

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 13, 2024

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Olivas Enterprises LLC Contractors Yard  
Grading & Drainage Plan  
Engineer's Stamp Date: 05/07/24  
Hydrology File: M15D058**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 04/22/2024, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology.

www.cabq.gov

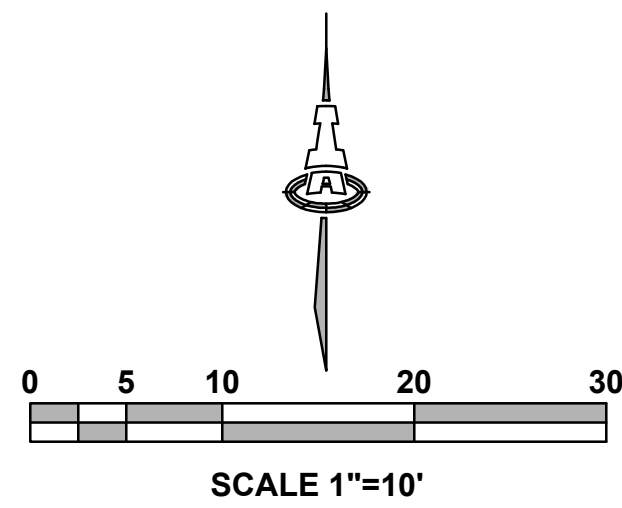
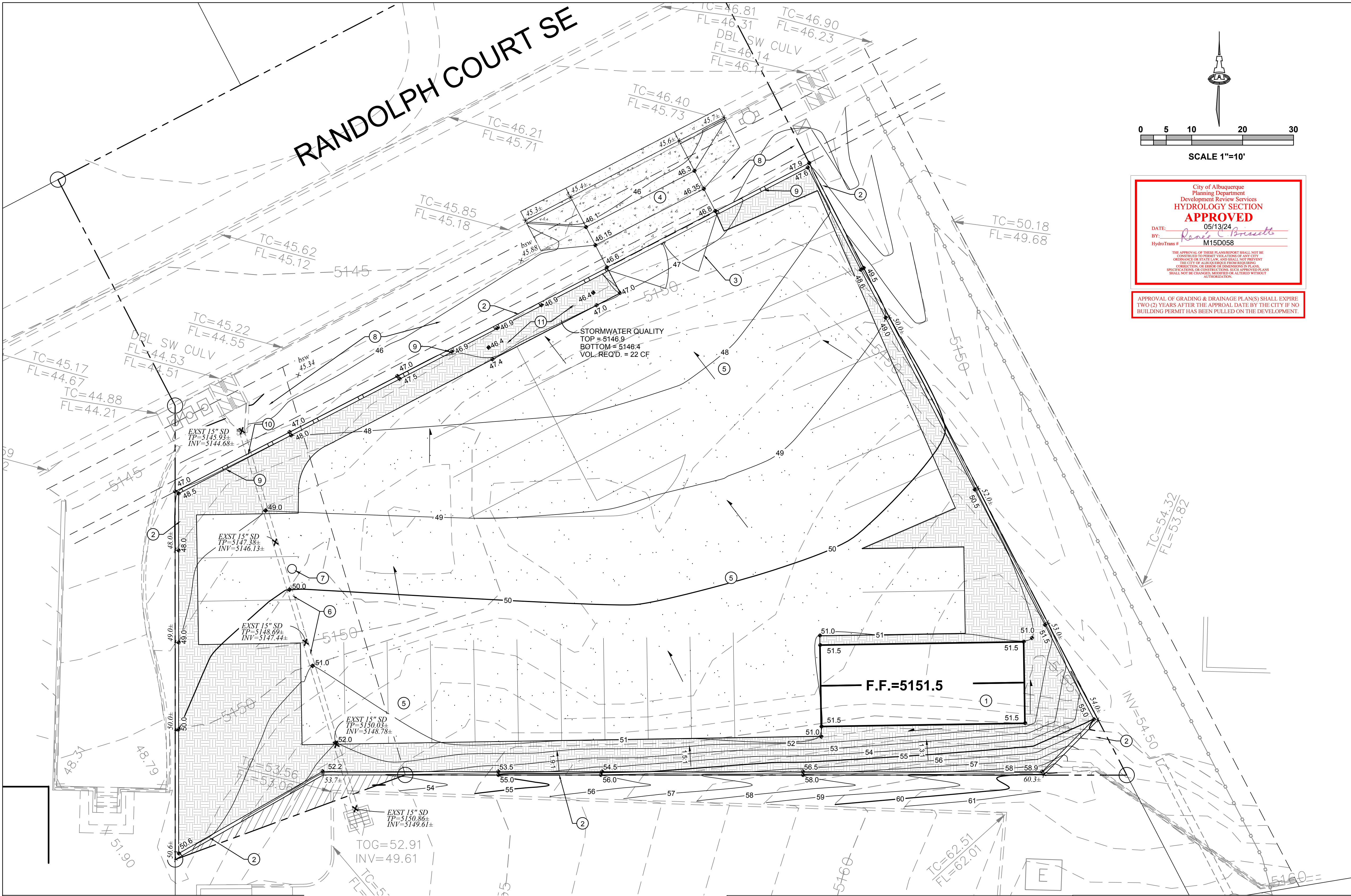
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

