIDE EXISTING CONC. SIDEWALK - SEE CIVIL
- 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBQ. STANDARDS
- HANDICAP SYMBOL PER CITY OF ALBQ. STANDARDS
- HANDICAP ACCESSIBLE AISLE PER CITY OF ALBQ. STANDARDS SEE DTL. A7/AS-2.0
- STANDARD HANDICAP PARKING STALL PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
- STANDARD HANDICAP VAN PARKING SPACE PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
- HANDICAP ACCESSIBLE SIGNAGE PER CITY OF ALBQ. STANDARDS TYPICAL EACH STALL SEE DTL. A9, A10/AS-2.0
- CONC. CURB STOP TYP. EA. ADA PARKING SPACE
- MOTOR CYCLE PARKING SPACE, 4x8' WITH "MC" IN CAPITAL LETTERS, 12" HIGH x 2" AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ. STANDARDS WITH (4) 6" DIA. CONC. FILLED STEEL PIPE BOLLARDS TO BE INSTALLED AT EACH SPACE - PAINTED YELLOW
- MOTORCYCLE PARKING SIGNAGE ON BOLLARD PER CABQ. STANDARDS.
- BIKE RACK FOR (3) BICYCLES. SPACES SHALL BE 6' LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE. REF DETAIL A12-A13/AS-2.0
- 30" TALL x 18" WIDE
- BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.
- COMB/TOASTER RACKS ARE NOT ALLOWED.
- THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION
- THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
- THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BIKE RACK.
- EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE
- THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD
- TRASH ENCLOSURE WITH TWO SLAB DRAINS MIN. 1/8" PER FOOT SLOPE - SEE DETAILS - FINISH TO MATCH BUILDING. SEE DTLs. A1,A2,A3/AS-2.0
- NEW FIRE HYDRANT
- MONUMENT SIGN
- PARALLEL CURB RAMP PER CABQ. STANDARDS 2446. SEE DTL. A11/AS-2.0
- ADA PASSAGEWAY STRIPPING PER CABQ. STANDARDS. SEE DTL. A14/AS-2.0
- CLEAR SIGHT DISTANCE. "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA"
- HANDICAP RAMP, SEE DTL. A8/AS-2.0
- 6" CHAIN LINK FENCE @ LOT LINE
- 6" WROUGHT IRON FENCE (AT THE GATES SIDES ONLY)
- 26" DOUBLE SLIDING WROUGHT IRON GATE
- CHAIN LINK DOUBLE SWINGING GATE
- POUND - SEE CIVIL
- 8" CMU RETAINING WALL - SEE CIVIL
- CONCRETE CURB AND GUTTER - SEE CIVIL
- CONCRETE SLAB MINIMUM 1/8" PER FOOT SLOPE
- 4" WIDE WALKWAY METAL EDGED WITH CRUSHER FINES (FUTURE)
- DRIVE PAD MINIMUM 1/8" PER FOOT SLOPE
- PER THE I.D.O. SECTION 14-16-5-6(F)(1)(I) G.C. TO BUILD 36" HIGH MIN. MASONRY WALL AND FINISH OF A MATERIAL SIMILAR IN TEXTURE, APPEARANCE, AND COLOR TO THE STREET-FACING FACADE OF THE PRIMARY BUILDING
- MAIN BUILDING ENTRANCE.
- EXISTING SIDEWALK 4'
- CONSTRUCT NEW CONCRETE DRIVE PAD PER C.O.A. STANDARD DWG 2426. REF: GRADING AND DRAINAGE PLAN. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- COMPACTED BASE COURSE ACCESS ROAD TOP AT LEAST 75,000 LBS LOAD

PARKING REQUIREMENTS PER THE IDO - ZONE: MX-L

REQUIRED:			
OFFICES = 3.5 SPACES/1,000 S.F. = 7,716 S.F. / 1000	=	27 SPACES	
DORMITORY = 1 SPACE/3 UNITS = 44 UNITS / 3	=	14 SPACES	
TOTAL PARKING REQUIRED	=	41 SPACES REQUIRED (3 ADA SPACES)	
TOTAL PARKING PROVIDED	=	41 SPACES PROVIDED (INCLUDES 4 ADA)	
MOTOR CYCLE PARKING REQUIRED 26-50 SPACES	=	2 SPACES (PROVIDED 2 MC SPACES)	
BICYCLE PARKING:			
DORMITORY 1 SPACE @ 3 UNITS = 42 UNITS/3	=	14 SPACES	

LANDSCAPE CALCULATIONS:

GROSS LOT AREA:	125,098 S.F. (2.87 ACRES)
BUILDING AREA PH1 & 2:	14,471 S.F.
NET LOT AREA:	110,627 S.F.
	15 %

REQUIRED LS:	16,594 S.F.
PROVIDED LS:	14,769 S.F. ON SITE
	1,827 S.F. OFF SITE

TOTAL PROVIDED:	16,596 S.F.
TOTAL ASPHALT:	22,389 S.F.

