

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 25, 2000

Mark Goodwin, P.E.
Mark Goodwin & Associates, P.A.
P. O. Box 90606
Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR FUDDRUCKERS - YALE BLVD., (M-16/
D005), ENGINEER'S STAMP DATED 1/27/00, CERTIFICATION DATED
7/24/2000.

Dear Mr. Goodwin,

Based upon the information provided in your submittal dated July 24, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reierson
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	Fuddrucker's - Yale	ZONE ATLAS#:	M-16/2005
DRB#:		EPC#	
LEGAL DESCRIPTION:	Tract 2 Clayton Heights		
CITY ADDRESS:	2120 Yale SE		
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Mark Goodwin, Pe
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Schlegel/Lewis Architects	CONTACT:	Ken Duck
ADDRESS:	1620 Central Ave. SE, Albuquerque, NM 87106	PHONE:	247-1529
ARCHITECT:	Schlegel/Lewis Architects	CONTACT:	Ken Duck
ADDRESS:	1620 Central Ave. SE, Albuquerque, NM 87106	PHONE:	247-1529
SURVEYOR:	Harris Surveying	CONTACT:	Tony Harris
ADDRESS:	2412 Monroe NE, Albuquerque, NM 87110	PHONE:	889-8056
CONTRACTOR:	Star Const.	CONTACT:	Ralph Eggleston
ADDRESS:		PHONE:	

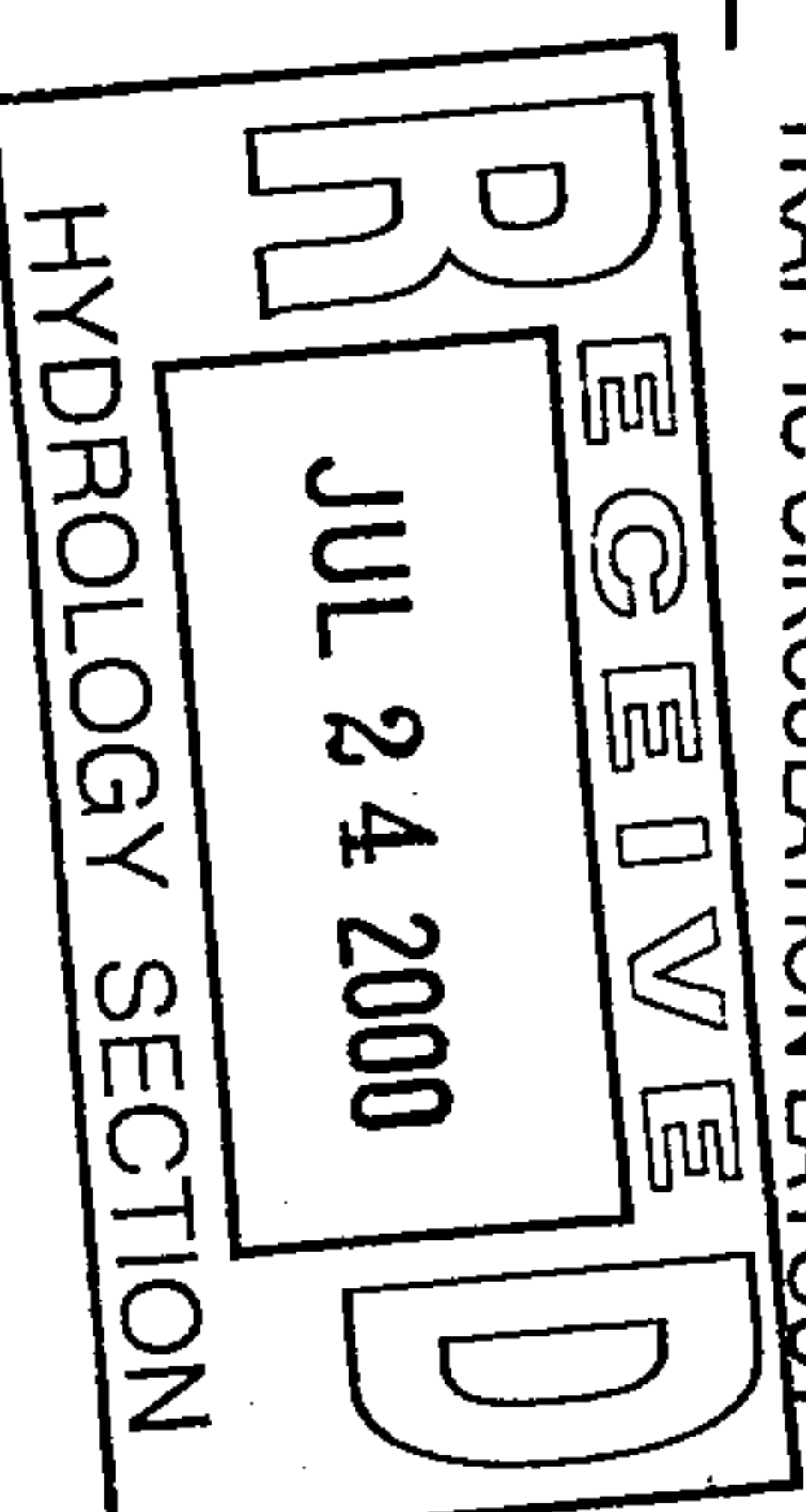
TYPE OF SUBMITTAL:

