

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 24, 2023

Richard Bennett, RA
RBA Architecture, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Veterans Integration Center
2701 Mulberry St. SE
Traffic Circulation Layout
Architect's Stamp XX-XX-XX (M15-D054)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 03-01-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, medians, curb cuts, and street widths on Mulberry St.
2. Please define the property line.
3. Please provide a date on the Architect stamp.
4. Provide the existing sidewalk width.
5. Please show on the site plan the main building entrance.
6. Is there a third access at the south side of the site? If so, please provide details such as radii and access width.
7. Key note 28: detail A15 is missing.
8. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
9. Please show on the site plan the word "NO PARKING" on each ADA aisle.
10. Provide a copy of Fire Marshal approval.
11. On the details sheet, please provide Transportation details only. We stamp and approve transportation details only.
12. Please specify the City Standard Drawing Number when applicable.
13. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
14. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque \ma via: email
C: CO Clerk, File

NM 87103

www.cabq.gov

KEYED NOTES:

1. NEW 8" WATER LINE TO TIE INTO EXISTING 8" WATER LINE LOCATED IN STREET
2. 6" WATER LINE TO FIRE HYDRANTS AND FIRE RISER ROOM
3. 2" DOMESTIC WATER LINE
4. PAVED PARKING AND STREET PAVING SHALL HAVE ENGINEERING DATA CAPABLE OF IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS
5. N/A
6. FIRE APPARATUS ACCESS ROAD 20 TO 26' SHALL HAVE A FIRE LANE MARKED ON BOTH SIDES OF THE ROAD SHALL BE PAINTED RED WITH "FIRE LANE NO PARKING" IN WHITE LETTERS
7. FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE
8. FIRE DEPARTMENT CONNECTION (SIAMSESE FITTING) MOUNTED 18" TO 48" A.F.G. CONTRACTOR TO VERIFY WITH FIRE MARSHAL
9. PREMISE ID ADDRESS NUMBER LEGIBLE AND VISIBLE FROM STREET
10. CONTRACTOR TO INSTALL SURFACE MOUNTED "KNOX BOX" 4" A.F.F. CONTRACTOR TO VERIFY LOCATION AND HEIGHT WITH FIRE MARSHAL
11. 6" HIGH CURB AND GUTTER - SEE CIVIL
12. CONC. SIDEWALK - SEE CIVIL
13. 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBQ. STANDARDS
14. HANDICAP SYMBOL PER CITY OF ALBQ. STANDARDS
15. HANDICAP ACCESSIBLE AISLE PER CITY OF ALBQ. STANDARDS SEE DTL. A7/AS-2.0
16. STANDARD HANDICAP PARKING STALL PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
17. STANDARD HANDICAP VAN PARKING SPACE PER CITY OF ALBQ. STANDARDS SEE DTL. A6/AS-2.0
18. HANDICAP ACCESSIBLE SIGNAGE PER CITY OF ALBQ. STANDARDS TYPICAL EACH STALL SEE DTL. A9, A10/AS-2.0
19. CONC. CURB STOP TYP. EA. ADA PARKING SPACE
20. MOTOR CYCLE PARKING SPACE, 4'x8' WITH "MC" IN CAPITAL LETTERS, 12" HIGH x 2" AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ. STANDARDS WITH (4) 6" DIA. CONC. FILLED STEEL PIPE BOLLARDS TO BE INSTALLED AT EACH SPACE - PAINTED YELLOW

21. MOTORCYCLE PARKING SIGNAGE ON BOLLARD PER CABQ. STANDARDS
22. BIKE RACK FOR (3) BICYCLES, SPACES SHALL BE 6' LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE, REF DETAIL A12-A13/AS-2.0
- A. 30" TALL x 18" WIDE.
- B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BIKE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BIKE
- G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD
23. TRASH ENCLOSURE WITH TWO SLAB DRAINS MIN. 1/8" PER FOOT SLOPE - SEE DETAILS - FINISH TO MATCH BUILDING, SEE DTLs. A1,A2,A3/AS-2.0
24. NEW FIRE HYDRANT
25. MONUMENT SIGN
26. PARALLEL CURB RAMP PER CABQ. STANDARDS 608-001-3, SEE DTL. A11/AS-2.0
27. ADA PASSAGEWAY STRIPPING PER CABQ. STANDARDS, SEE DTL. A14/AS-2.0
28. CLEAR SIGHT DISTANCE, SEE DTL. A15/AS-2.0
29. HANDICAP RAMP, SEE DTL. A8/AS-2.0
30. 6" CHAIN LINK FENCE @ LOT LINE
31. 6" WROUGHT IRON FENCE
32. 26" DOUBLE SLIDING WROUGHT IRON GATE
33. CHAIN LINK DOUBLE SWINGING GATE
34. POND - SEE CIVIL
35. 8" CMU RETAINING WALL - SEE CIVIL
36. CONCRETE CURB AND GUTTER - SEE CIVIL
37. CONCRETE SLAB MINIMUM 1/8" PER FOOT SLOPE
38. 4" WIDE WALKWAY METAL EDGED WITH CRUSHER FINES
39. DRIVE PAD MINIMUM 1/8" PER FOOT SLOPE

PARKING REQUIREMENTS:

REQUIRED: TOTAL GROUP B BUILDING SQ. FT. = 2,533 S.F./1,000 x 3.5 SPACES = (8.8) 9 SPACES
TOTAL GROUP R2 42 UNITS/4 UNITS PER 1 SPACE = (10.5) 10 SPACES

TOTAL PARKING REQUIRED = 19 SPACES (INCLUDING 4 HC SPACES)

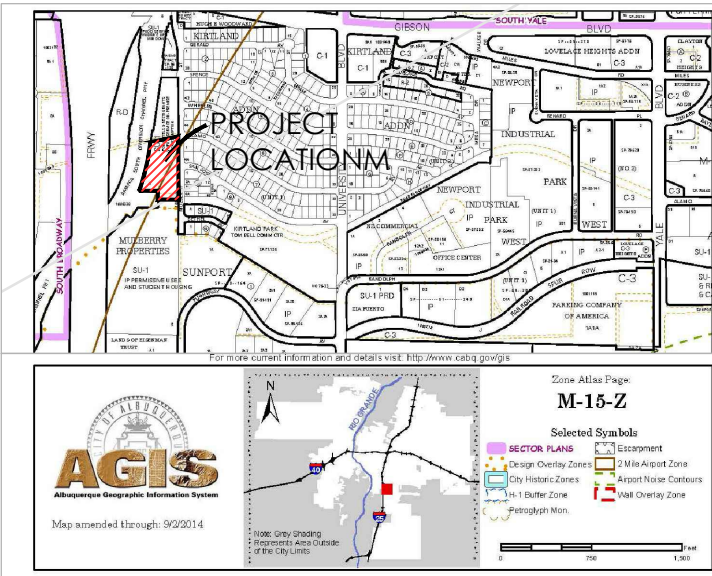
TOTAL PARKING PROVIDED: 20 (INCLUDES 2 ADA)

MOTOR CYCLE PARKING: 1-25 SPACES = 1 SPACE (PROVIDED 2 MC SPACES)
BICYCLE PARKING: GROUP B NON-RESIDENTIAL 3 SPACES
GROUP R-2 RESIDENTIAL USE 3 SPACES

IDO ZONE DISTRICT: MX-L
LANDSCAPING CALC'S
AREA OF LOT: 2.8718 ACRES x 43560 = 125,095.61 SF
AREA OF BLDGS = 10,653 SF, 0.08%
10,653 SF x 15% = 1,597.95 SF
LANDSCAPING REQUIRED = 1,597.95 SF
LANDSCAPING PROVIDED = 4,610 SF 0.04%
PAVEMENT = 16,905 SF 0.14%
OPEN SPACE = 92,927.61 SF 74%

