

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 25, 2026

Ron Hensley, P.E.  
The Hensley Engineering Group  
300 Branding Iron Rd SE  
Rio Rancho, NM 87124

**RE: 1301 Flightway Ave SE  
Grading and Drainage Plan  
Engineer's Stamp Date: 03/19/2026  
Hydrology File: M15D056A  
Case # HYDR-2026-00090**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 03/10/2026, the Grading and Drainage Plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist for Non-Subdivision is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol. Submittal in ABQ-PLAN is also required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3995 or [baileythompson@cabq.gov](mailto:baileythompson@cabq.gov).

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

Sincerely,

A handwritten signature in black ink, appearing to read 'Bailey Thompson', followed by a long horizontal flourish.

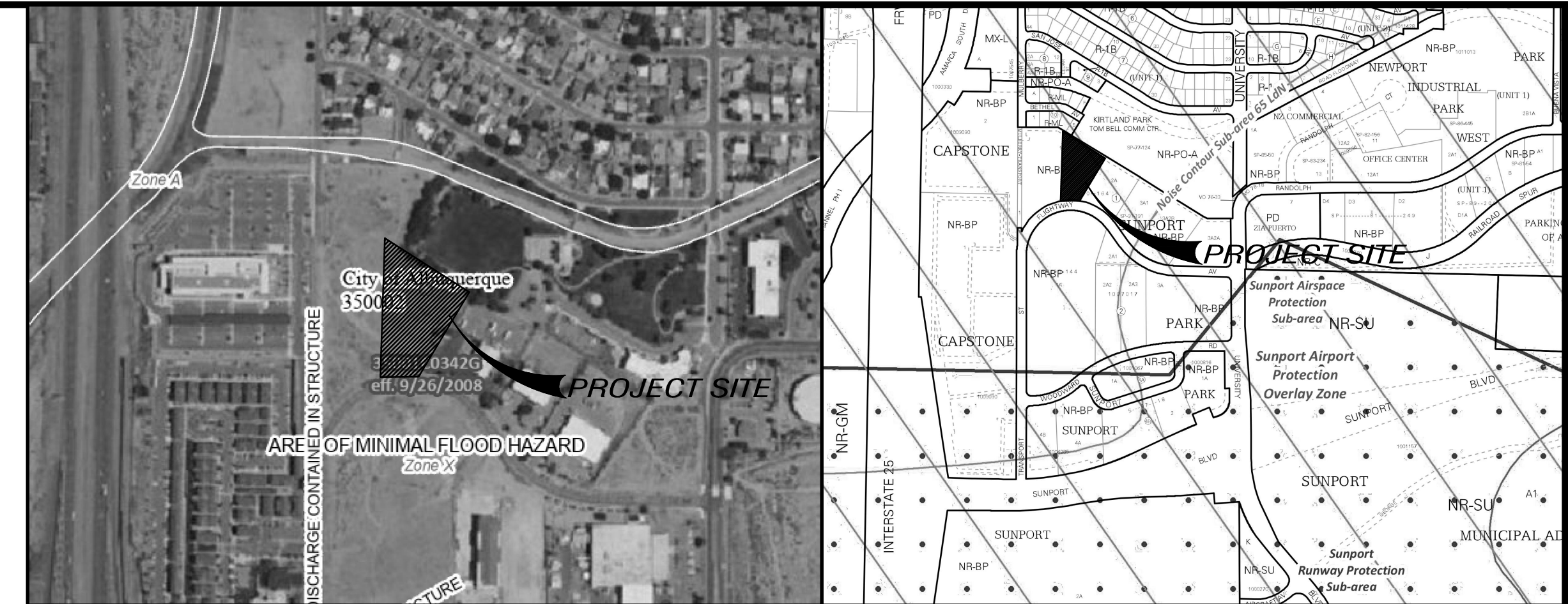
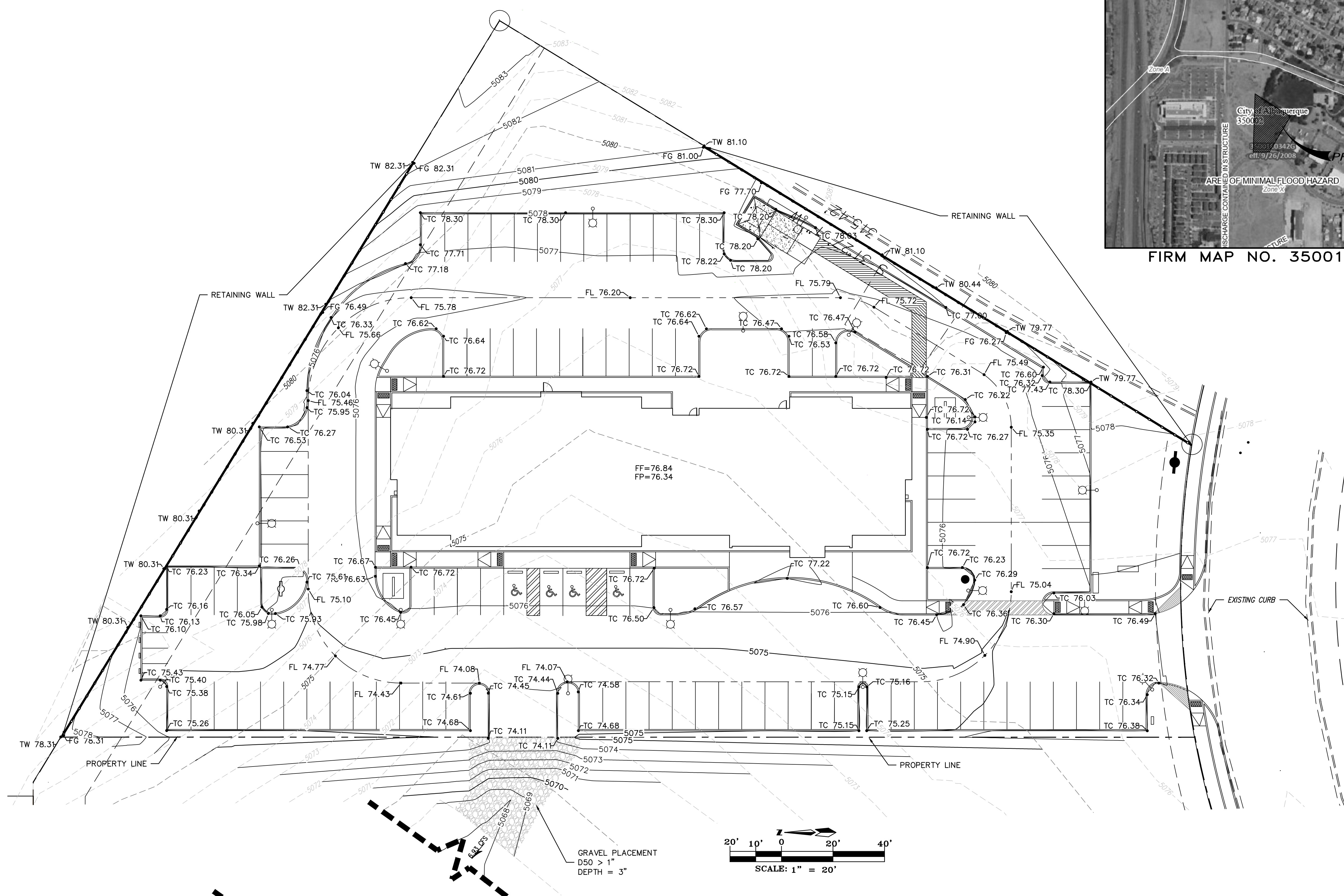
Bailey Thompson, E.I.T.  
Engineer Associate, Hydrology  
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



FIRM MAP NO. 35001C0342G

VICINITY MAP M-15-Z

- GENERAL NOTES:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
  - THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
  - THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED. SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE FINAL STABILIZATION CRITERIA "CGP 2.2.14.B").
  - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