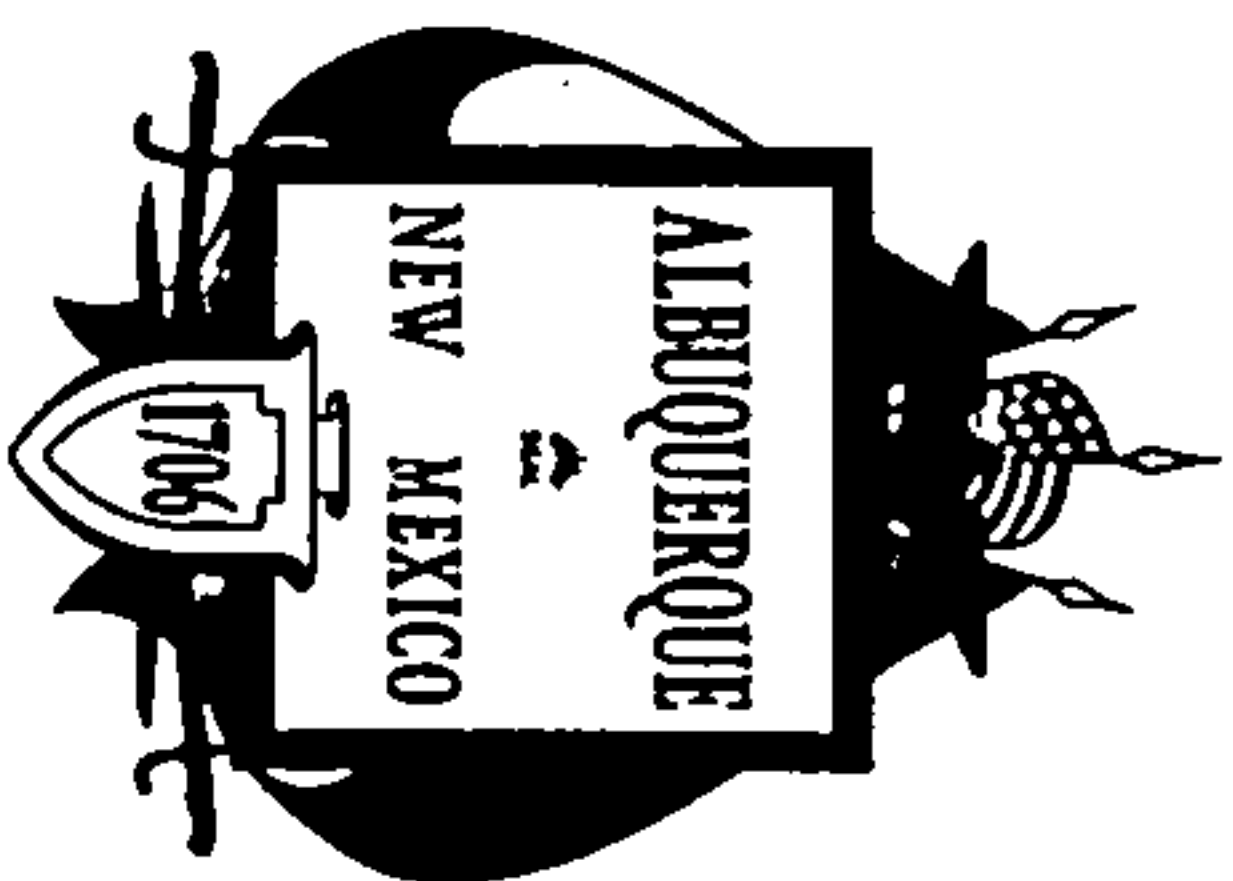
CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SKETCH PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> S. DEV. PLAN FOR BLDG PERMIT APPROVAL
<input type="checkbox"/> EROSION CONTROL	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERTIFICATION	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> OTHER	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> EASEMENT VACATION	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> PRE-DESIGN MEETING:	<input checked="" type="checkbox"/> CERTIFICATION OF OCCUPANCY APPROVAL
<input type="checkbox"/> YES	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input checked="" type="checkbox"/> NO	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> COPY PROVIDED	<input type="checkbox"/> S.A.D. DRAINAGE REPORT
	<input type="checkbox"/> DRAINAGE REQUIREMENTS
	<input type="checkbox"/> OTHER
	<input type="checkbox"/> RELEASE OF FINANCIAL GUARANTY
	<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT

Ralph of STAR
(505) 250-4376
7/16/05

DATE SUBMITTED: 7/24/00
BY: Mark Goodwin, PE





City of Albuquerque
Public Works Department
Transportation Development Services Section

March 13, 2000

James C. Lewis, Registered. Arch.,
SLNB Architects Inc.
1620 Central Ave. N.E.
Albuquerque, New Mexico 87106

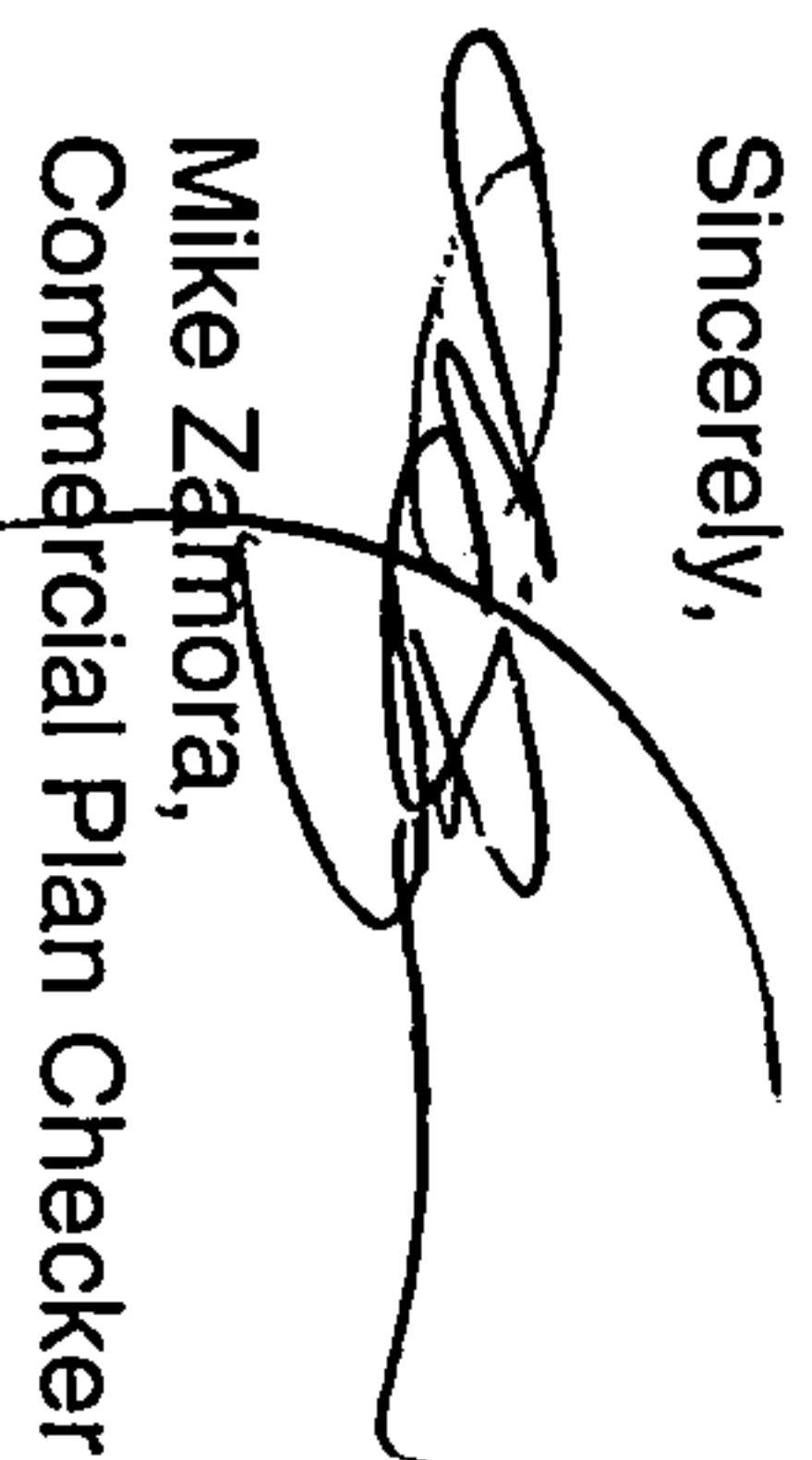
Re: T.C.L. submittal for building permit approval for Fudrucker's Restaurant Two, 2120 Yale Blvd. S.E.,
Clayton Heights, Tract 2, Block A, [M16/ D005], Architect's Stamp dated 1/11/2000.