PROJECT NARRATIVE

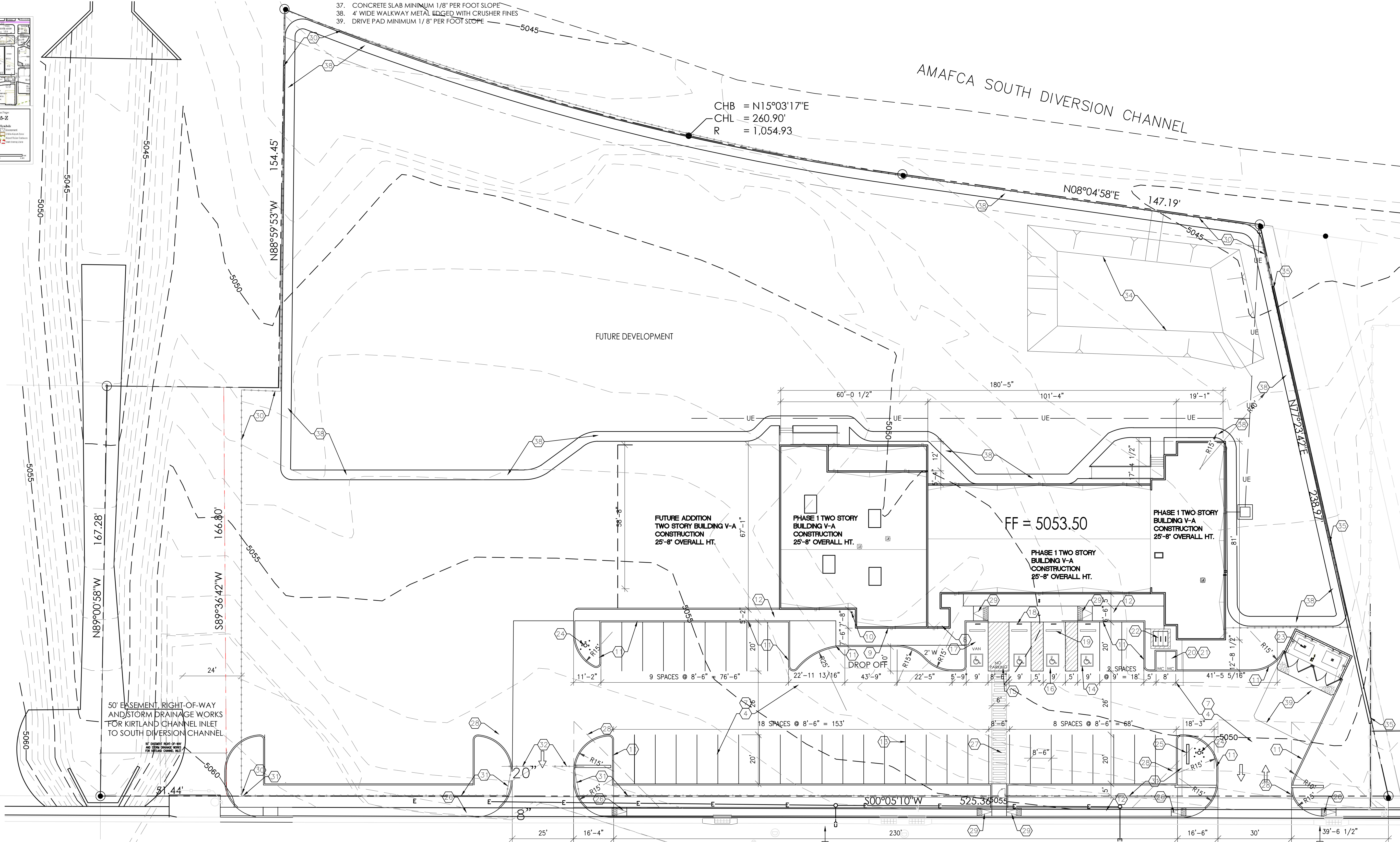
PROJECT CONSISTS OF CONSTRUCTING A WOOD FRAMED STRUCTURE FOR A MULTI-FAMILY FACILITY WITH OFFICES, INCORPORATING WOOD STUD FRAMED WALLS WITH 7/16" OSB SHEATHING, STUCCO FINISHES, TPO MEMBRANE ROOFING SYSTEM ON OSB ROOF SHEATHING OVER PRE-ENGINEERED WOOD ROOF TRUSSES, FULLY FIRE SPRINKLED.



VICINITY MAP DESCRIPTION

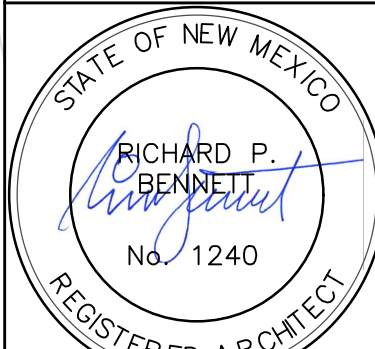
TRACT "A" OF PLAT OF TRACTS "A" AND "B", MULBERRY PROPERTIES, ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 29, 2009 IN MAP BOOK 2009C, FOLIO 22