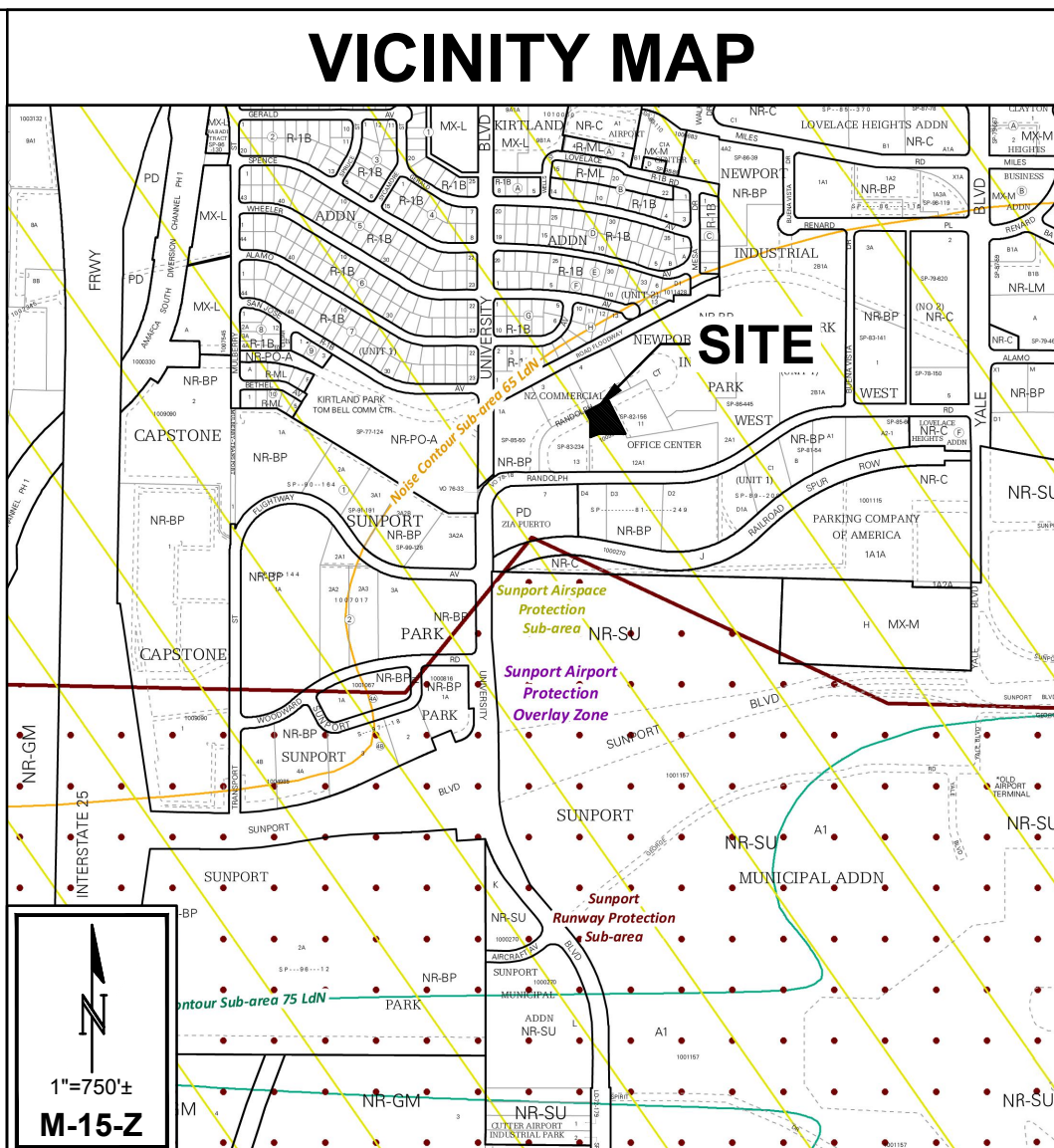
Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 05/13/24  
BY: *Renee C. Brissett*  
HydroTrans # M15D0058  
THE APPROVAL OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE CONSIDERED TO PRESENT OR ASSURE ANY CITY OR COUNTY OF ALBUQUERQUE IS FROM EXISTING CONDITIONS, OR BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY OR TO THE CITY OF ALBUQUERQUE OR ANY OTHER AGENCY OR INDIVIDUAL. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY OR TO THE CITY OF ALBUQUERQUE OR ANY OTHER AGENCY OR INDIVIDUAL.  
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT



## PROJECT INFORMATION

**PROPERTY:** THE SITE IS AN UNDEVELOPED COMMERCIAL LOT BOUNDED ON THE NORTH BY RANDOLPH CT SE., TO THE EAST BY DEVELOPED COMMERCIAL OFFICE, TO THE SOUTH BY PARKING LOT AND TO THE WEST BY A DEVELOPED COMMERCIAL PROPERTY.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE GRADING OF THE SITE, A PAD FOR A STORAGE CONTAINER, WITH ASSOCIATED GRAVEL DRIVE AND PAVING.

**LEGAL:** LOT 12-A-2 NZ COMMERCIAL, ALBUQUERQUE, NEW MEXICO.

**BENCHMARK:** ELEVATIONS ARE BASED ON AMAFCA BRASS CAP STAMPED "SDC-13-4", HAVING AN ELEVATION OF 50430.39.

**LOT SIZE:** 0.343 ACRES ±

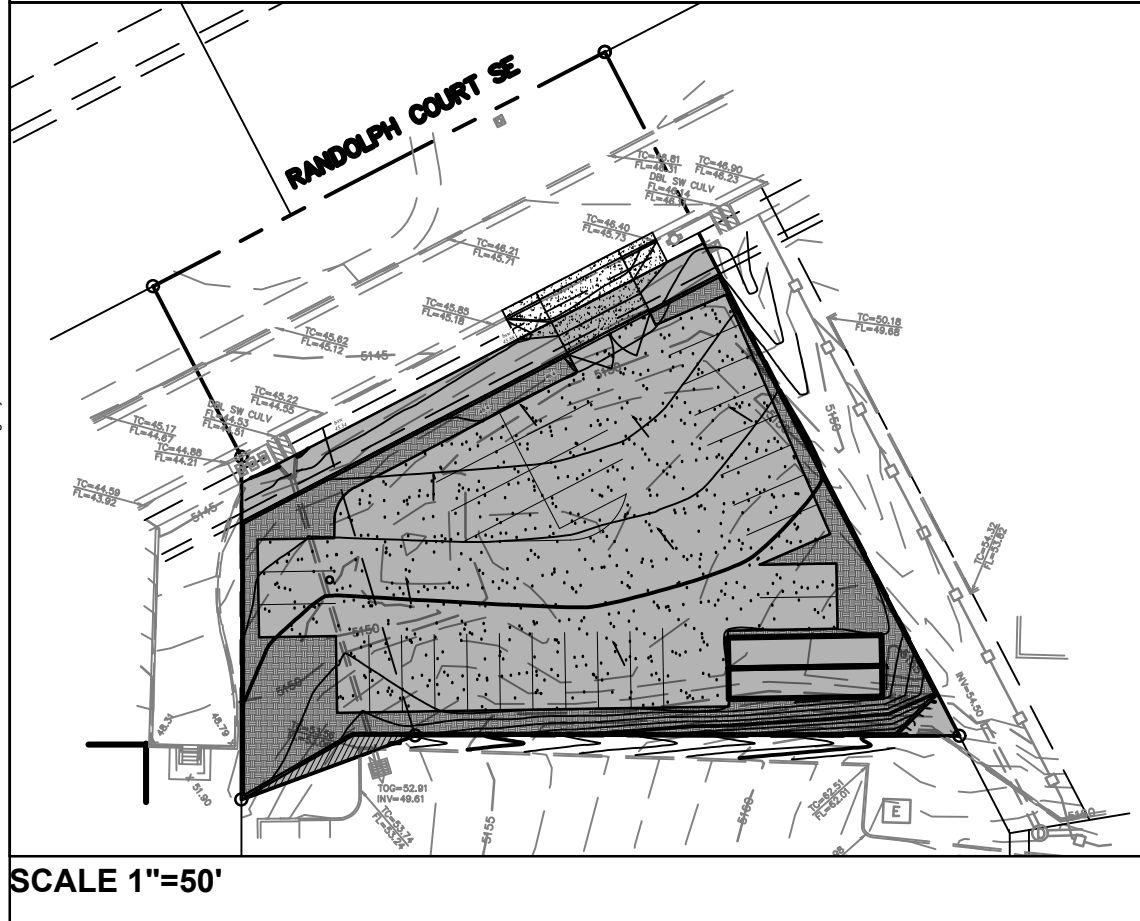
**FLOOD HAZARD:** PER BERNALILLO COUNTY FIRM MAP #35001C0342G, EFF. 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**DRAINAGE PLAN CONCEPT:** FOR THIS SITE, FULLY DEVELOPED FLOW WILL FREE DISCHARGE TO RANDOLPH COURT SE.

## GENERAL NOTES

- GRADES SHOWN ARE FINAL SURFACE GRADES (TOP OF CONCRETE, TOP OF LANDSCAPE MATERIAL, ETC.).