Dear Mr. Lewis,

The location referenced above, is not acceptable and requires modification to the Traffic Circulation
Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined
T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,



Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

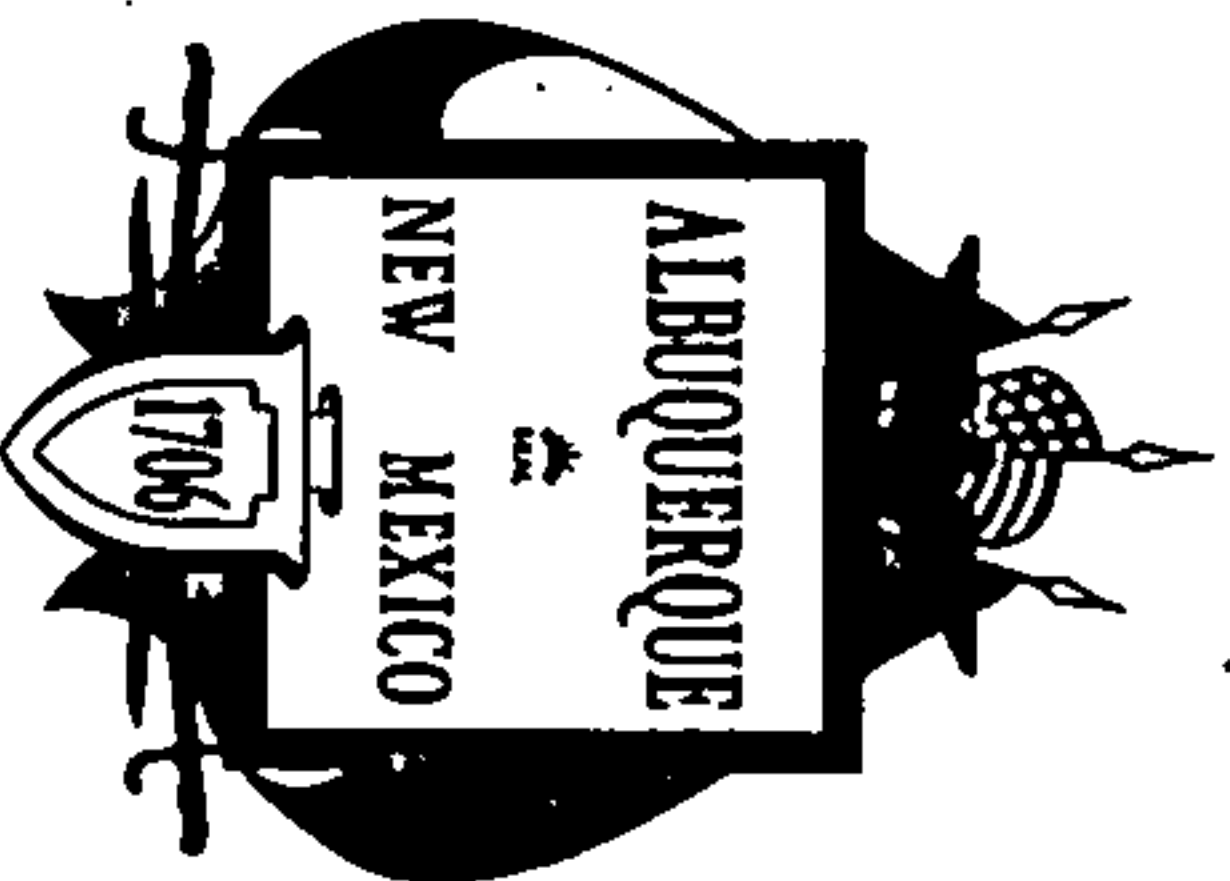
Written Comments: File # [M16 / D005]
3/09/2000