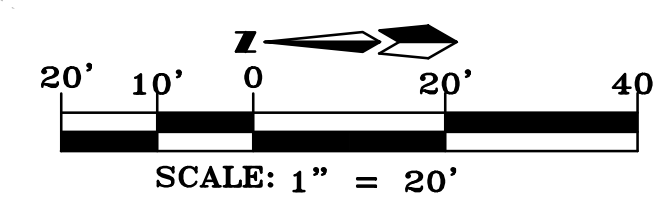
**NOTES**

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- EROSION CONTROL NOTES**
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GRAVEL PLACEMENT  
D50 > 1"  
DEPTH = 3"



**LEGAL DESCRIPTION**  
LOT 1-A-1 AND 1-A-2, SUNPORT PARK (REPLAT OF LOT 1A)

**BENCHMARK**  
ELEVATIONS ARE BASED ON A.G.R.S. MONUMENT "L\_25\_30"  
BRASS TABLET LOCATED AT THE NORTHWEST CORNER OF THE  
I-25 BRIDGE AND GIBSON BOULEVARD ELEVATION 5041.3

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 3/25/2026  
BY: [Signature]  
HydroTrans # M15D056A

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**LEGEND**

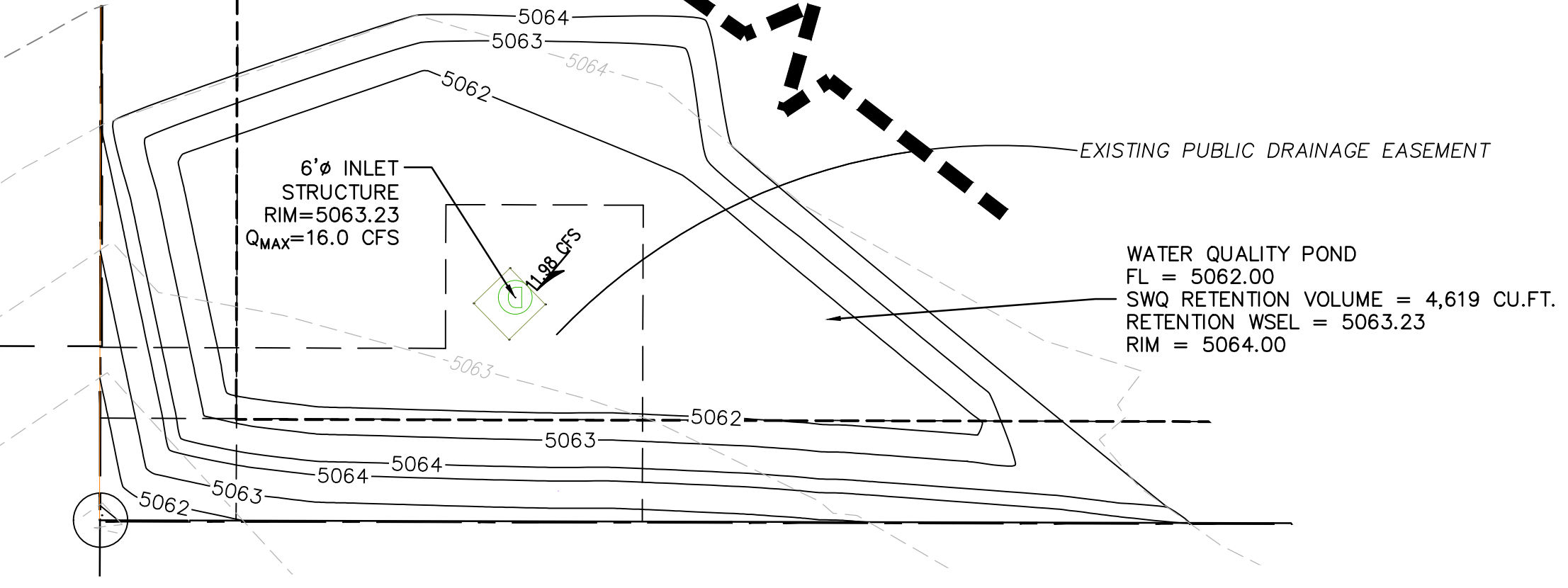
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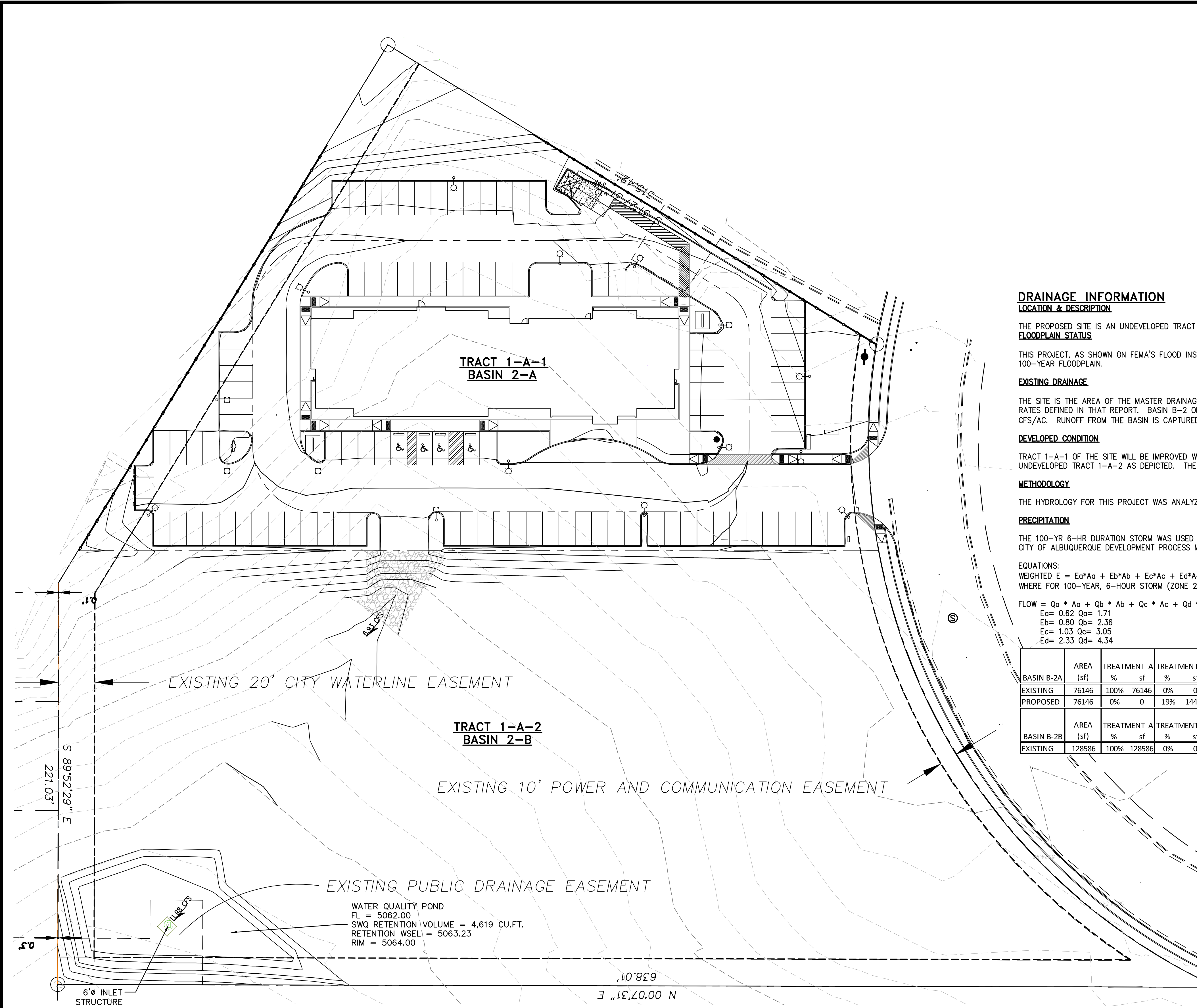
**Afra Construction & Design**  
2501 Yale Blvd SE Suite 102  
Albuquerque, New Mexico 87106  
Tel 505.242.1745  
Fax 505.242.1737