2.8718 ACRES
UPC # 10105511141420220

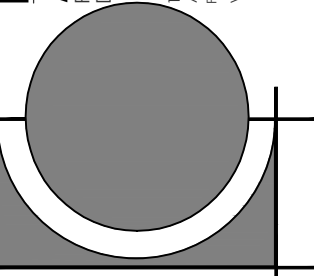


VETERANS INTERGATION CENTER
ARCH SITE PLAN
2701 MULBERRY ST S.E.
ALBUQUERQUE, NM 87106
PROJECT #2171

REVISION DATE



RBA
ARCHITECTURE PC
PLANNING
DESIGN



DATE
02-28-2023

SHEET NUMBER

AS-1.00

MULBERRY STREET

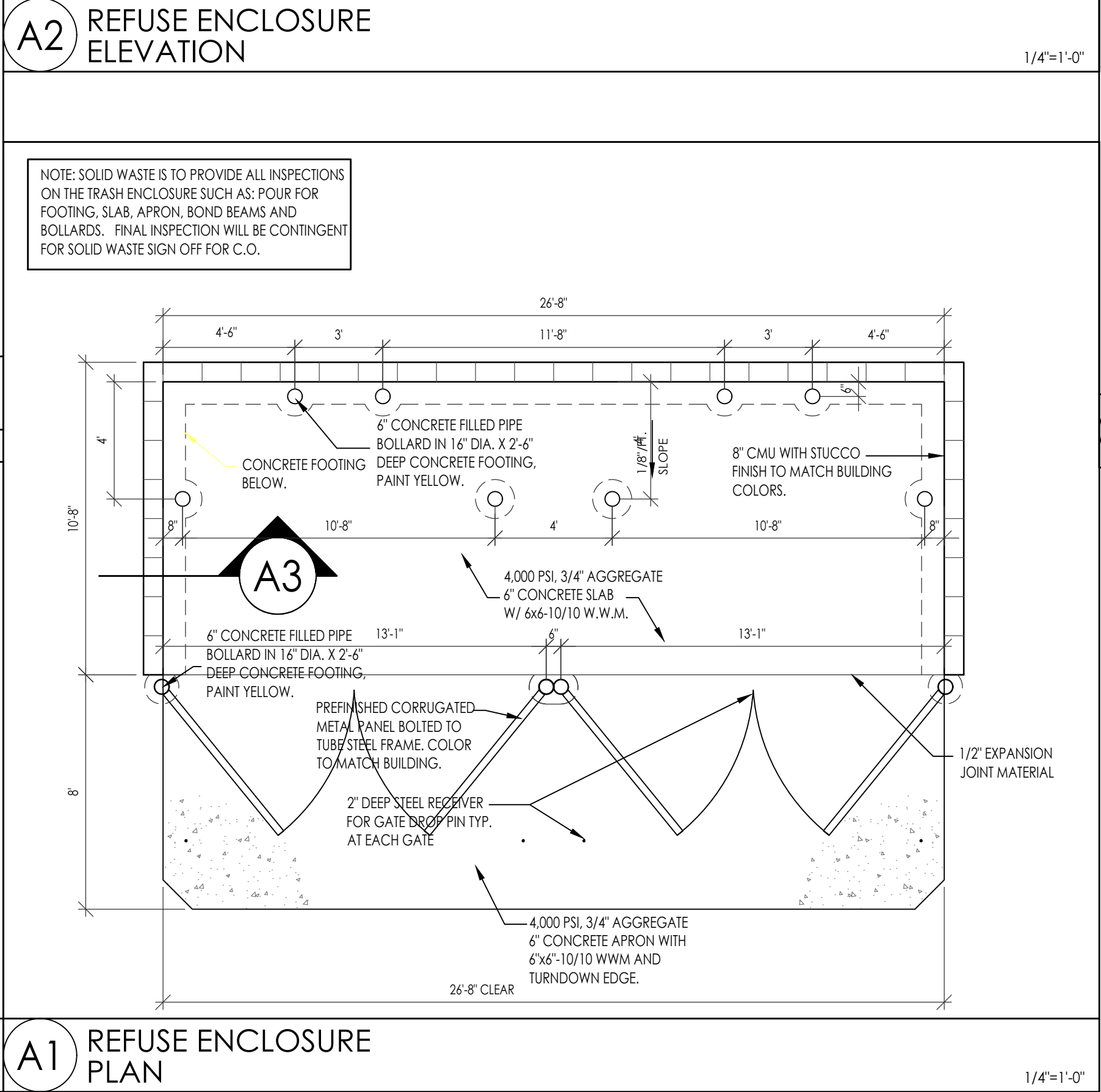
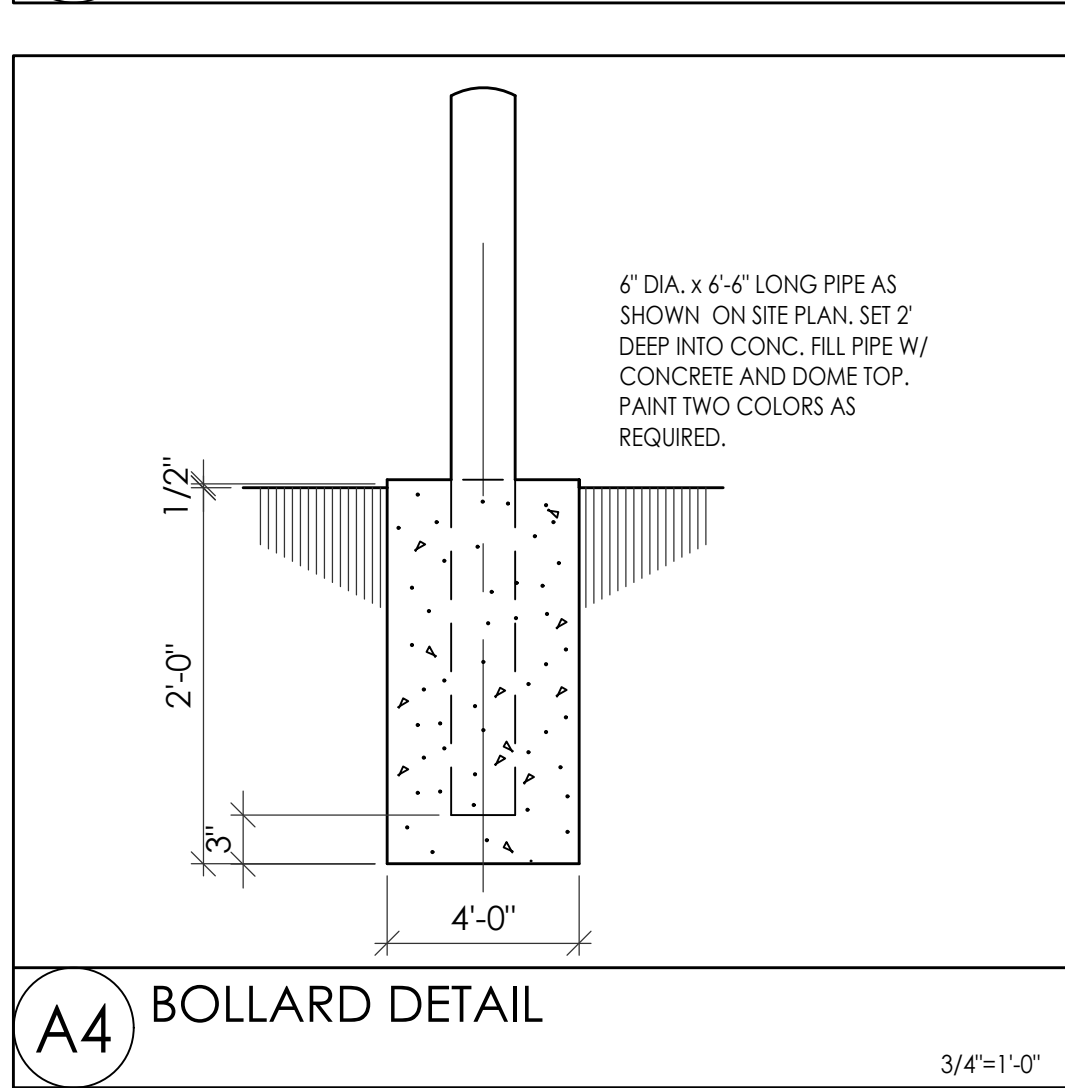
