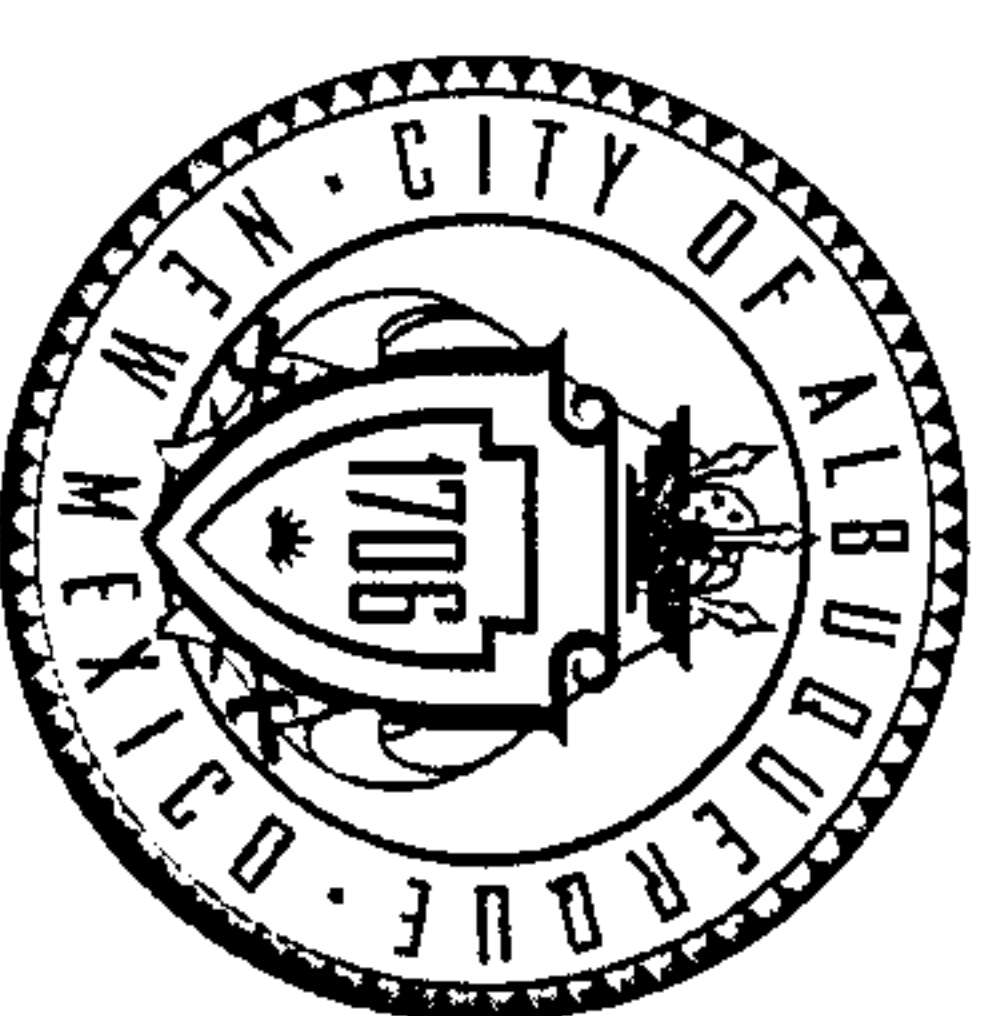


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



July 10, 2014

Richard J. Berry, Mayor

Bernie J. Montoya
BJM CONSULTANT
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

RE: Warehouse Addition -2655 Baylor Drive SE
Grading & Drainage Plan
Engineer's Stamp Date 6-30-2014 (File: M16D006)

Dear Mr. Montoya:

Based upon the information provided in your submittal received 6-30-14, the above referenced plan is approved for Building Permit and SO-19.

Please attach a copy of this approved plan to the Building Permit construction sets prior to sign-off by Hydrology.