- ~~T.C.L. (Site Plan) must be stamped and stamp must be dated.~~
- ~~For this Plan, and all others following, submit street address of site. Could be part of title block or application sheet in Hydrology file. Also call out name of subdivision and lot number or tract number.~~
- Place a note on the plan stating the following:

"The as-built submittal by the designer-of-record, as required by Transportation Development, must also include a letter of certification that the site has been constructed in accordance with the TCL before a Certificate of Occupancy."
- Contractor selected must be made aware, by note on Site Plan, that any agreement with the owner stating that any portions of permit construction completed by other than that contractor, will probably cause delay, therefore, Certificate of Occupancy will not be issued **until all work is finished**.
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the Site Plan, in bold type, as follows:

"The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan." and
"This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
(1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
(2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on plan.
- Only one T.C.L. is needed per Permit submittal. Multiple copies of T.C.L. will need to match exactly.
- Need to see clear differentiation between new construction and existing on T.C.L. The clearer the distinction between new and existing, the faster the review can be done without having to spend excessive time attempting to figure this out.
- Show, label, and dimension existing and/or new street sidewalks.
- Dimension new or existing stalls - label "typical" or call out in individual locations, if not typical.
- 6" high concrete curb, per city standard, must be constructed at north parking, as shown, per DPM Section 23.7 B6 - must prevent overhanging into adjacent vehicle path, label curb.
- H.C. ramp must be constructed for H.C. parking as part of sidewalk, as shown. __ Show all H.C. ramps and slope of ramps using arrows.
- Clearly indicate transition from one type of surface to the other on T.C.L., for example ramps, concrete/asphalt, landscape/concrete, etc. Label each area or stipple to show varying surfaces, using a legend.
- The curb cut must be widened to 30 feet, if a median cut is not available. __ Driveway will need improvement per D.P.M. and City of Albuquerque. Std. Detail Drwg. No. 2426. The curb cut must be constructed with 15 foot curb returns and uni-directional handicapped ramps.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of T.C.L. and new review will be needed.
- Label - "Construct new driveway per City of Albuquerque. Std. Detail Drwg. No. 2426."
- Painted end islands are required as shown, 15' radius curve needed on all end islands along the traffic circulation path. __ Minimum width of end islands - 10'.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- Call out to restripe existing lot per City Standard.
- All Civil Sheets (Drainage Plan and T.C.L. & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. __ Per DPM, 23.6B.11a, drive apron grade max. is 6% for curb return drives.
- For future reference, show full width of all streets on TCL, unless shown and dimensioned on Grading & Drainage Plan, to include: (1) median and opening, if it exists (including any left turn lanes into this site). If no medians, show traffic lanes up to and including middle turn lane. (2) all existing/new standard curb and gutter.