- ALL ANGULAR ROCK EROSION PROTECTION TO BE 2'-6" (4" AVG. DIA.) ANGULAR FACED ROCK @ 8" DEPTH OVER PERMANENT EROSION CONTROL MATERIAL UNLESS NOTED.
- RESEED ALL DISTURBED AREAS WITH APPROVED HIGH DESERT SEED MIX WITH C-JUTE EROSION CONTROL FABRIC.
- COLORS / TEXTURES / MATERIALS TO MEET HIGH DESERT REQUIREMENTS.
- ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE CAN BE ISSUED.
- PROVIDE TEMPORARY GRADING FEATURES (BERMS, SWALES, BASINS, ETC.) TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION. STORMWATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ENSURE THAT THERE IS AT LEAST 2' OF COVER ABOVE EXISTING STORM DRAIN.

## AREA OF CALCULATIONS



BASIN NO.	1	DESCRIPTION	Add description here
Area of basin flows =	16186	SF	0.37 Acre
The following calculations are based on Treatment %s as shown in table to the right			
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT	
Weighted E =		A = 0%	
Sub-basin Volume of Runoff:		B = 20%	
V <sub>500</sub> =		C = 70%	
Sub-basin Peak Discharge Rate:		D = 10%	
Q <sub>p</sub> =		Stormwater Quality Volume	
		22 CF	