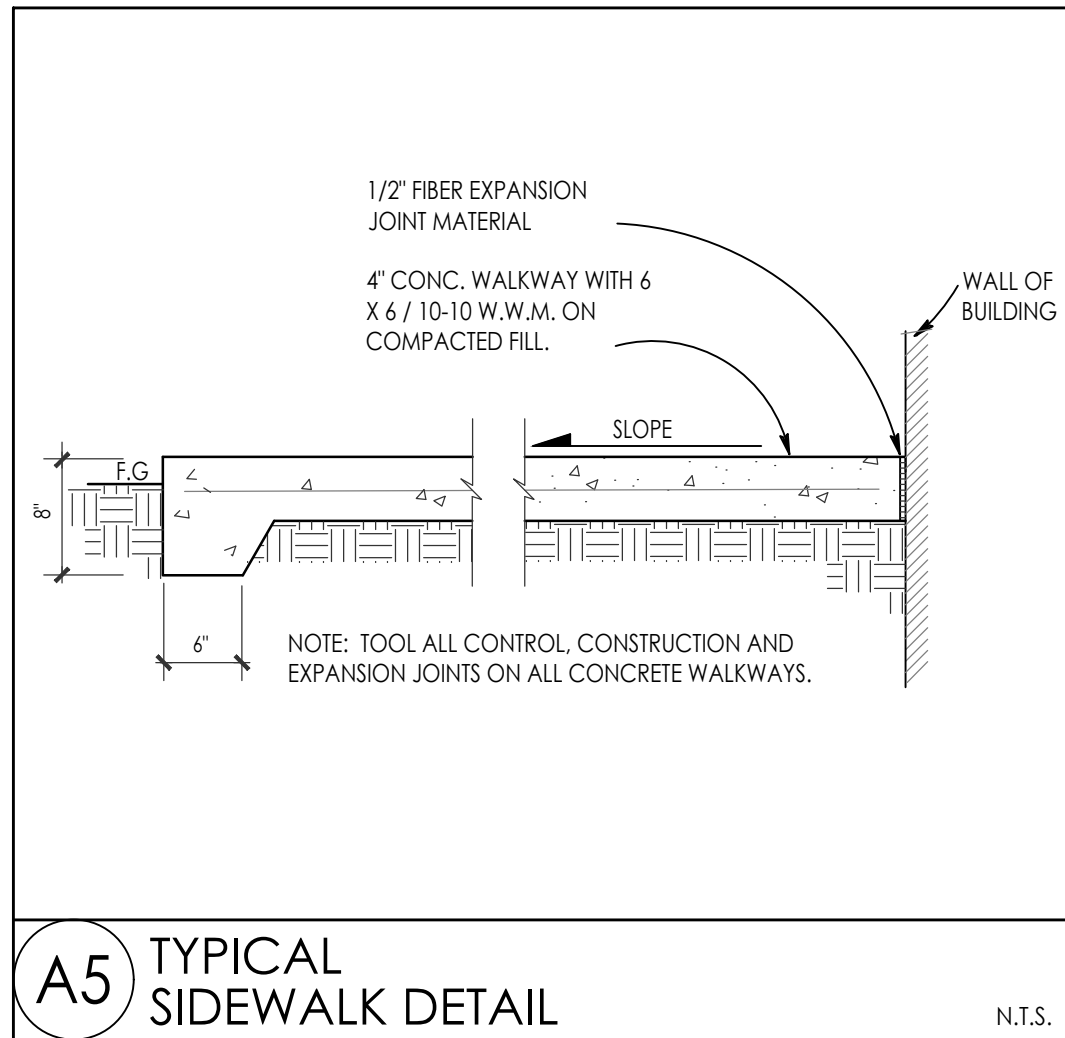
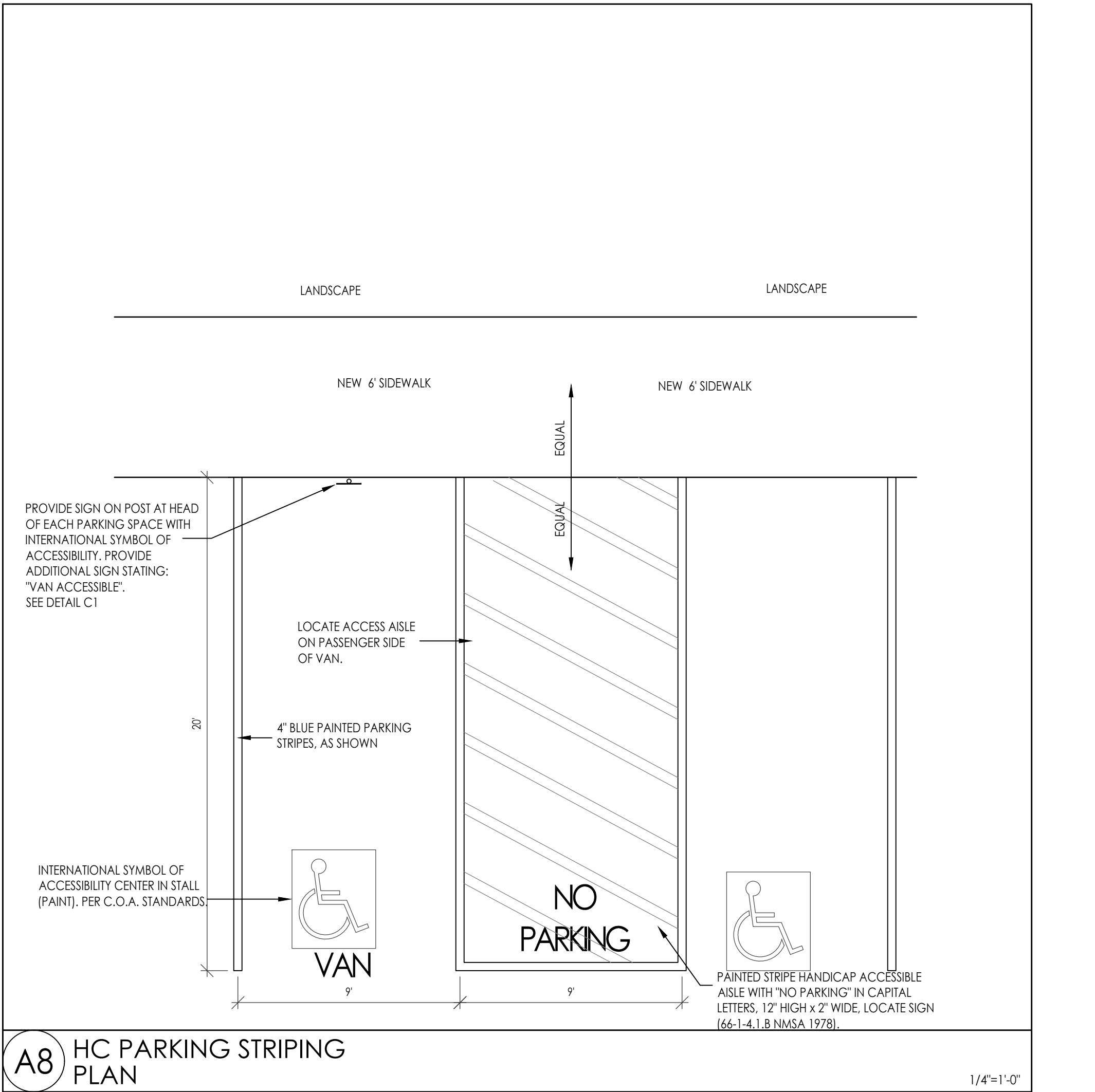
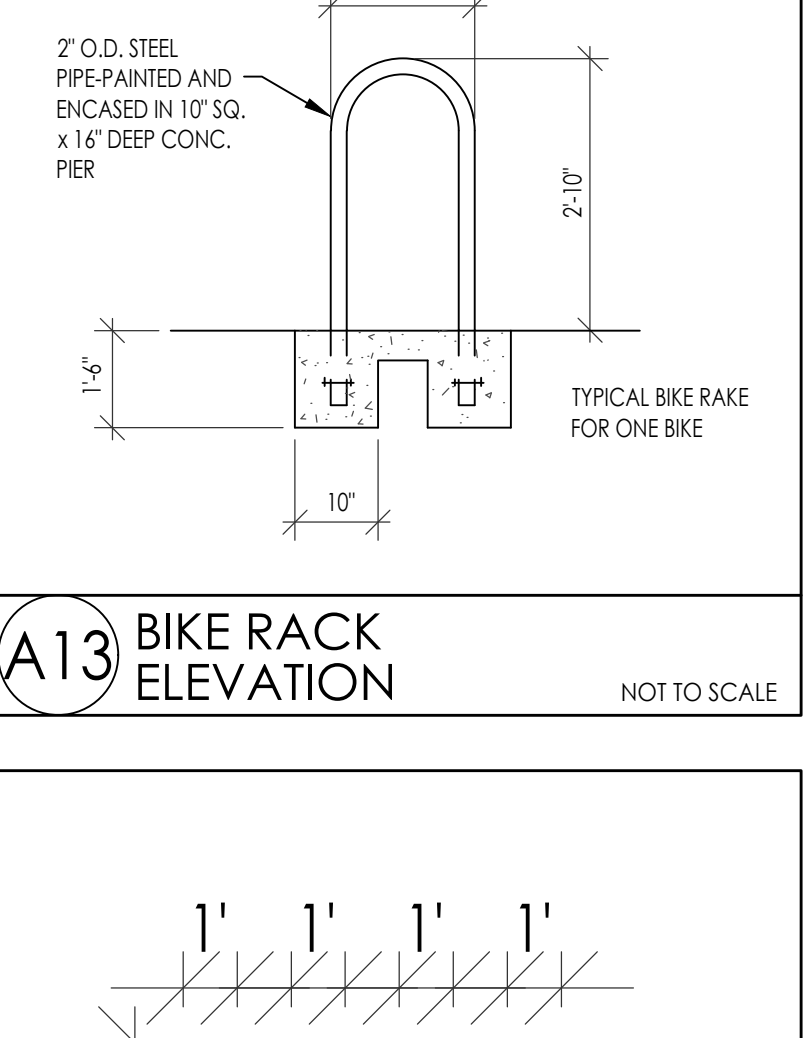
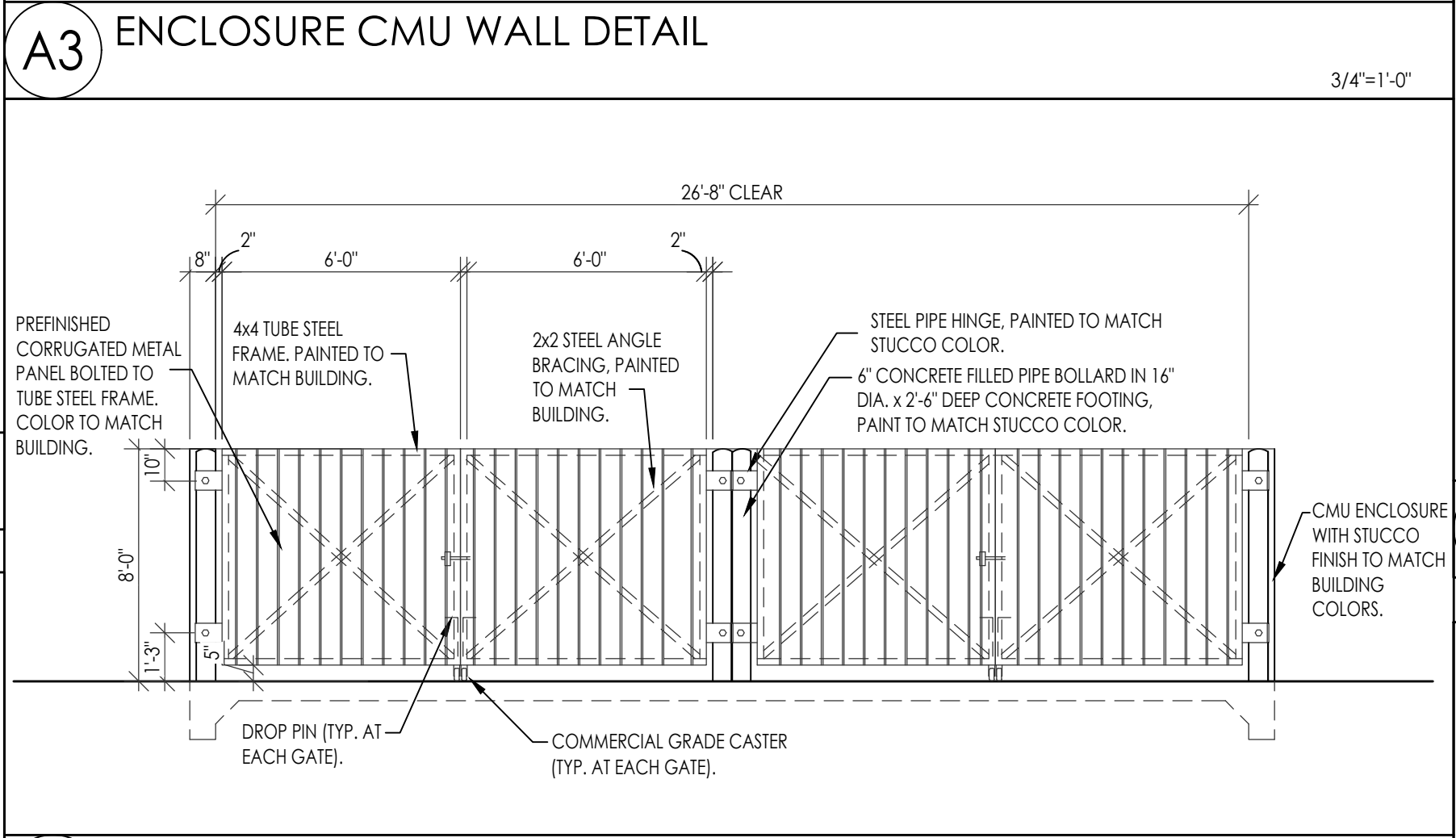
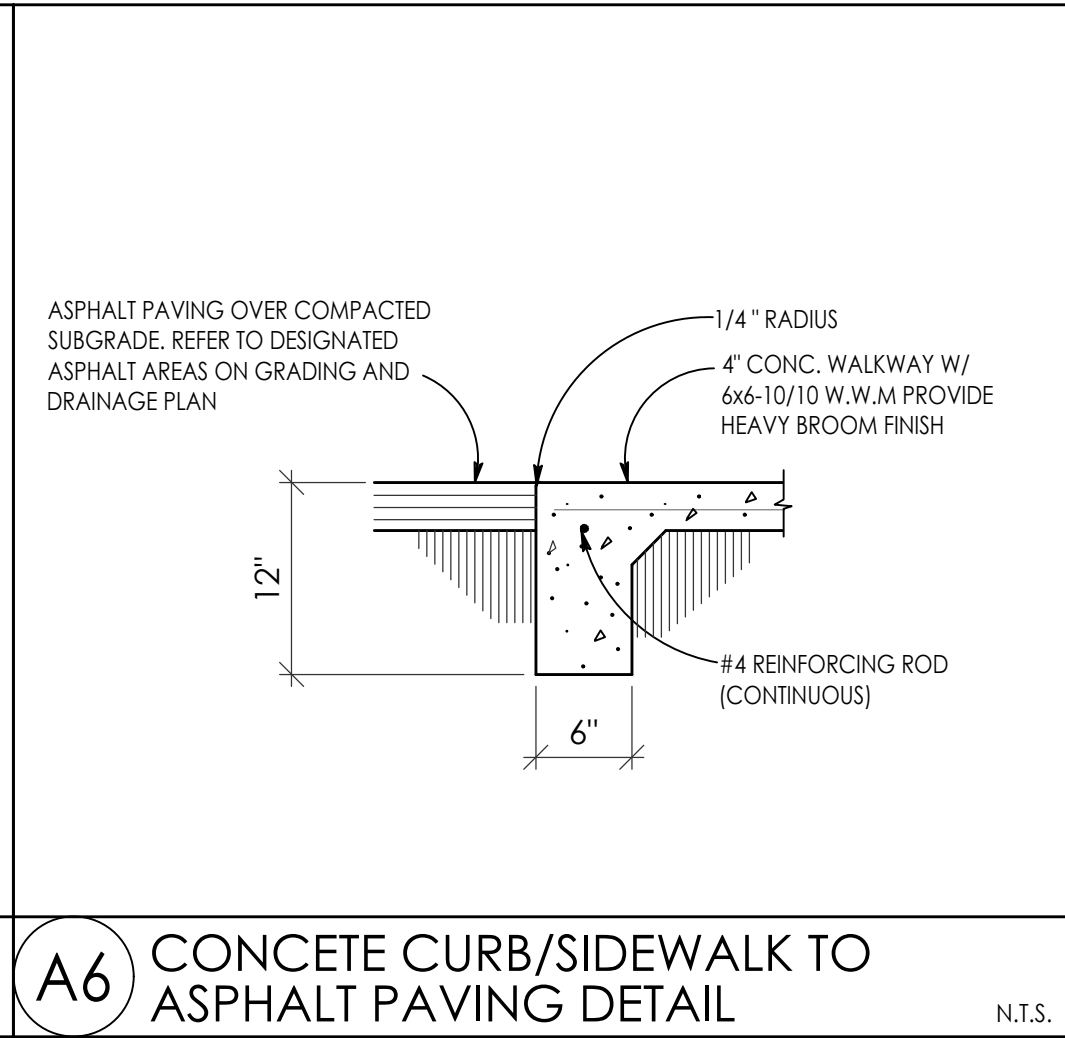