PO Box 1293

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

Albuquerque

Prior to Certificate of Occupancy release, an Engineer's Certification of Grading on this site, will be required per the DPM checklist.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

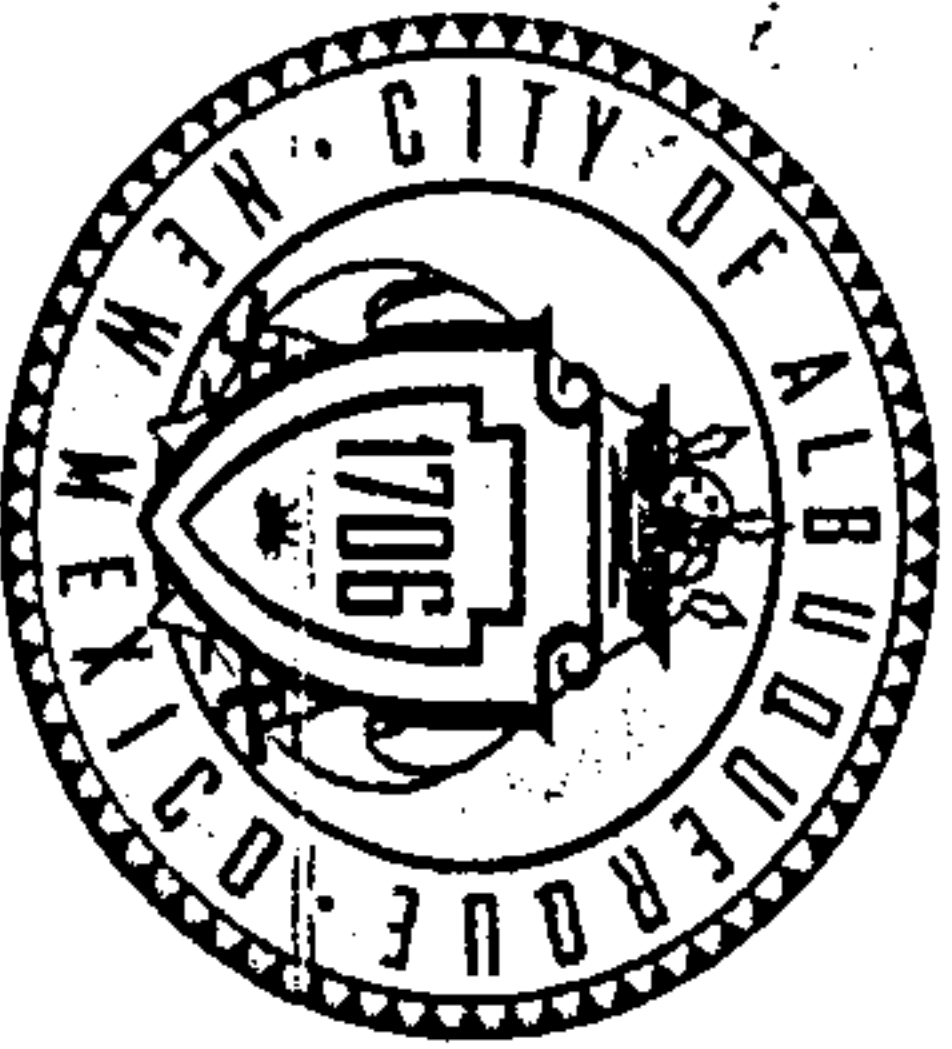
Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

