



**Development Review Board (DRB)  
Review Comments  
Utility Development Section  
Reviewer: Kristopher Cadena, P.E.  
Phone: 505.289.3301**

<b>DRB Project No:</b>  PR-2019-002651	<b>Date:</b>  6/29/22	<b>Item No:</b>  #11
<b>Zone Atlas Page:</b>  M-15	<b>Legal Description: Lot(s)</b> PARCEL 2A, SUNPORT PARK  <b>Location:</b> 1501 AIRCRAFT AV SE between I-25 and UNIVERSITY BLVD	
<b>Request For:</b> SD-2022-00094 – PRELIMINARY/FINAL PLAT		

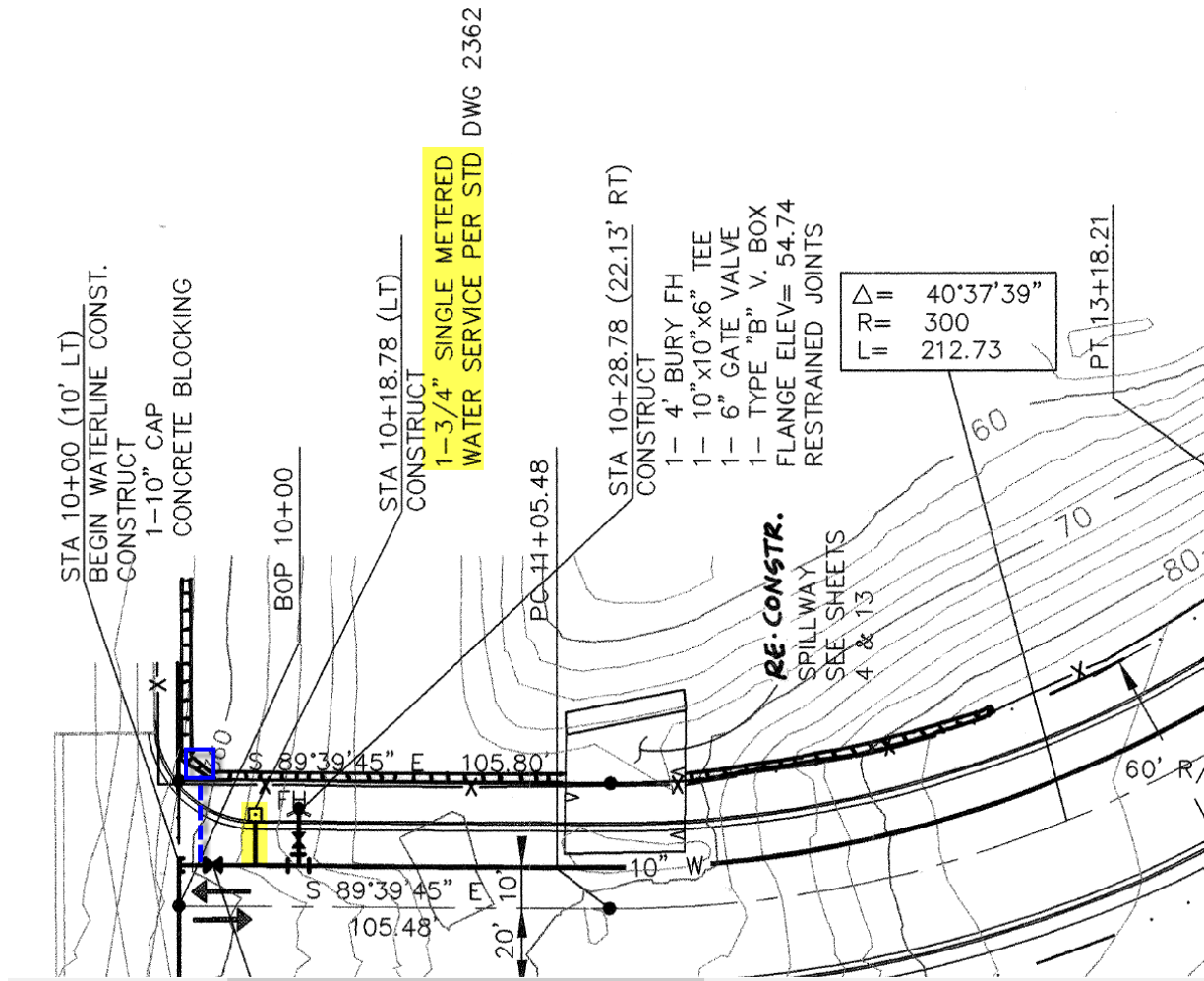
**ABCWUA Comment:**

**Please provide written description of how the following comments were addressed with the next submittal.**

**1. Required for Preliminary/Final Plat approval**

- a. Please describe if the following prior comments have been addressed.
- b. Has the existing water service and sanitary sewer service been preserved for the existing building(s) on proposed Parcel 2A1? Please confirm by showing these services on an exhibit. Please determine if easements for these private services are required.
- c. Coordinate with NM 811 to field locate and survey the existing public water and sewer infrastructure. If existing infrastructure is not within the existing easements, dedicate additional easement to provide the minimum widths over the actual pipe locations.
- d. The plat proposes a 20' private waterline and gasline easement for the benefit of proposed Parcel 2A2.
  - i. Please provide additional dimensioning further south so it is clear near the southeast corner of the platted area.
  - ii. This seems to attempt to access the existing public waterline along Aircraft Ave. The image below is an excerpt from the as-builts associated with this existing waterline.

The proposed water service (shown in blue) for proposed Parcel 2A2 shall be perpendicular to the existing waterline and the meter shall be located within the public right-of-way. With that being said, there may be the need for a small private service easement near the southwest corner of existing Lot K (City owned property) to accommodate this service. This additional easement needs to be secured prior to plat approval to ensure the subject property is not landlocked for water service. Based on the as-builts, the existing waterline terminates at or near the eastern property line of proposed Parcel 2A1, therefore requiring the need for this offsite easement. The end of the waterline appears to be 10' west of the existing valve shown in the image below.





**2. Required for future Site Plan approval (not part of subject case)**

- a. Serviceability Letter #211207 has been issued and sets the criteria for service. However, as stated in the Closure section, service was not committed as fire flow requirements were not provided with the request. A new request shall be made in order to receive an Availability Statement which provides a commitment for service. This request shall include the fire marshal requirements. The request shall also include a utility plan.