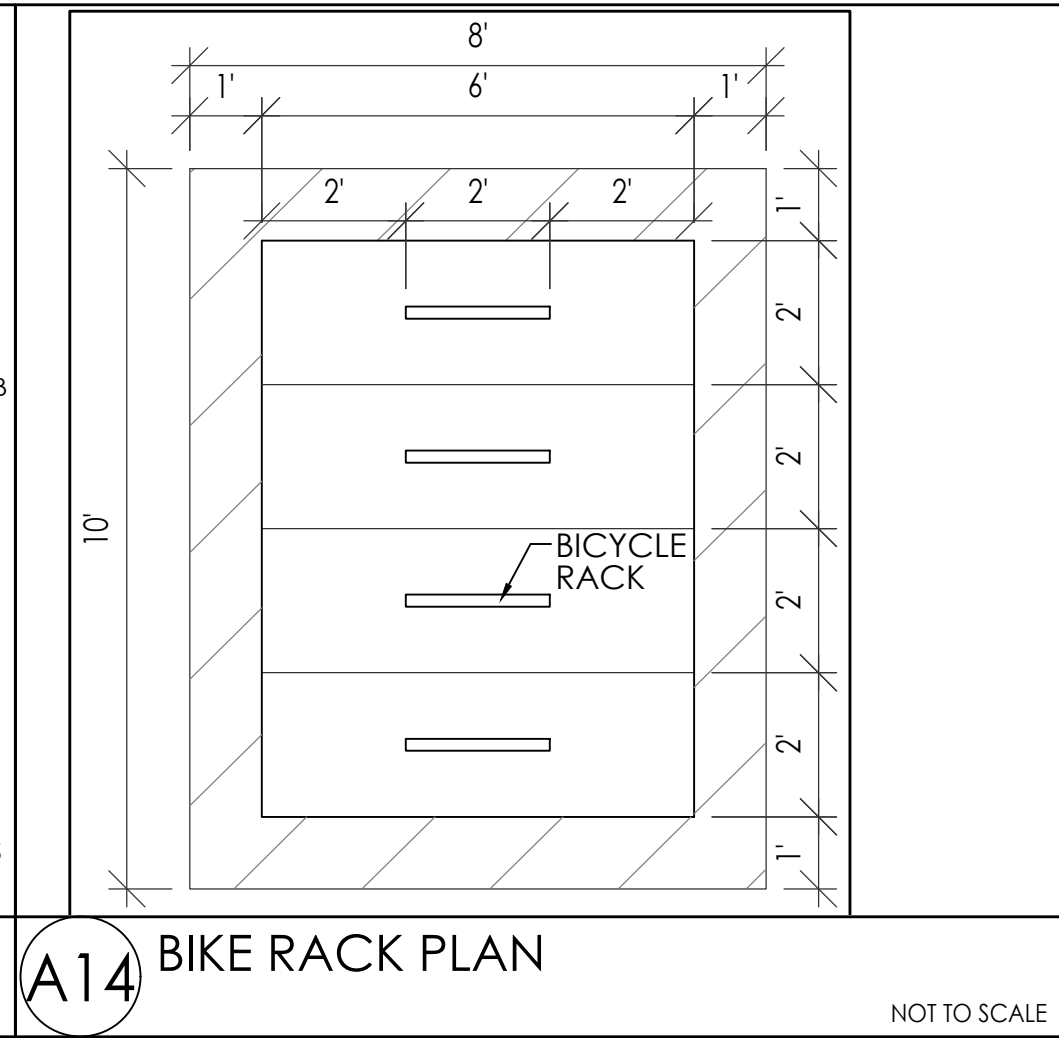
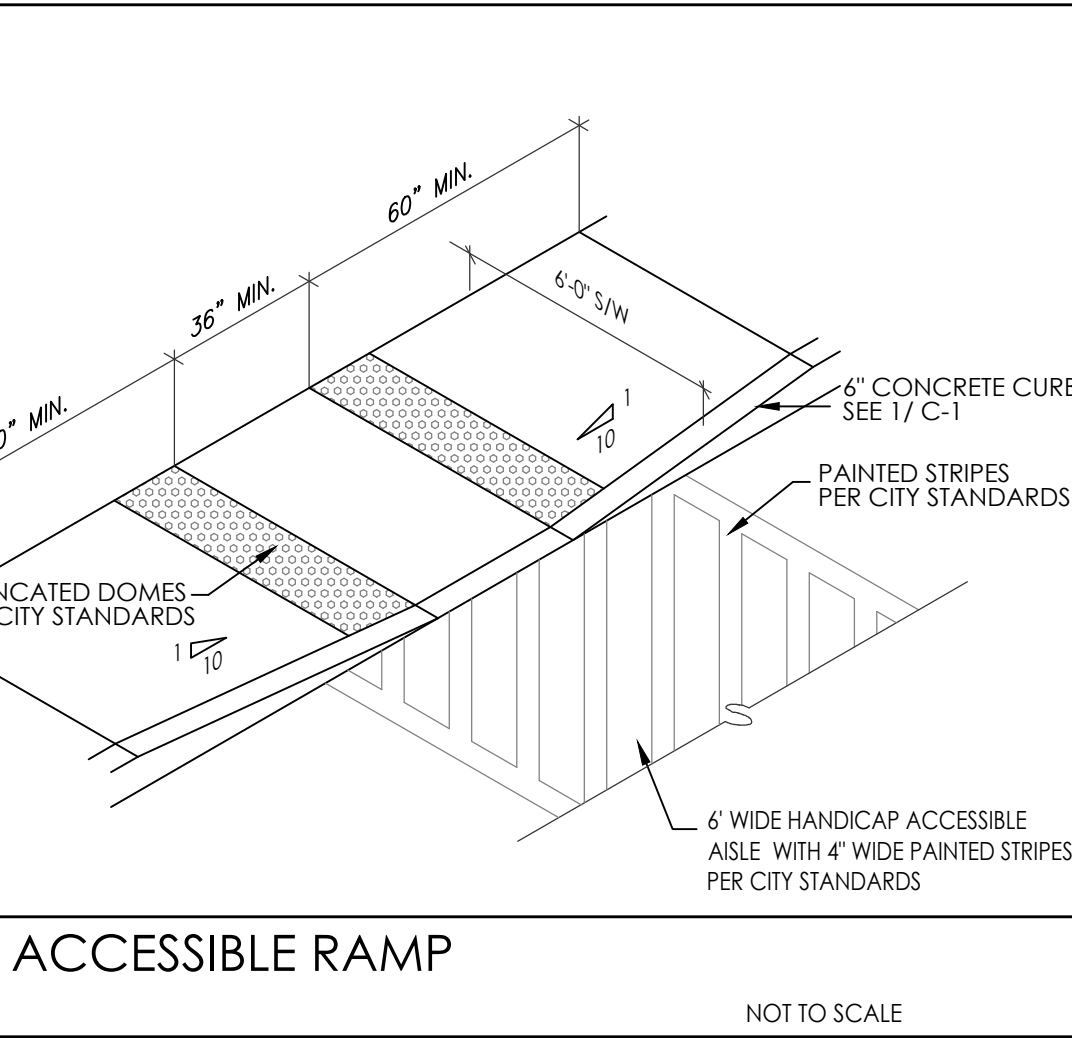
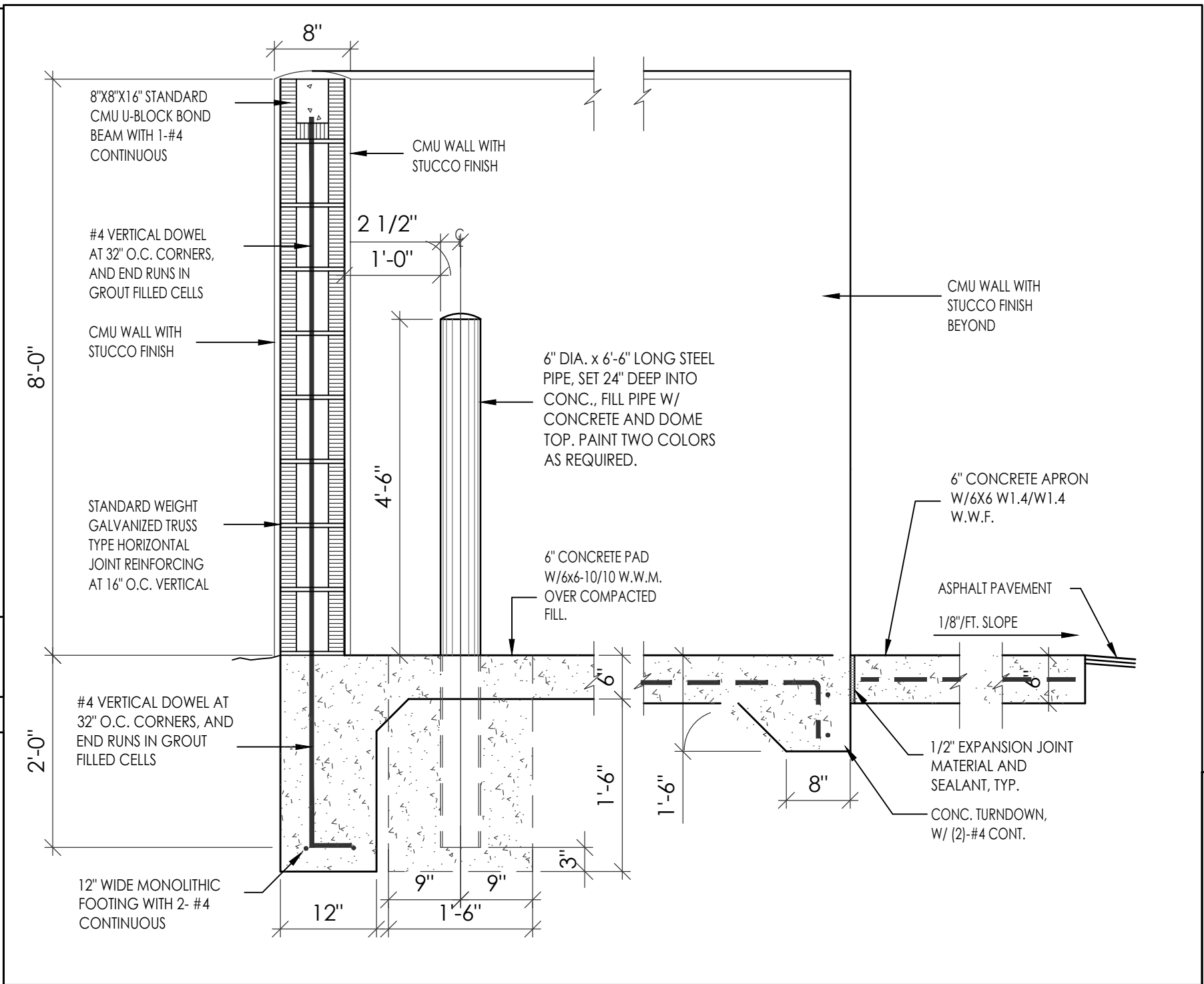
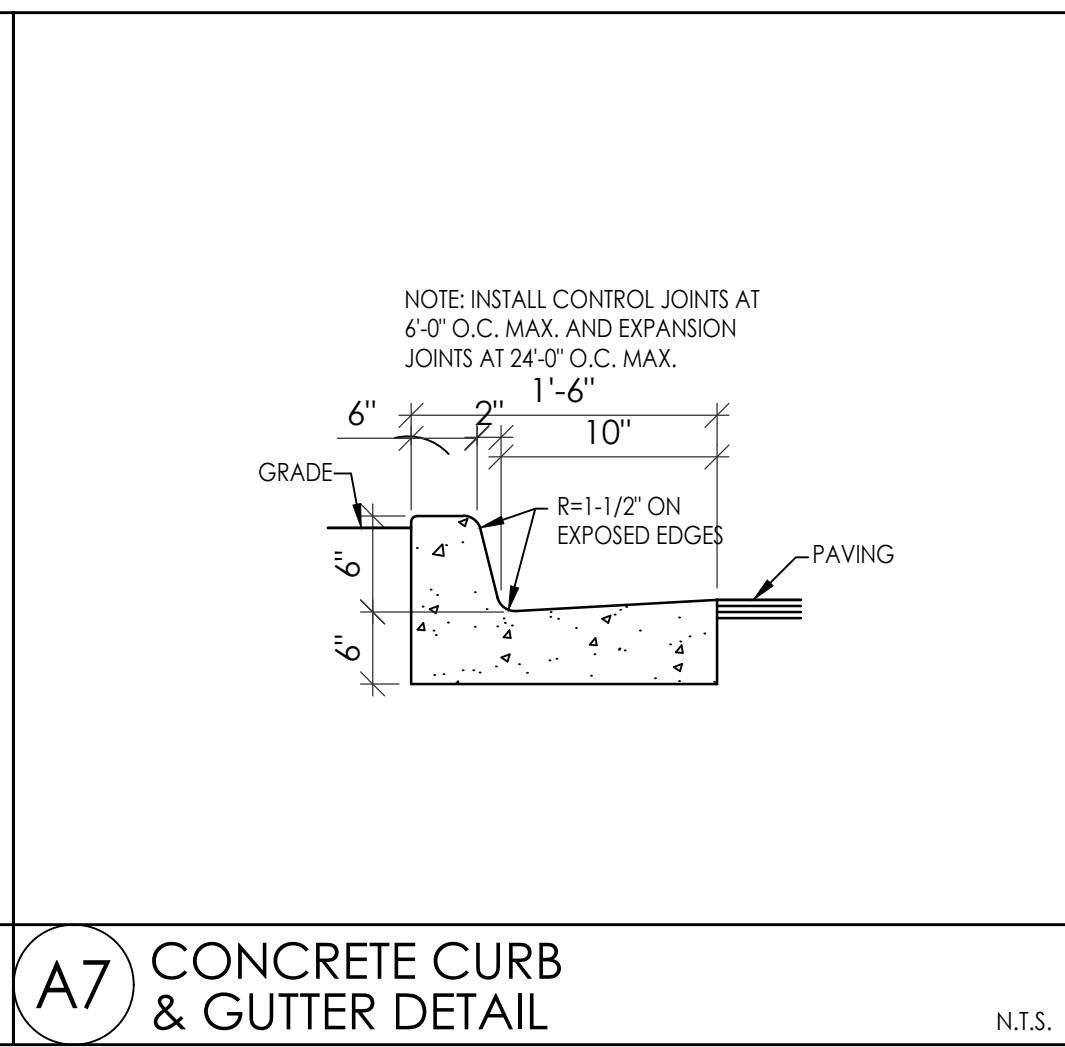