1.65 cfs
0.0 4.7 cfs/row

Orig: Drainage file
c.pdf via Email: Recipient, Tim Sims, Monica Ortiz

M16D006_BP_SO19_Appr.doc



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

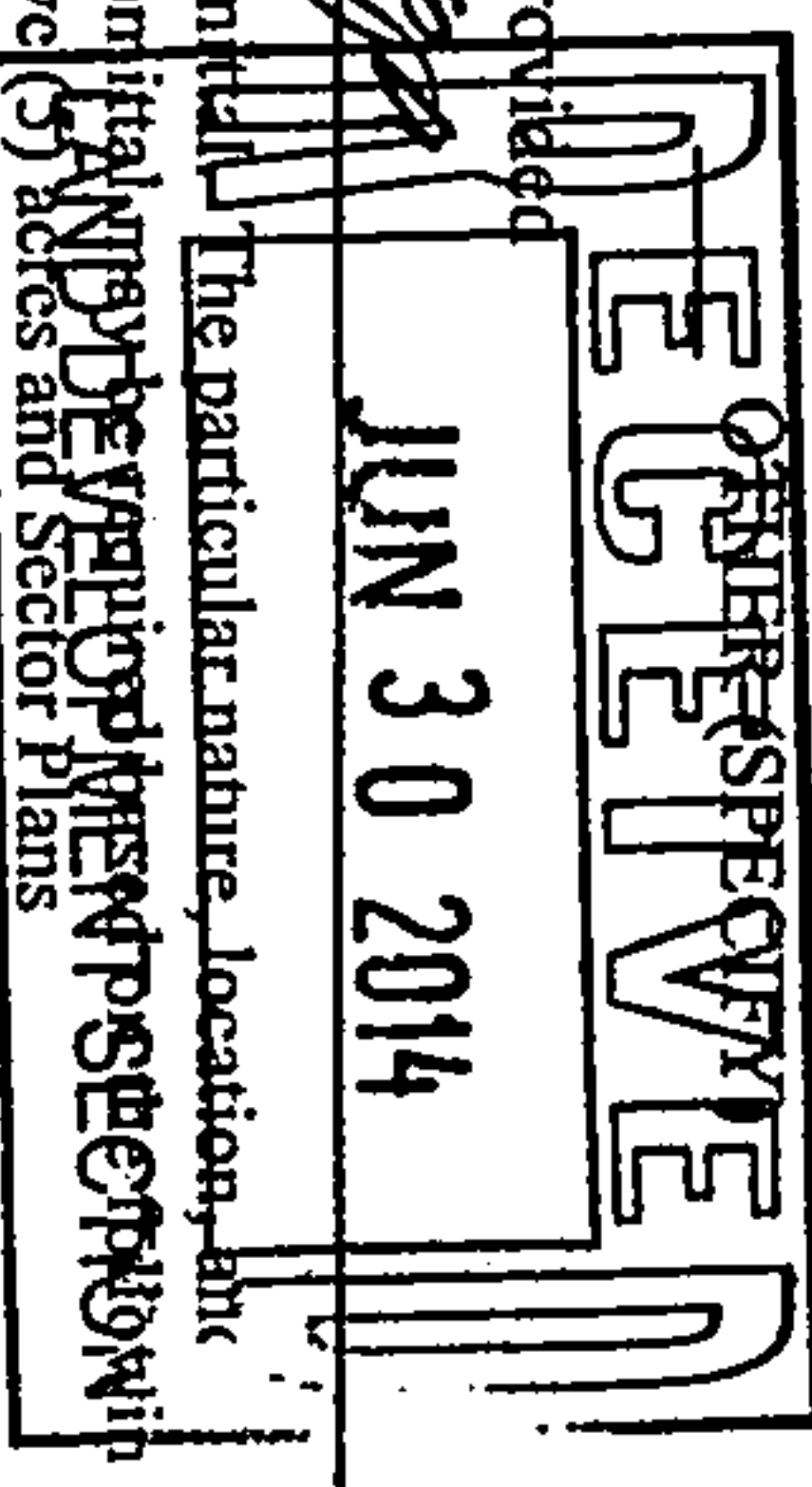
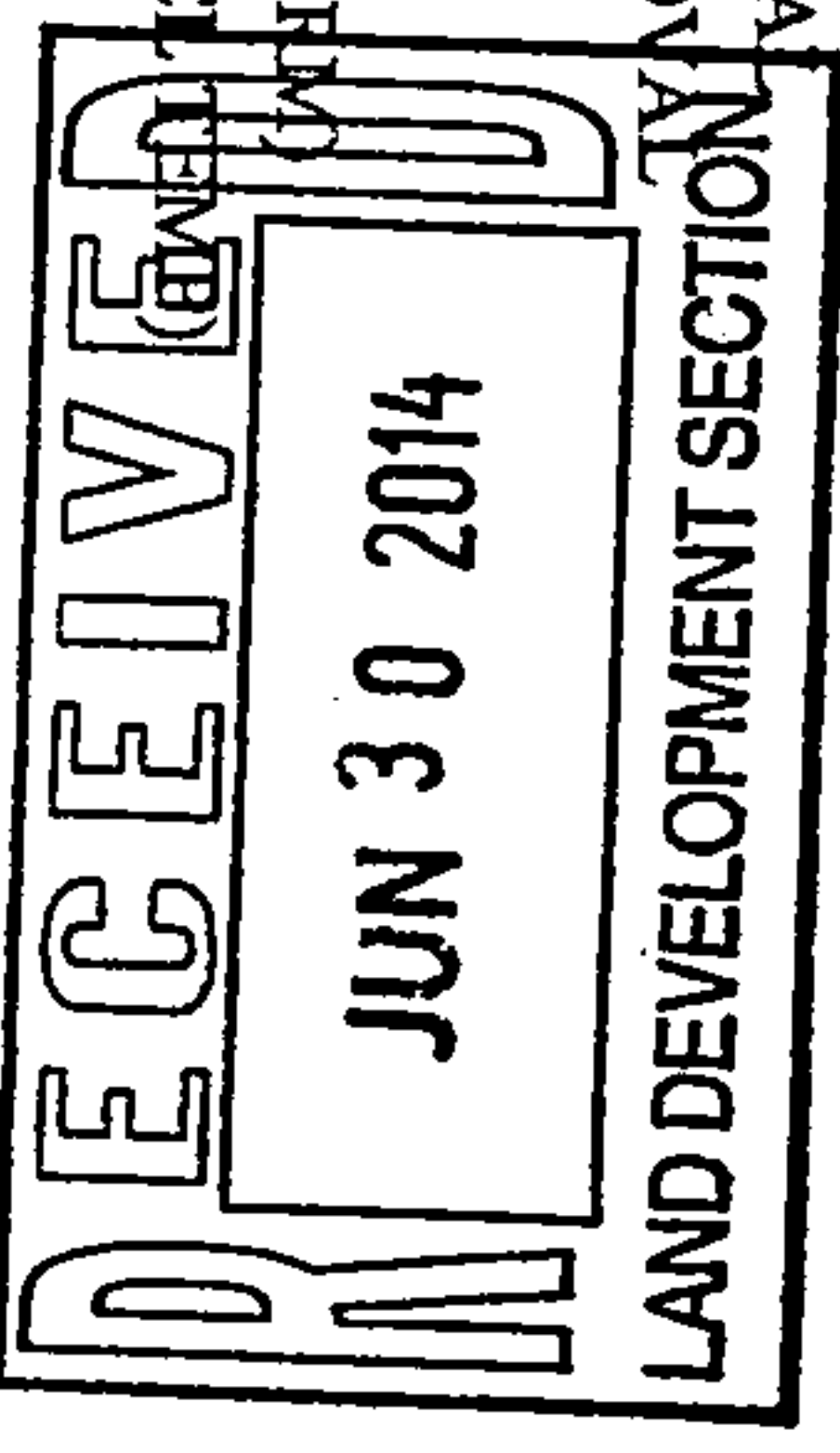
Project Title: <u>WAREHOUSE ADDITION</u>		Building Permit #: _____		City Drainage #: <u>MM-006</u>	
DRB#: <u>1010051</u>	EPC#: _____	Work Order#: _____			
Legal Description: <u>REPLAT IN PROCESS</u>					
City Address: <u>2655 Baylor Drive S.E.</u>					
Engineering Firm: <u>BDM CONSULTING</u>					
Address: <u>8624 Casa Verde Ave NW.</u>		Contact: <u>Bernice Montoya</u>			
Phone#: <u>505-250-7719</u>		Fax#: <u>839-0451</u>		E-mail: <u>BDMCONSULTING@comcast.net</u>	
Owner: <u>ACIM</u>		Contact: <u>HERB</u>			
Address: _____		Fax#: _____		E-mail: _____	
Phone#: <u>247-3631</u>		Fax#: _____		E-mail: _____	
Architect: _____		Contact: _____			
Address: _____		Fax#: _____		E-mail: _____	
Phone#: _____		Fax#: _____		E-mail: _____	
Surveyor: _____		Contact: _____			
Address: _____		Fax#: _____		E-mail: _____	
Phone#: _____		Fax#: _____		E-mail: _____	
Contractor: _____		Contact: _____			
Address: _____		Fax#: _____		E-mail: _____	
Phone#: _____		Fax#: _____		E-mail: _____	