GENERAL NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER ACCORDING WITH THE CABQ STANDARDS"

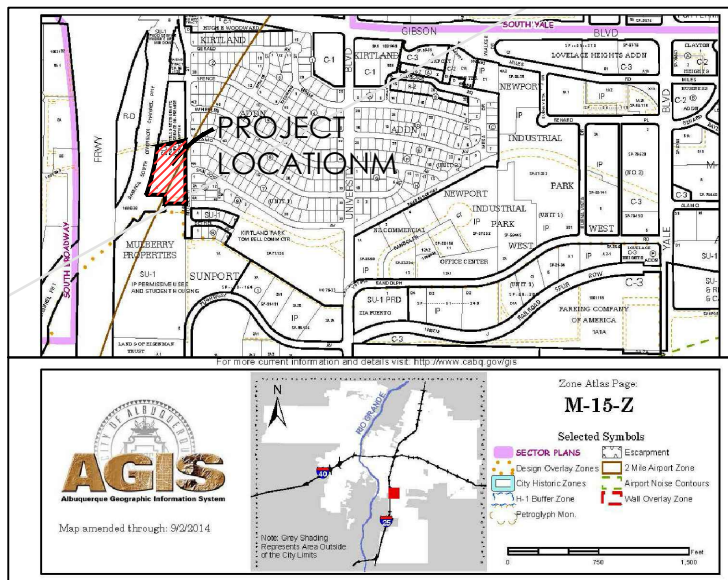
PROJECT NARRATIVE

PROJECT CONSISTS OF CONSTRUCTING A WOOD FRAMED STRUCTURE FOR A MULTI-FAMILY FACILITY WITH OFFICES, INCORPORATING WOOD STUD FRAMED WALLS WITH 7/16" OSB SHEATHING, STUCCO FINISHES, TPO MEMBRANE ROOFING SYSTEM ON OSB ROOF SHEATHING OVER PRE-ENGINEERED WOOD ROOF TRUSSES, FULLY FIRE SPRINKLED.

Revised

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amijo 5/18/2023
Signed Date

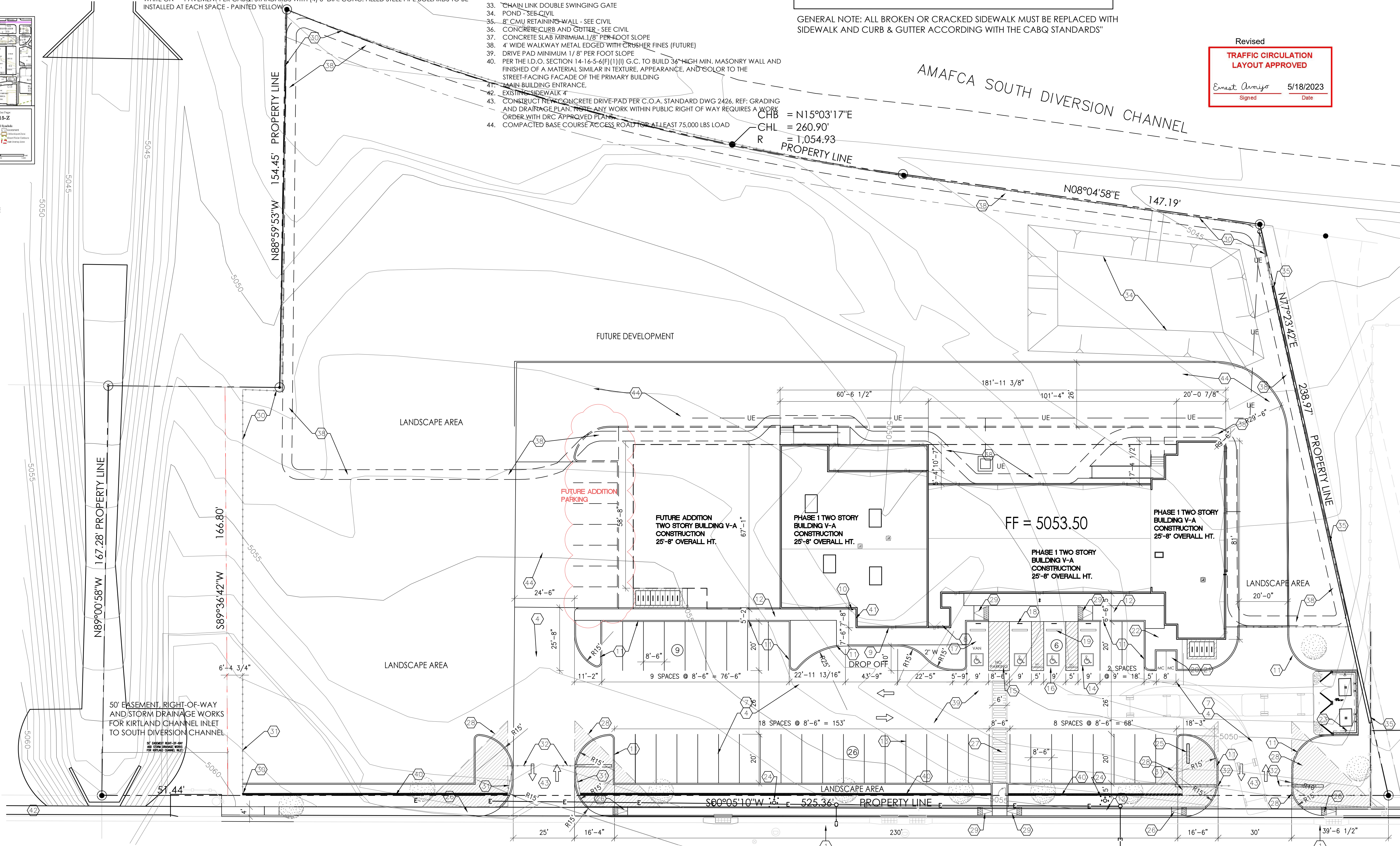


VICINITY MAP DESCRIPTION

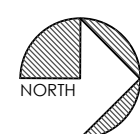
TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22

2.8718 ACRES

UPC # 1010551141420220



MULBERRY STREET
50' R.O.W.