CALCULATIONS: Olivas Enterprises : 43939			
100-YEAR, 6-HOUR CALCULATIONS			
AREA TO BE DEVELOPED:	16185.54	SF	= 0.37 ACRE
100-year, 6-hour DEVELOPED FLOWS:			
Treatment SF %		EXCESS PRECIP:	
Area A =	8093 50%	Area A =	0 0%
Area B =	4046 25%	Area B =	3237 20%
Area C =	4046 25%	Area C =	11330 70%
Area D =	0 0%	Area D =	1619 10%
Total Area =	16186 100%	Total Area =	16186 100%
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =		E <sub>A</sub> A <sub>A</sub> + E <sub>B</sub> A <sub>B</sub> + E <sub>C</sub> A <sub>C</sub> + E <sub>D</sub> A <sub>D</sub>	
		A <sub>A</sub> + A <sub>B</sub> + A <sub>C</sub> + A <sub>D</sub>	
Historic E =	0.77 in.	Developed E =	1.11 in.
On-Site Volume of Runoff: V <sub>360</sub> = E*A / 12			
Historic V <sub>360</sub> =	1035 CF	Developed V <sub>360</sub> =	1503 CF
On-Site Peak Discharge Rate: Q <sub>p</sub> = Q <sub>0A</sub> A <sub>A</sub> + Q <sub>0B</sub> A <sub>B</sub> + Q <sub>0C</sub> A <sub>C</sub> + Q <sub>0D</sub> A <sub>D</sub> / 43.560			
For Precipitation Zone 2			
Q <sub>0A</sub> =	1.71	Q <sub>0C</sub> =	3.05
Q <sub>0B</sub> =	2.36	Q <sub>0D</sub> =	4.34
Historic Q <sub>p</sub> =	0.8 CFS	Developed Q <sub>p</sub> =	1.1 CFS

## LEGEND

- EXISTING CONTOUR
- PROPOSED 1.0' CONTOUR
- PROPOSED 5.0' CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF ELEVATION
- GRAVEL
- NATURAL GRASS SEEDING
- EXISTING STORM DRAIN INFORMATION
- INTERPOLATED BASED ON SURVEYED END ELEVATIONS

## KEYED NOTES

- PROPOSED BUILDING.
- CMU PRIVACY WALL AT EXTENTS SHOWN. STRUCTURAL DESIGN BY OTHERS IF MAX GRADE DIFFERENCE IS GREATER THAN OR EQUAL TO 18".
- SWINGING GATES BY OTHERS.
- CONCRETE DRIVE PAD. MUST BE ADA COMPLIANT WITH PEDESTRIAN ACCESS ROUTE. CONCRETE SECTION TO FOLLOW LOCAL RESIDENTIAL RIGID PAVEMENT SECTION. PER COA STD DWG. 2405A
- GRAVEL PARKING AREA.
- EXISTING 15" STORM DRAIN TO REMAIN. FINAL GRADE TO BE 2' ABOVE TOP OF PIPE. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
- CONFIRM EXISTING PVC PIPE. APPARENT SEWER CLEAN OUT, TO BE ADJUSTED TO GRADE. INSTALL 18" SQUARE X 6" PCC PAD WITH TRAFFIC RATED CAP.
- EXISTING UTILITIES MAY BE PRESENT, CONTRACTOR TO PROTECT DURING CONSTRUCTION.
- TURN ONE CMU BLOCK EVERY 10' O.C.(4). PROVIDE 1.5L X 8"W X 8" DEEP @ 4" AVG. DIA. ANGULAR ROCK EACH SIDE.
- BOND BEAM AND GROUT FOR WALL FOOTING TO SPAN STORM DRAIN.
- 25' LONG X 6" DEEP GRADED DEPRESSION (@4:1) FOR STORMWATER QUALITY VOLUME.

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

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Albuquerque, NM 87108  
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**FRED C. ARFMAN**  
NEW MEXICO  
7322  
LICENSED PROFESSIONAL ENGINEER

Engineer 05-07-2024

**OLIVAS ENTERPRISES LLC**  
**CONTRACTORS YARD**  
**LOT 12-A-NZ COMMERCIAL**  
**ALBUQUERQUE, NM**

DESIGN	ISSUE	DEVELOPMENT
PROJECT NUMBER:	IA 2642	
FILE:		
DRAWN BY:	JTS/BKG	
CHECKED BY:	FCA	
DATE:	05-07-2024	

**GRADING & DRAINAGE PLAN**

**SHEET NUMBER**

**CG101**