TYPE OF SUBMITTAL:		CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:	
<input type="checkbox"/> DRAINAGE REPORT		<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE	
<input checked="" type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL		<input type="checkbox"/> PRELIMINARY PLAT APPROVAL	
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL		<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL	
<input type="checkbox"/> CONCEPTUAL G & D PLAN		<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL	
<input type="checkbox"/> GRADING PLAN		<input type="checkbox"/> SECTOR PLAN APPROVAL	
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)		<input type="checkbox"/> FINAL PLAT APPROVAL	
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)		<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)	
<input type="checkbox"/> CLOMR/LOMR		<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL)	
<input type="checkbox"/> TRAFIC CIRCULATION LAYOUT (TCL)		<input checked="" type="checkbox"/> FOUNDATION PERMIT APPROVAL	
<input type="checkbox"/> ENGINEER'S CERT (TCL)		<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL	
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)		<input checked="" type="checkbox"/> GRADING PERMIT APPROVAL	
<input checked="" type="checkbox"/> ENGINEER'S CERT (ESC)		<input type="checkbox"/> PAVING PERMIT APPROVAL	
<input type="checkbox"/> SO-19		<input checked="" type="checkbox"/> SO-19 APPROVAL	
<input type="checkbox"/> OTHER (SPECIFY) _____		<input type="checkbox"/> WORK ORDER APPROVAL	
		<input type="checkbox"/> GRADING CERTIFICATION	
		<input type="checkbox"/> ESC PERMIT APPROVAL	
		<input type="checkbox"/> ESC CERT. ACCEPTANCE	

WAS A PRE-DESIGN CONFERENCE ATTENDED: <input checked="" type="checkbox"/>		By: <u>Bernice Montoya</u>		Copy Provided <input checked="" type="checkbox"/>	
DATE SUBMITTED: <u>6/30/2014</u>				JUN 30 2014	

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required for projects with drainage plans greater than five (5) acres and Sector Plans.