SITE PLAN

1" = 20'-0"

PHASE 1

BAR SCALE
10' 0 20' 40'
(IN FEET)

VETERANS INTERGATION CENTER

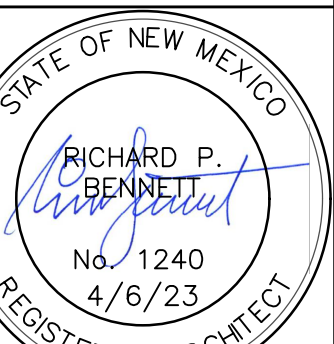
ARCH SITE PLAN

2701 MULBERRY ST S.E.

ALBUQUERQUE, NM 87106

PROJECT #2171

REVISION DATE

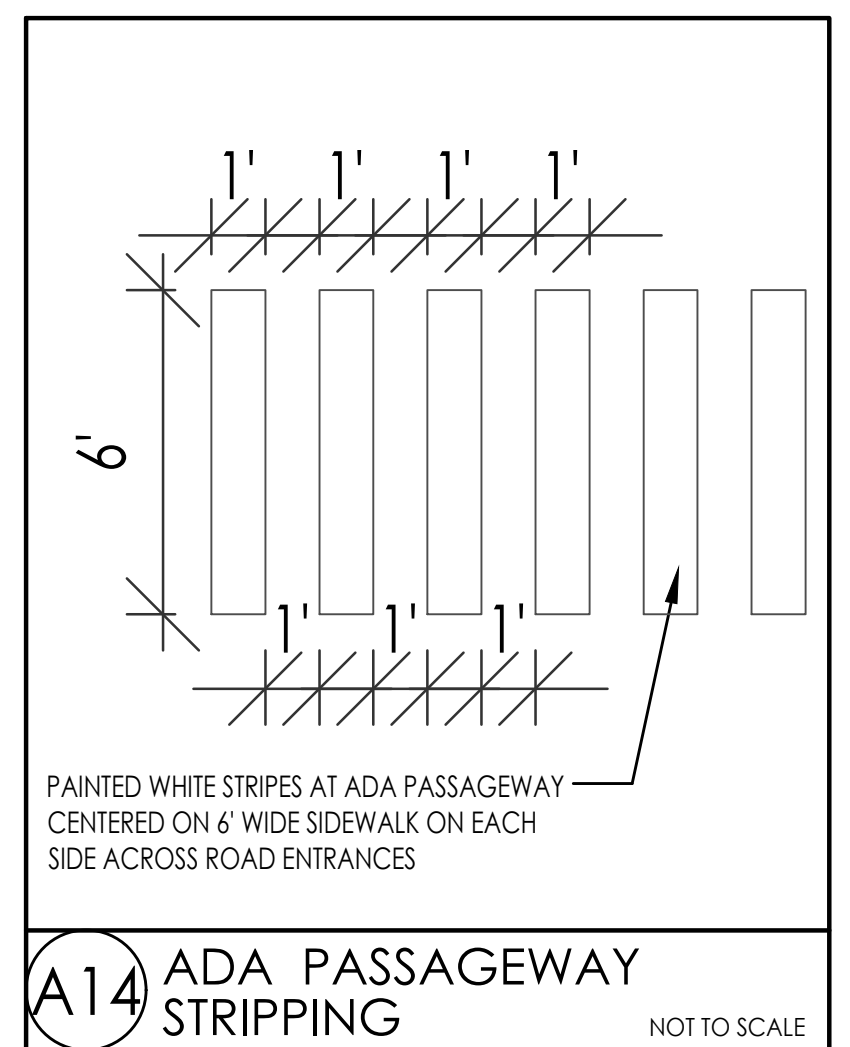
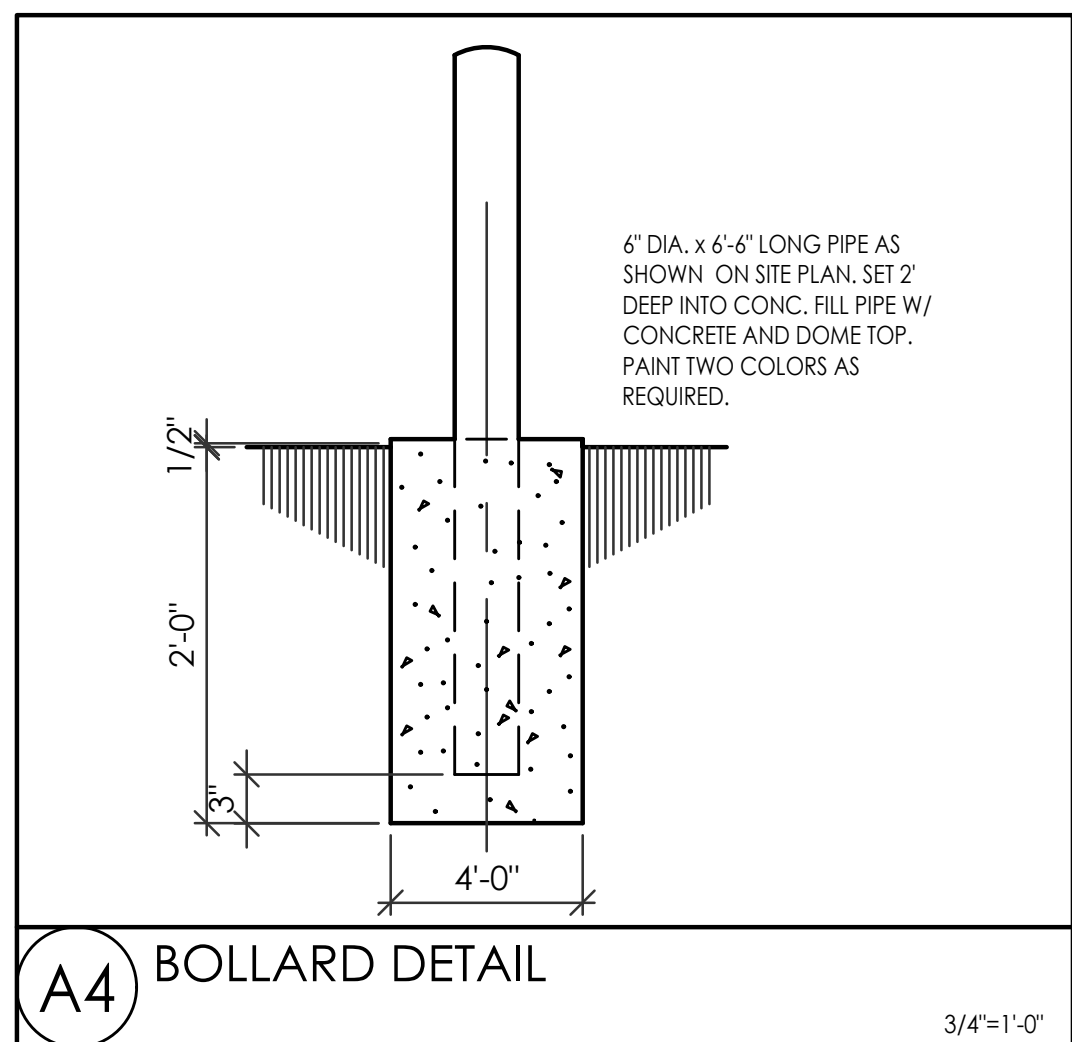