City of Albuquerque



February 17, 2000

Mark Goodman, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**RE: FUDDRUCKER'S - Yale Blvd, SE (M16-D5). GRADING AND DRAINAGE PLAN
FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JANUARY
27, 2000.**

Dear Mr. Goodwin:

Based on the information provided on your January 27, 2000 submittal, the above referenced project is approved for Building Permit. This is the refurbishing of the former Denny's Restaurant site, a fully developed area.

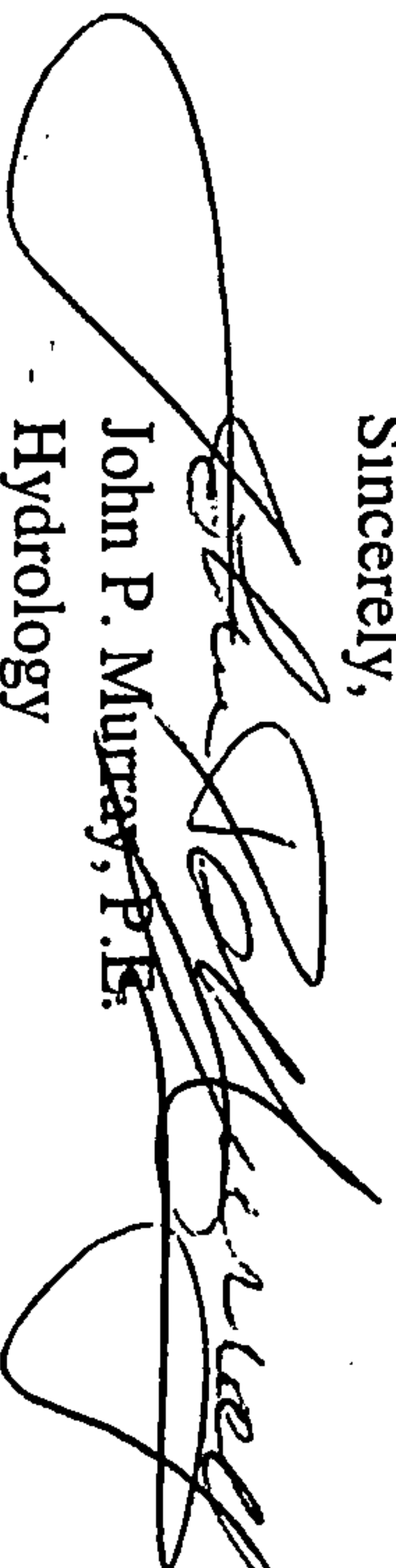
Transportation will comment separately on the T.C.L. Note that the Site Plan and the G&D Plan should be congruous.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c:

~~WR~~

File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fuddrucker's - Yale ZONE ATLAS#: 205 N-16/0005

DRB#: _____ EPC# _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 2 Clayton Heights

CITY ADDRESS: 2120 Yale SE

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u>Mark Goodwin, Pe</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Schlegel/Lewis Architects</u>	CONTACT:	<u>Ken Duck</u>
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SURVEYOR:	<u>Harris Surveying</u>	CONTACT:	<u>Tony Harris</u>
ADDRESS:	<u>2412 Monroe NE, Albuquerque, NM 87110</u>	PHONE:	<u>889-8056</u>
CONTACTOR:	<u>N/A</u>	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL

☐ ENGINEER'S CERTIFICATION

☐ OTHER

☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

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☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL

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☐ FINAL PLAT APPROVAL

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☒ BUILDING PERMIT APPROVAL

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☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☐ OTHER

☐ RELEASE OF FINANCIAL GUARANTY

☒ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 1/27/00

BY: Mark Goodwin
Mark Goodwin, PE

