

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 13, 2024

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Olivas Enterprises LLC Contractors Yard  
Grading & Drainage Plan  
Engineer's Stamp Date: 05/07/24  
Hydrology File: M15D058**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 04/22/2024, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

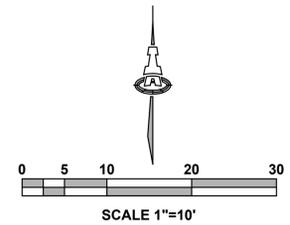
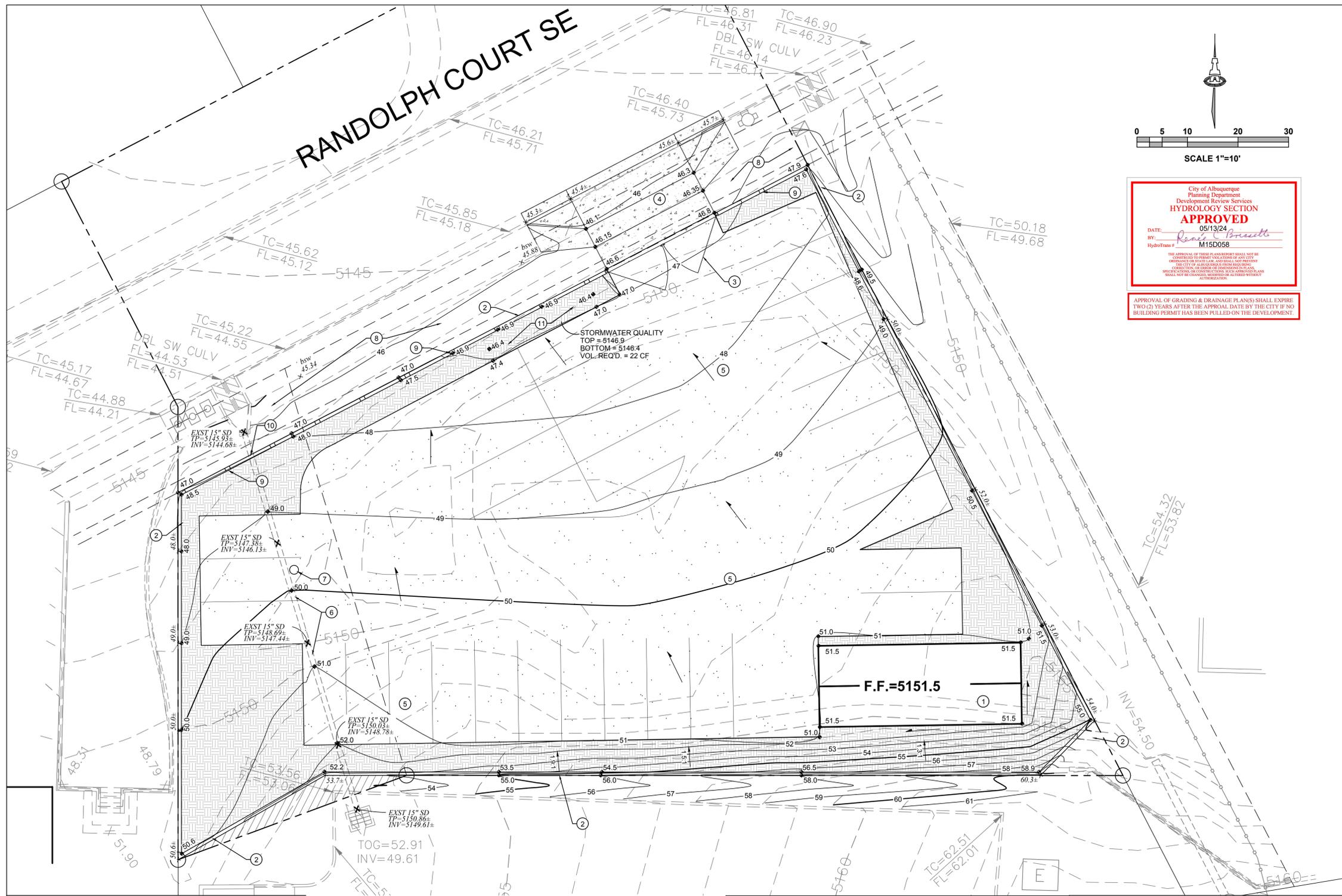
### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