**GRADING PLAN**  
**TRU HOTEL**  
1321 Flightway Ave, Albuquerque, NM 87106

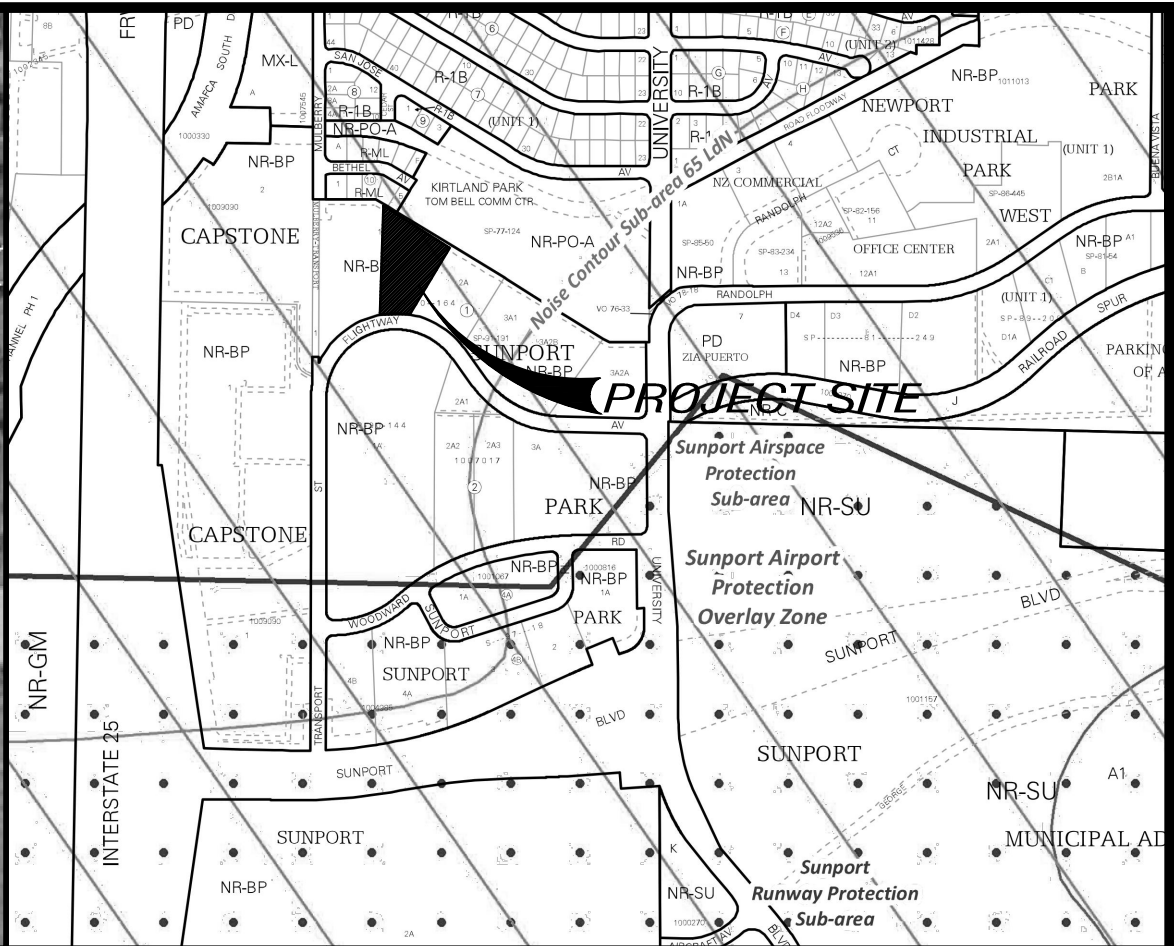
REV	DATE	DESCRIPTION	APVD

**GD-1**





FIRM MAP NO. 35001C0342G



VICINITY MAP M-15-Z

**DRAINAGE INFORMATION**

**LOCATION & DESCRIPTION**

THE PROPOSED SITE IS AN UNDEVELOPED TRACT BETWEEN FLIGHTWAY AVE. AND WOODWARD ROAD THAT HAS BEEN PREVIOUSLY GRADED.