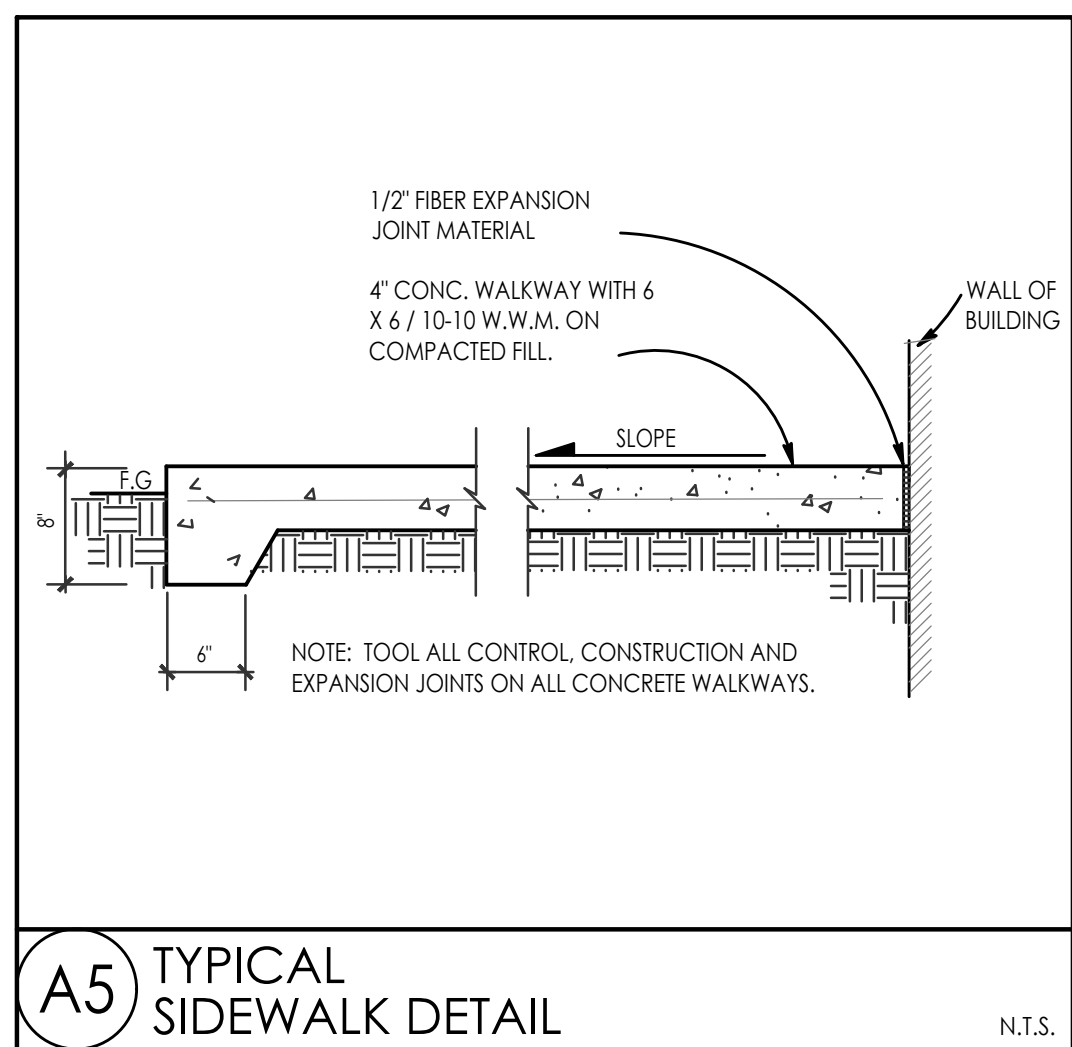
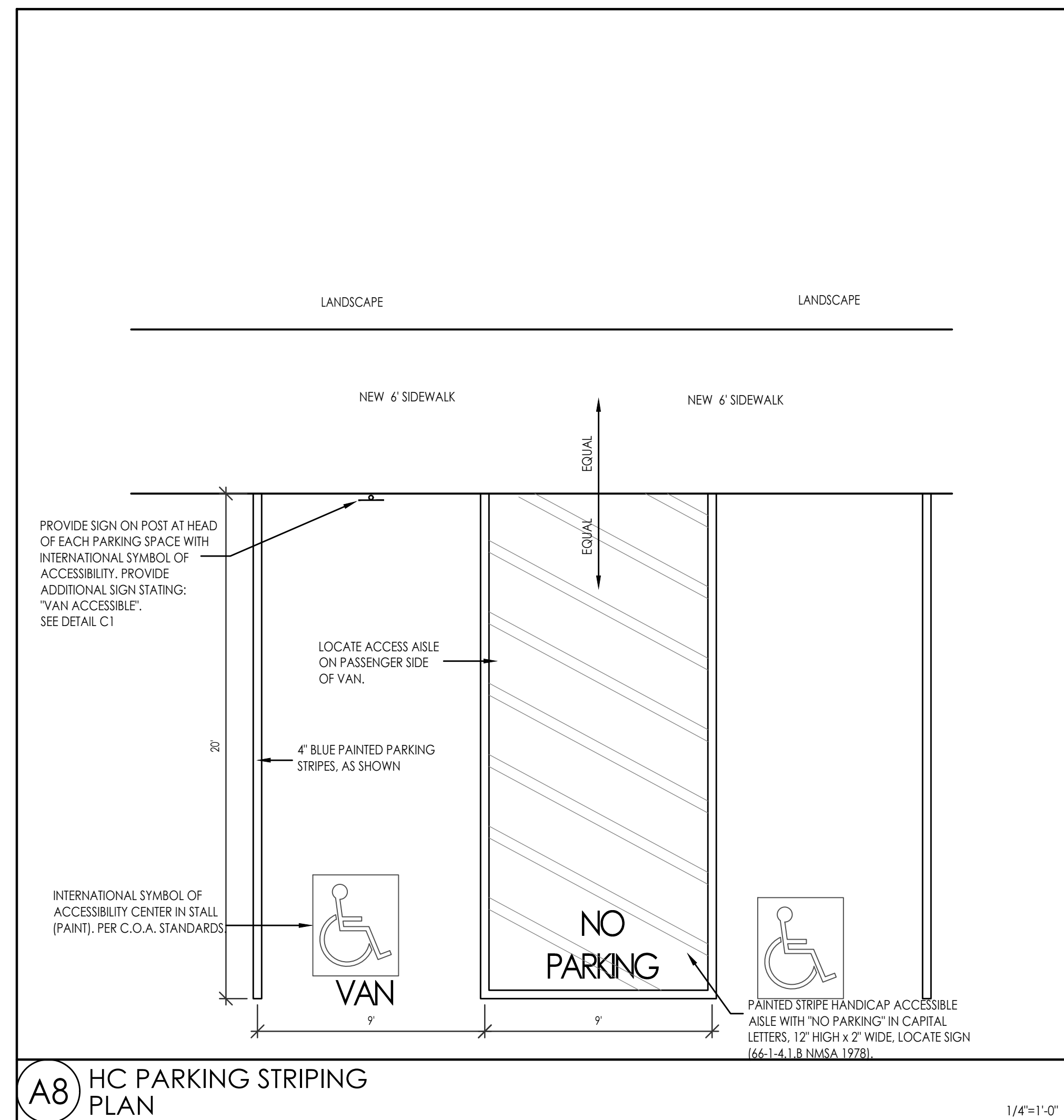
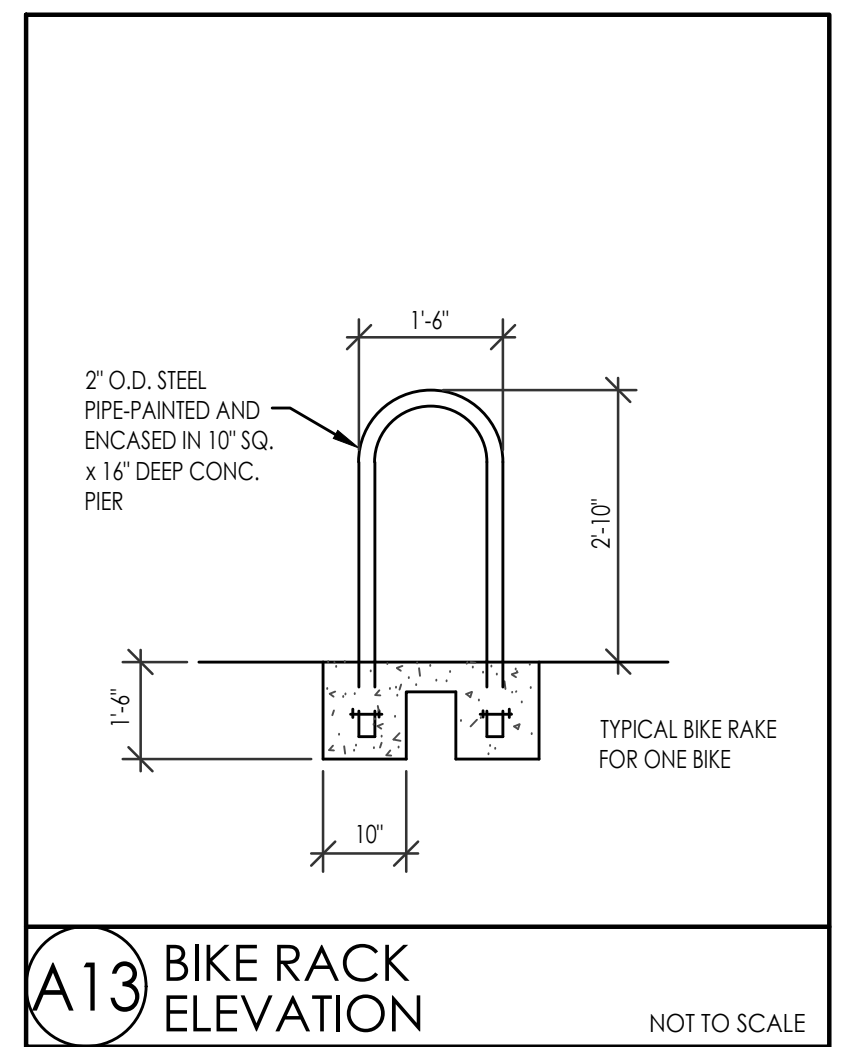
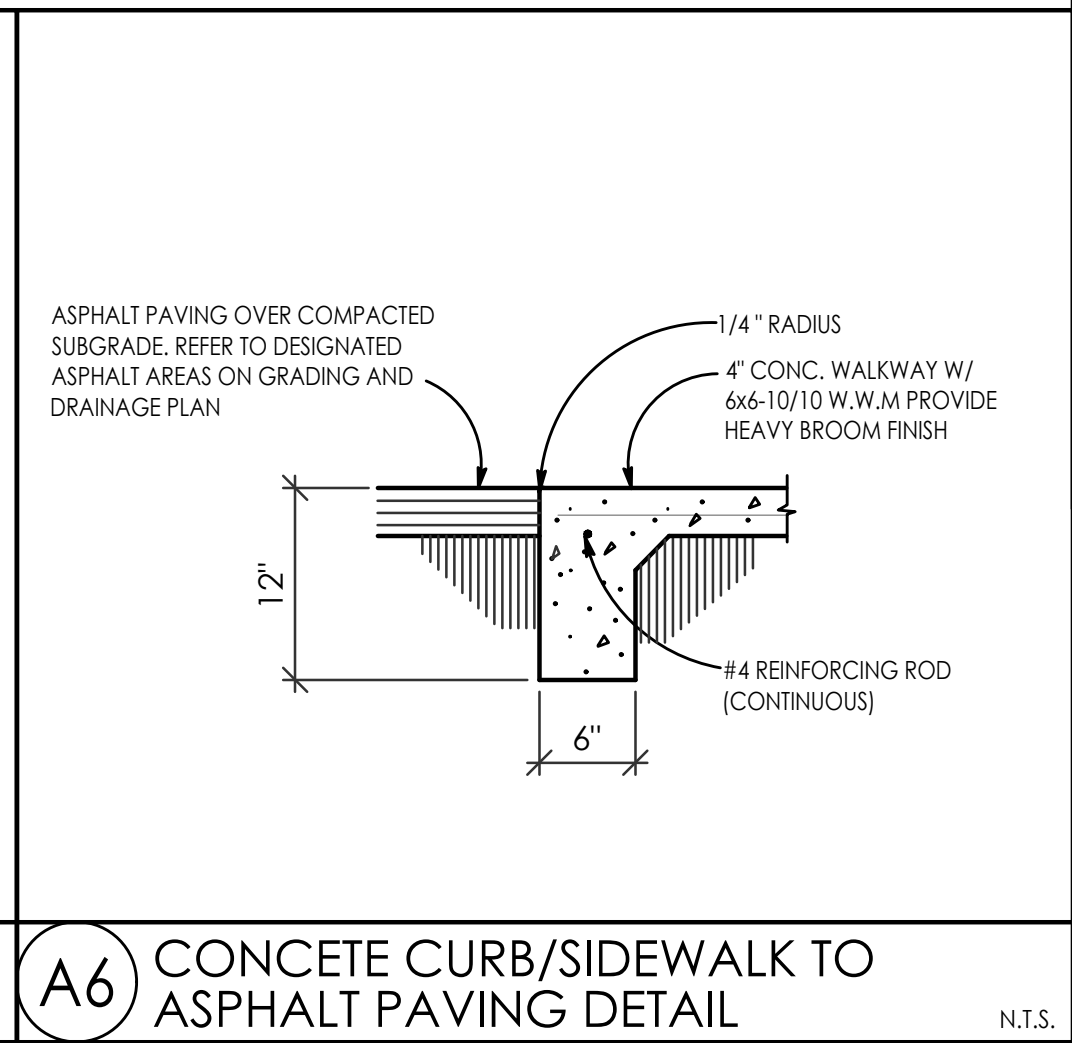