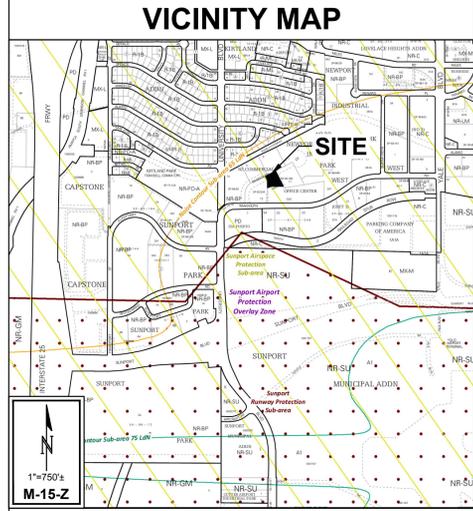
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 05/13/24  
BY: *Rachel Brunelle*  
HydroTrans # M15D058

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



**PROJECT INFORMATION**

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL LOT BOUNDED ON THE NORTH BY RANDOLPH CT SE., TO THE EAST BY DEVELOPED COMMERCIAL OFFICE, TO THE SOUTH BY PARKING LOT AND TO THE WEST BY A DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE GRADING OF THE SITE, A PAD FOR A STORAGE CONTAINER, WITH ASSOCIATED GRAVEL DRIVE AND PAVING.

LEGAL: LOT 12-A-2 NZ COMMERCIAL, ALBUQUERQUE, NEW MEXICO.

BENCHMARK: ELEVATIONS ARE BASED ON AMFCA BRASS CAP STAMPED "SDC-13-4", HAVING AN ELEVATION OF 50430.39.

LOT SIZE: 0.343 ACRES ±

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0342G, EFF. 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: FOR THIS SITE, FULLY DEVELOPED FLOW WILL FREE DISCHARGE TO RANDOLPH COURT SE.

**GENERAL NOTES**

- GRADES SHOWN ARE FINAL SURFACE GRADES (TOP OF CONCRETE, TOP OF LANDSCAPE MATERIAL, ETC.).
- ALL ANGULAR ROCK EROSION PROTECTION TO BE 2'-6" (4" AVG. DIA.) ANGULAR FACED ROCK @ 8" DEPTH OVER PERMANENT EROSION CONTROL MATERIAL UNLESS NOTED.
- RESEED ALL DISTURBED AREAS WITH APPROVED HIGH DESERT SEED MIX WITH C-JUTE EROSION CONTROL FABRIC.
- COLORS / TEXTURES / MATERIALS TO MEET HIGH DESERT REQUIREMENTS.
- ALL DRAINAGE IMPROVEMENTS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN MUST BE COMPLETED BEFORE ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE CAN BE ISSUED.
- PROVIDE TEMPORARY GRADING FEATURES (BERMS, SWALES, BASINS, ETC.) TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION. STORMWATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ENSURE THAT THERE IS AT LEAST 2' OF COVER ABOVE EXISTING STORM DRAIN.

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iaacivil.com

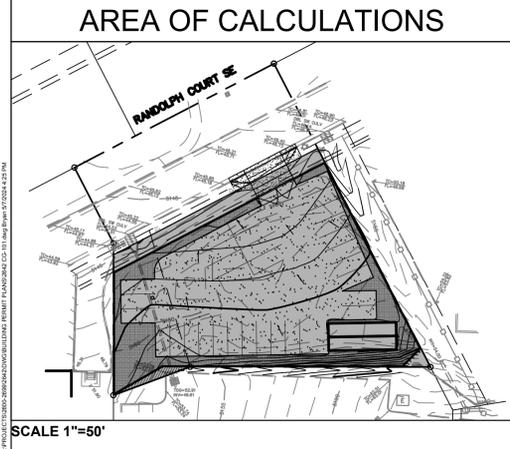
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**FRED C. ARFMAN**  
NEW MEXICO  
7322  
LICENSED PROFESSIONAL ENGINEER