**FLOODPLAIN STATUS**

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0342G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN.

**EXISTING DRAINAGE**

THE SITE IS THE AREA OF THE MASTER DRAINAGE PLAN OF "M15D023 - SUNPORT PARK PHASE I" AND IS RESTRICTED TO THE DISCHARGE RATES DEFINED IN THAT REPORT. BASIN B-2 OF THE REPORT CONTAINS THE SITE AND DEFINES RUNOFF FROM THE SITE AS 16.0 CFS OR 3.40 CFS/AC. RUNOFF FROM THE BASIN IS CAPTURED BY 6" DIAMETER INLET TO THE STORM DRAIN.

**DEVELOPED CONDITION**

TRACT 1-A-1 OF THE SITE WILL BE IMPROVED WITH A HOTEL. THE DRAINAGE FROM THE SITE WILL BE ROUTED TO THE POND ON THE UNDEVELOPED TRACT 1-A-2 AS DEPICTED. THE IS TO RESTRICT THE TOTAL DISCHARGE FROM BOTH TRACTS TO 16.0 CFS.

**METHODOLOGY**

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE WEIGHTED E METHOD.

**PRECIPITATION**

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 6.

**EQUATIONS:**

WEIGHTED E =  $E_a A_a + E_b A_b + E_c A_c + E_d A_d / (\text{Total Area})$   
 WHERE FOR 100-YEAR, 6-HOUR STORM (ZONE 2)

FLOW =  $Q_a A_a + Q_b A_b + Q_c A_c + Q_d A_d$   
 $E_a = 0.62$   $Q_a = 1.71$   
 $E_b = 0.80$   $Q_b = 2.36$   
 $E_c = 1.03$   $Q_c = 3.05$   
 $E_d = 2.33$   $Q_d = 4.34$

BASIN	AREA (sf)	TREATMENT A %	TREATMENT A sf	TREATMENT B %	TREATMENT B sf	TREATMENT C %	TREATMENT C sf	TREATMENT D %	TREATMENT D sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	ALLOWED FLOW (cfs)	CFS/AC (cfs)	ALLOWED (cfs/ac)
BASIN B-2A															
EXISTING	76146	100%	76146	0%	0	0%	0	0%	0	0.6200	3934	2.99	5.94	1.71	3.40
PROPOSED	76146	0%	0	19%	14468	0%	0	81%	61678	2.0393	12940	6.93	5.94	3.96	3.40
BASIN B-2B															
EXISTING	128586	100%	128586	0%	0	0%	0	0%	0	0.6200	6644	5.05	10.04	1.71	3.40

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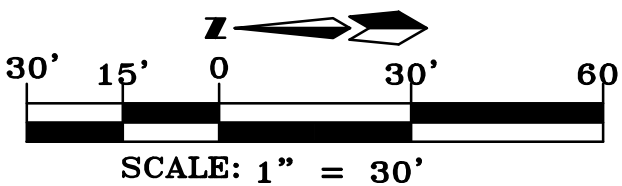
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**REQUIRED WATER QUALITY VOLUME**

SITE DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

SITE DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING WATER QUALITY RUNOFF RETENTION ON THE SITE IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA \* 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 61,678 SQ.FT.  
 REQUIRED VOLUME = 61,678 \* 0.42/12 = 2,159 CU.FT.  
 VOLUME PROVIDED = 4,619 CU.FT.



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ROY E. HENSLEY  
 NEW MEXICO  
 21850  
 LICENSED PROFESSIONAL ENGINEER  
 3/19/26

**THE group**

THE HENSLEY ENGINEERING GROUP  
 300 BRANDING IRON RD. SE  
 RIO RANCHO, NEW MEXICO 87124  
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REV	DATE	DESCRIPTION	APVD

**GD-2**