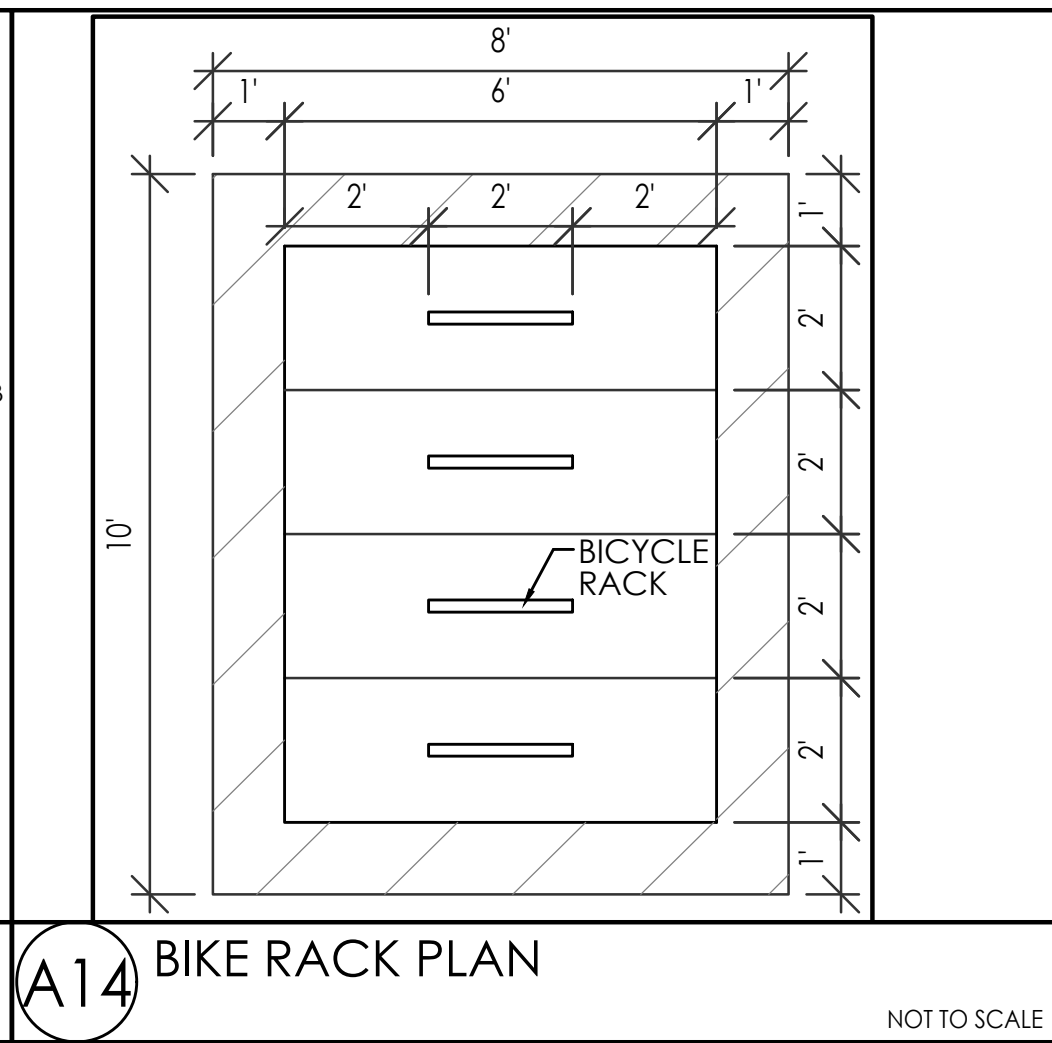
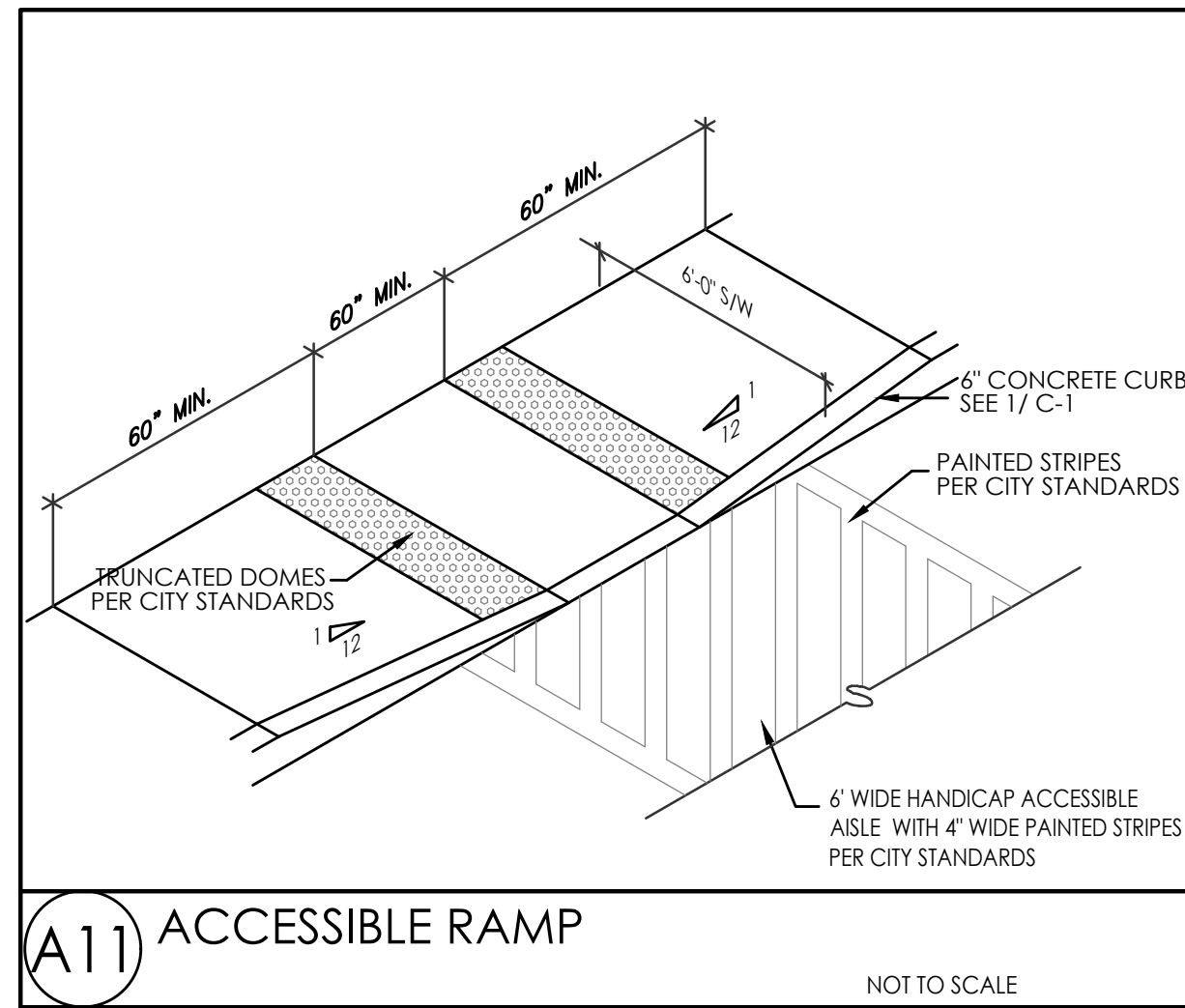
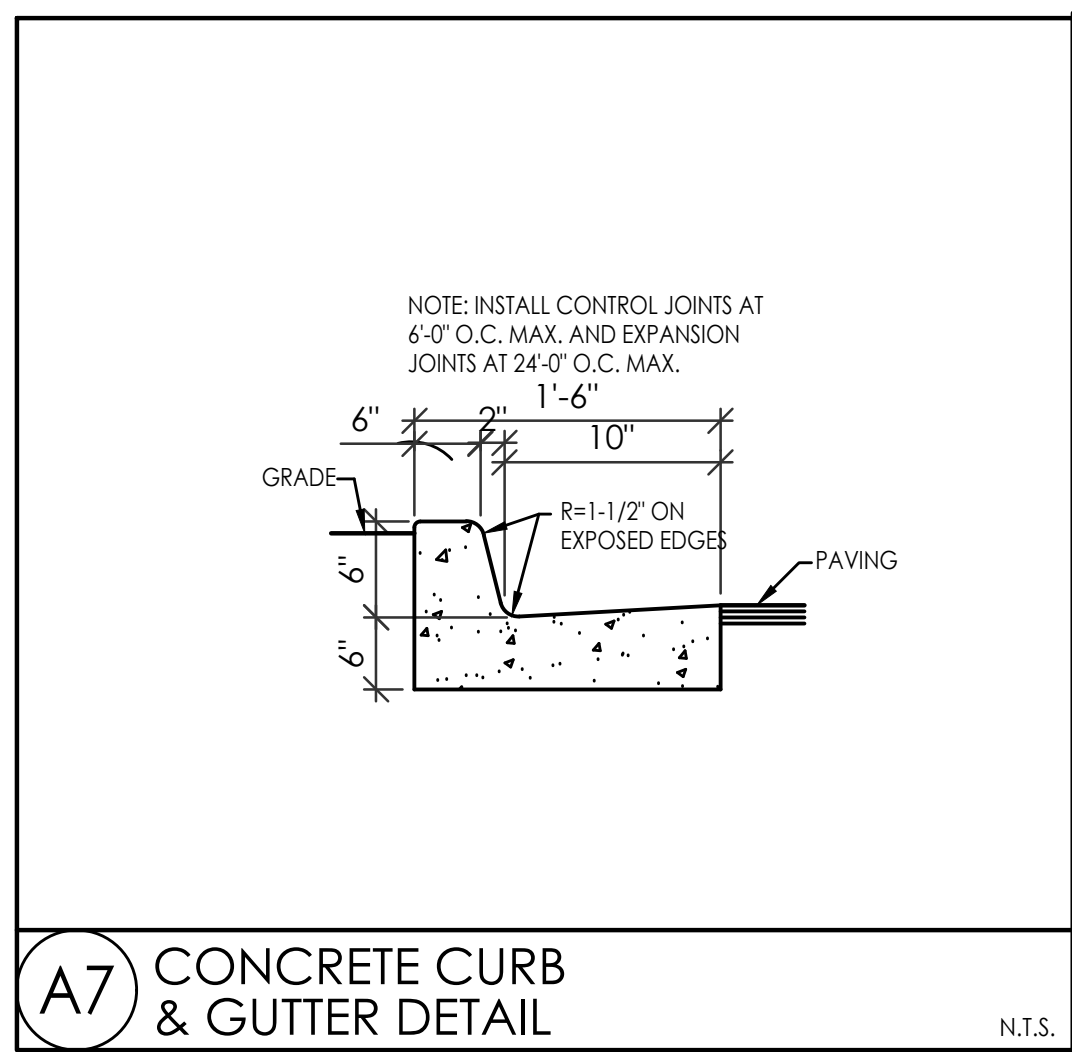
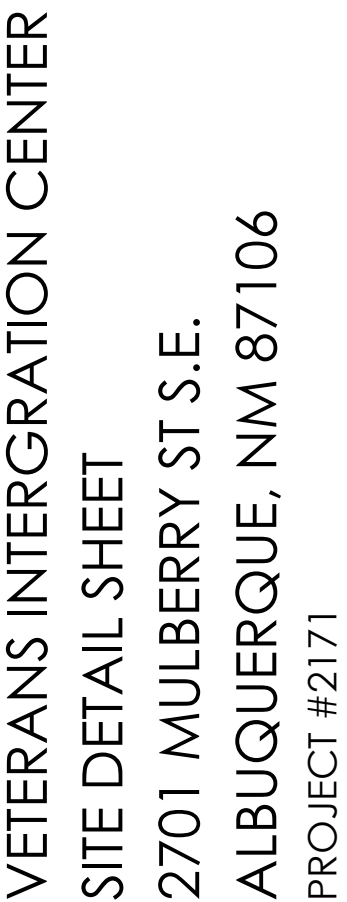


RBA
ARCHITECTURE PC
ARCHITECTURE
PLANNING
DESIGN
2701 Mulberry Ave. Ste.
Albuquerque, NM 87102
www.rbaarch.com

DATE
02-28-2023

SHEET NUMBER

AS-1.00



REVISION DATE	
	
	
RBA ARCHITECTURE, PC PLANNING DESIGN 1124 New Ave. NW Albuquerque, NM 87102 Phone: 505-263-4645 www.rba1.com	
DATE	02-28-2023
SHEET NUMBER	
AS-2.00	