Engineer 05-07-2024

**OLIVAS ENTERPRISES LLC**  
**CONTRACTORS YARD**  
**LOT 12-A-NZ COMMERCIAL**  
**ALBUQUERQUE, NM**

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2642	FILE: JTS/BGK
DRAWN BY: FCA	CHECKED BY: FCA
DATE: 05-07-2024	



BASIN NO.	DESCRIPTION	Add description here
1	16186 SF	0.37 Ac.
Area of basin flows = 16186 SF = 0.37 Ac.		
The following calculations are based on Treatment %s as shown in table to the right		
Sub-basin Weighted Excess Precipitation:		LAND TREATMENT
Weighted E =	1.11 in.	A = 0%
Sub-basin Volume of Runoff:		B = 20%
V <sub>360</sub> =	1503 CF	C = 70%
Sub-basin Peak Discharge Rate:		D = 10%
Q <sub>p</sub> =	1.1 cfs	Stormwater Quality Volume
		22 CF

CALCULATIONS: Olivias Enterprises : 43939

100-YEAR, 6-HOUR CALCULATIONS			
AREA TO BE DEVELOPED:	16185.54 SF	=	0.37 ACRE
100-year, 6-hour DEVELOPED FLOWS:			
Area A =	8093	50%	Area A = 0
Area B =	4046	25%	Area B = 3237
Area C =	4046	25%	Area C = 11330
Area D =	0	0%	Area D = 1619
Total Area =	16186	100%	Total Area = 16186
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$E_A A_A + E_B A_B + E_C A_C + E_D A_D$		
Historic E =	0.77 in.	Developed E =	1.11 in.
On-Site Volume of Runoff, V <sub>360</sub> = E*A / 12			
Historic V <sub>360</sub> =	1035 CF	Developed V <sub>360</sub> =	1503 CF
On-Site Peak Discharge Rate: $Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560$			
For Precipitation Zone 2			
Q <sub>pA</sub> =	1.71	Q <sub>pC</sub> =	3.05
Q <sub>pB</sub> =	2.36	Q <sub>pD</sub> =	4.34
Historic Q <sub>p</sub> =	0.8 CFS	Developed Q <sub>p</sub> =	1.1 CFS

**LEGEND**

- EXISTING CONTOUR
- PROPOSED 1.0' CONTOUR
- PROPOSED 5.0' CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF ELEVATION
- GRAVEL
- NATURAL GRASS SEEDING
- EXISTING STORM DRAIN INFORMATION INTERPOLATED BASED ON SURVEYED END ELEVATIONS

- KEYED NOTES**
- PROPOSED BUILDING.
  - CMU PRIVACY WALL AT EXTENTS SHOWN. STRUCTURAL DESIGN BY OTHERS IF MAX GRADE DIFFERENCE IS GREATER THAN OR EQUAL TO 18".
  - SWINGING GATES BY OTHERS.
  - CONCRETE DRIVE PAD. MUST BE ADA COMPLIANT WITH PEDESTRIAN ACCESS ROUTE. CONCRETE SECTION TO FOLLOW LOCAL RESIDENTIAL RIGID PAVEMENT SECTION. PER COA STD DWG. 2405A
  - GRAVEL PARKING AREA.
  - EXISTING 15" STORM DRAIN TO REMAIN. FINAL GRADE TO BE 2" ABOVE TOP OF PIPE. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
  - CONFIRM EXISTING PVC PIPE. APPARENT SEWER CLEAN OUT, TO BE ADJUSTED TO GRADE. INSTALL 18" SQUARE X 6" PCC PAD WITH TRAFFIC RATED CAP.
  - EXISTING UTILITIES MAY BE PRESENT. CONTRACTOR TO PROTECT DURING CONSTRUCTION.
  - TURN ONE CMU BLOCK EVERY 10' O.C.(±). PROVIDE 1.5L X 8"W X 8" DEEP @ 4" AVG. DIA. ANGULAR ROCK EACH SIDE.
  - BOND BEAM AND GROUT FOR WALL FOOTING TO SPAN STORM DRAIN.
  - 25' LONG X 6" DEEP GRADED DEPRESSION (@4:1) FOR STORMWATER QUALITY VOLUME.

Description	
Date	
No	
SHEET TITLE	
<b>GRADING &amp; DRAINAGE PLAN</b>	
SHEET NUMBER	
<b>CG101</b>	