- b. Proposed Parcel 2A1 and Proposed Parcel 2A2 shall have separate water services, sanitary sewer services and fire line services (if applicable). Sharing of services between lots is not allowed.
- c. Utility Plan:
  - i. Provide a utility plan that indicates the location of proposed water and sanitary sewer services.
  - ii. Has the existing sanitary sewer service been preserved? Please confirm show on the proposed utility plan.
  - iii. Show existing public water and public sewer mains and any associated easements on the utility plan.
  - iv. Dimension the public water and public sewer easements on the utility plan.
  - v. There shall be no trees, parallel fences/sidewalks/curbs, or structures within the public water and public sewer easement.

**3. Information Only:**

- a. This project is within the adopted service area.
- b. Pro rata is not owed for this property.
- c. Infrastructure List: No public improvements are required in the Availability Statement.

# DEVELOPMENT REVIEW BOARD

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Jeff Palmer-Code Enforcement Supervisor  
Planning Department  
[jppalmer@cabq.gov](mailto:jppalmer@cabq.gov)

DATE: 6/29/2022

**AGENDA ITEM NO:** 11

**DRB PROJECT NUMBER:**

**PR-2019-002651**

**SD-2022-00094 – PRELIMINARY/FINAL PLAT**

**PROJECT NAME:**

**ARCH + PLAN LAND USE CONSULTANTS LLC** agent for **R & B LLC** requests the aforementioned action(s) for all or a portion of: **PARCEL 2A, SUNPORT PARK** zoned **NR-BP**, located at **1501 AIRCRAFT SE** between **I-25** and **UNIVERSITY BLVD** containing approximately 48.6595 acre(s). (M-15) [Deferred from 6/15/22]

**PROPERTY OWNERS:** R&B LLC

**REQUEST:** CREATE 2 LOTS FROM ONE EXISTING LOT

**COMMENTS:**

- 1. No comments or objections.**

DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2019-002651  
1501 Aircraft

AGENDA ITEM NO: 11

SUBJECT: Preliminary/Final Plat

ENGINEERING COMMENTS:

Previous comments to still be addressed:

1. Provide proposed site plan that corresponds to lot line layout to ensure there are no conflicts between parcel lines and proposed layout.
2. Establish shared parking (as applicable) for the new lot layout. Maintenance responsibilities and beneficiaries shall also be named of both shared parking and share access easement.
3. Define infrastructure within the "Permanent Easement for Turnaround". This would be compared against the easement boundaries.
4. A TCL (Traffic Circulation Layout) will be required prior to building permit approval.
5. What are the uses of this development? A TIS or Trip Generation Exhibit may need to be provided.
6. *Parks and Recreation had inquired about the trail along the property and the Sunport Plans to find out about any trail possible extension to follow the MRCOG plan.*

. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.  
Transportation Development  
505-924-3991 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

DATE: June 29, 2022

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

**DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION**  
 Renée Brissette, PE, Senior Engineer | 505-924-3995 [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov)

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DRB Project Number: 2019-002651 Hearing Date: **06-29-2022**  
 Project: 1501 Aircraft Agenda Item No: **11**

<input type="checkbox"/> Sketch Plat	<input checked="" type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat Ext	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

**ENGINEERING COMMENTS:**

- A cross lot drainage easement naming beneficiaries and maintenance responsibilities will need to be added to the plat.
- Comment - At time of development an approved Grading and Drainage Plan will be required prior to Site plan or Building permit if any of the following conditions are met: 500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving.

**RESOLUTION/COMMENTS:**

Water:

Code:

Parks and Rec.:

Transportation:

Planning:

APPROVED  
 DENIED

DELEGATED TO:  TRANS  HYD  WUA  PRKS  PLNG  
 Delegated For: \_\_\_\_\_  
 SIGNED:  I.L.  SPSD  SPBP  FINAL PLAT  
 DEFERRED TO \_\_\_\_\_



## DEVELOPMENT REVIEW BOARD

### Planning Dept. - Minor Case Comments

**HEARING DATE:** 6/15/22 -- **AGENDA ITEM:** #11

**Project Number:** PR-2019-002651

**Application Number:** SD-2022-00094

**Project Name:** Parcels 2A1 and 2A2 Sunport Park Addition

**Request:** P & F Plat

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*\*These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

#### COMMENTS:

##### Update 6/27/22:

- **An Administrative Amendment depicting the subdivision on the existing Site Plan has been submitted and was approved.**
  
  - **At the June 15 DRB hearing for the application, the DRB was informed about a proposed hotel development on one of the proposed lots. The development of the proposed hotel, based on the GFA of square footage proposed at the June 15 DRB hearing, will require a later/separate major action (Major Site Plan Amendment – EPC, Major Site Plan Amendment – DRB, Site Plan – DRB). Staff will have to determine which of the possibilities are required. The later action required for the proposed hotel will not affect the status of the Minor Preliminary/Final Plat.**
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- The application number must be added to the Plat.
  - ~~An EPC/DRB Site Plan approval governs the site (Z-85-98-1/1000530). A Minor Administrative Amendment depicting the subdivision must be approved.~~
  - The DXF file for the Plat must be approved by AGIS and submitted.
  - All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions. Re-plating action cannot increase any existing nonconformity or create a new nonconformity.
  - The parking requirements for future uses on the site must be met for both lots.
  - Diligence should be made to ensure parking requirements for future uses can/will be met.

*Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.*

FROM: Jay Rodenbeck  
Planning Department

DATE: 06/28/22

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## DEVELOPMENT REVIEW BOARD

### Parks and Recreation Department

PR-2019-002651

PS-2022-00036 – SKETCH PLAT

ARCH + PLAN LAND USE CONSULTANTS LLC agent for R & B LLC requests the aforementioned action(s) for all or a portion of: PARCEL 2A, SUNPORT PARK zoned NR-BP, located at 1501 AIRCRAFT SE between I-25 and UNIVERSITY BLVD containing approximately 48.6595 acre(s). (M-15)

PROPERTY OWNERS: R & B LLC

REQUEST: CREATE 2 LOTS FROM 1 EXISTING LOT

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PROPERTY OWNERS: R&B LLC

REQUEST: CREATE 2 LOTS FROM ONE EXISTING LOT

03-09-2022

Existing multi-use trail may need access easement if it is not completely within the ROW.

06-15-2022

Multi-purpose trail exists at the corner where the new parcel 2A2 will be located. The MRCOG LRBS shows a proposed multi-purpose trail continuing west along Sunport Blvd, wrapping around the corner of the property, and heading south down I-25 ROW. This may be a DMD project. We will need to discuss with the Transportation engineer since they are the connection with DMD.

06-29-2022

PRD contacted Bernalillo County (Julie Luna, Transportation Planner) and have not received a response yet. The Proposed Trail that extends west and south is labeled the "San Jose Lateral Trail" and links MRGCD ROW. There appears to be enough ROW for the proposed trail without an additional easement, but it would be preferable to confirm with Bernalillo County.