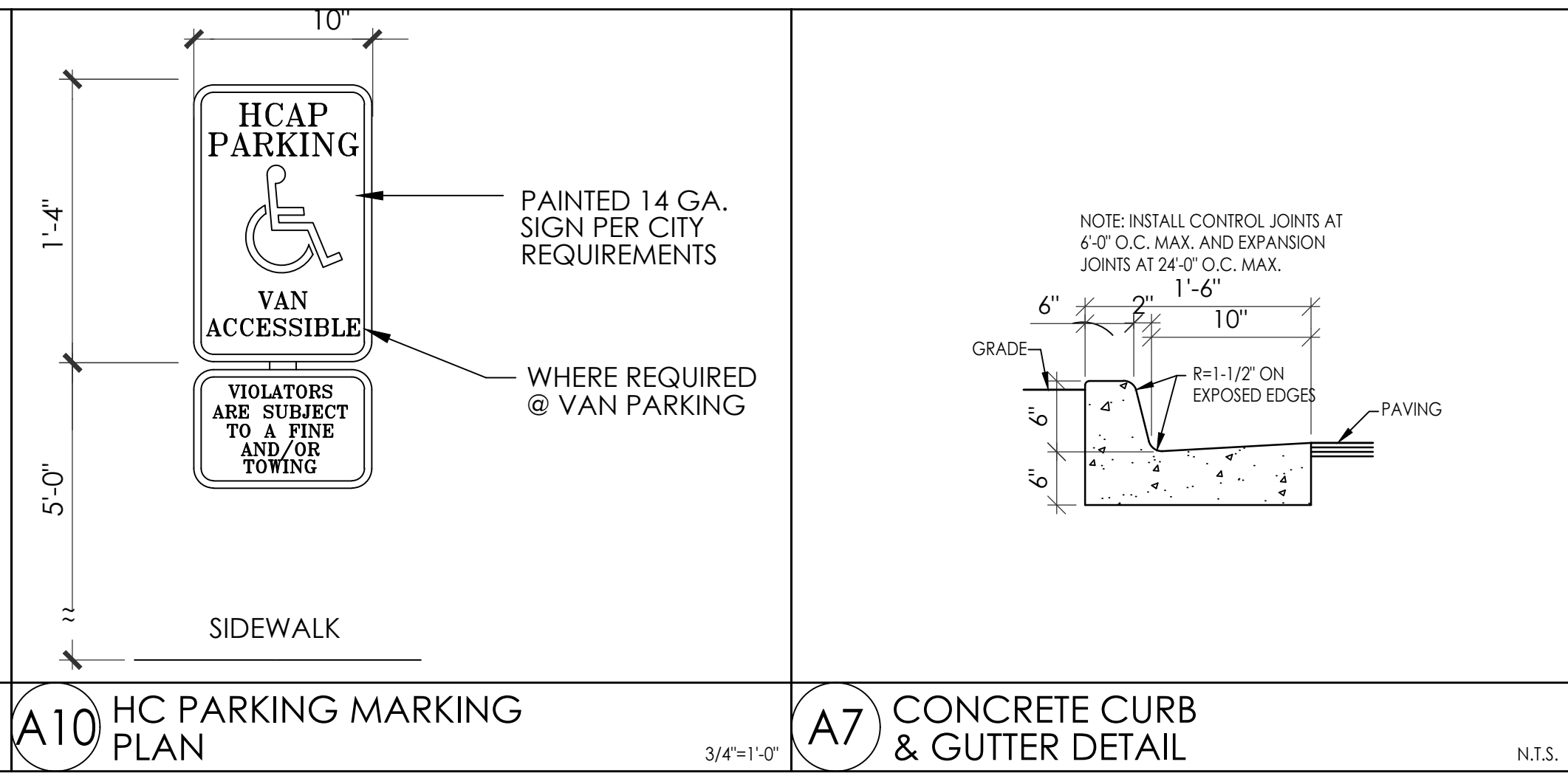
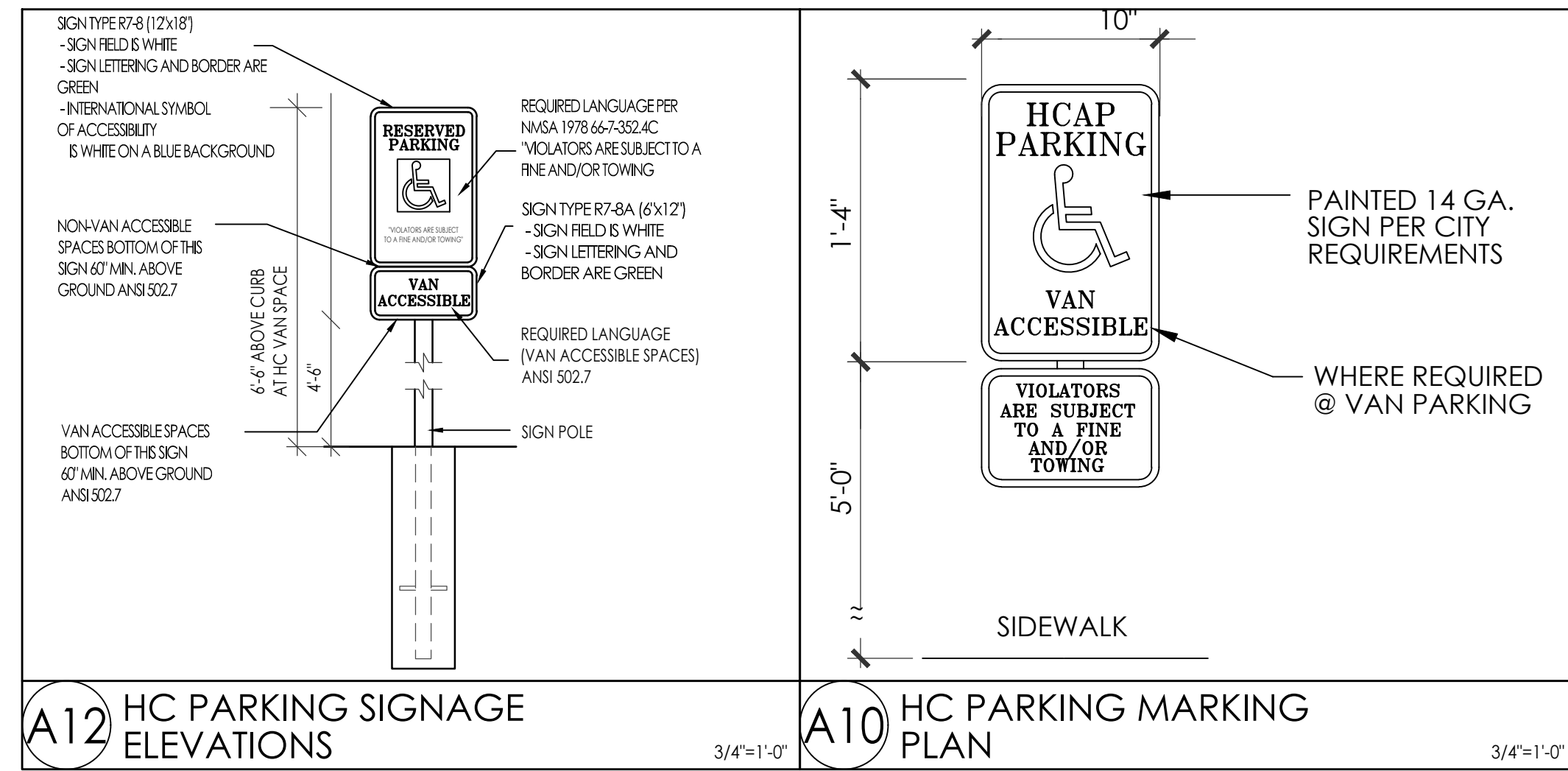
SITE PLAN

PHASE 1

1" = 20'-0"

BAR SCALE

(IN FEET)



VETERANS INTERGRATION CENTER
SITE DETAIL SHEET
2701 MULBERRY ST S.E.
ALBUQUERQUE, NM
PROJECT #2171

REVISION	DATE
RBA ARCHITECTURE, PC ARCHITECTURE PLANNING DESIGN 1000 Alameda Ave. SW Albuquerque, NM 87102 www.rbaarch.com	
DATE	02-28-2023
SHEET NUMBER	AS-2.00