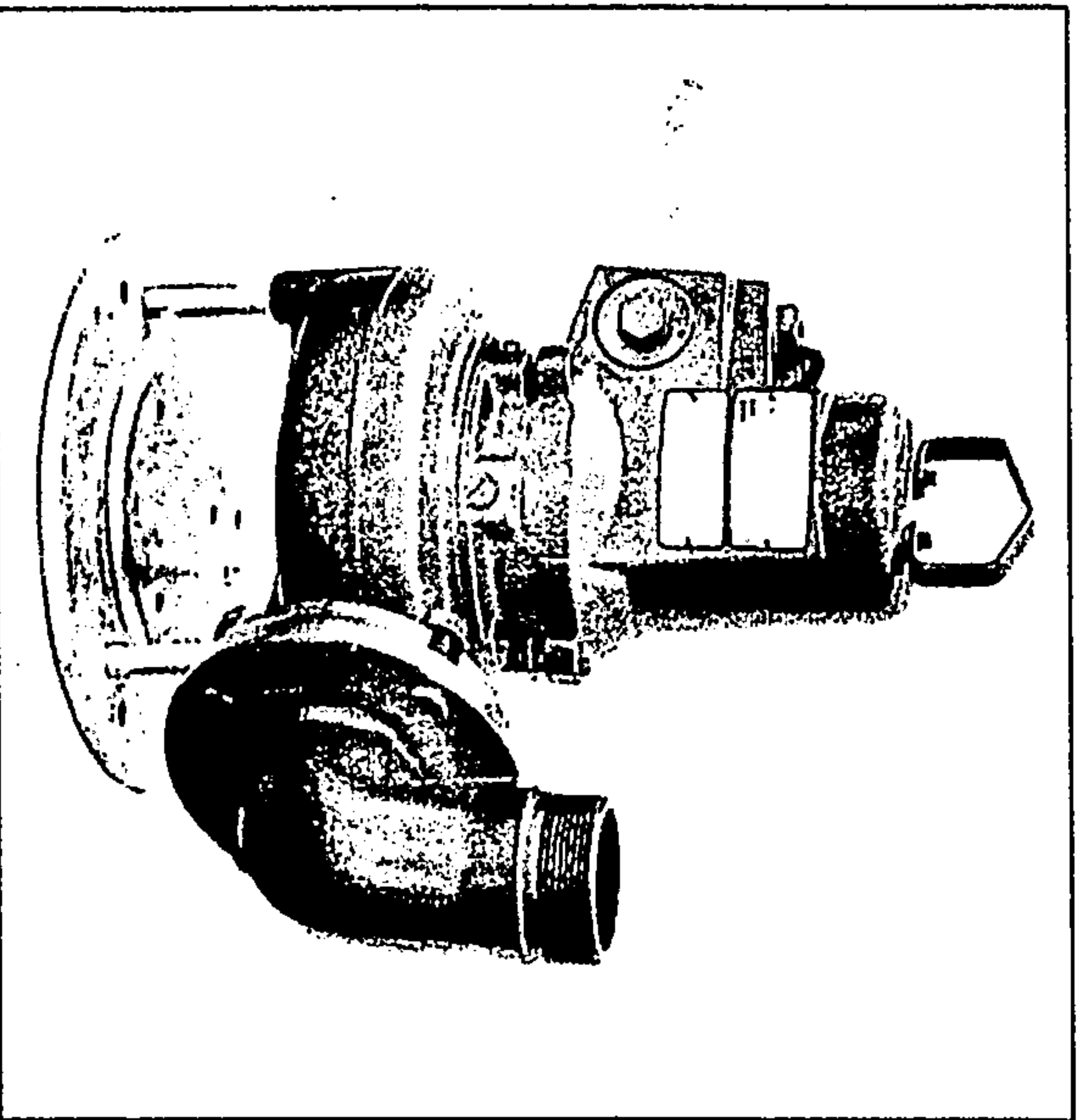
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





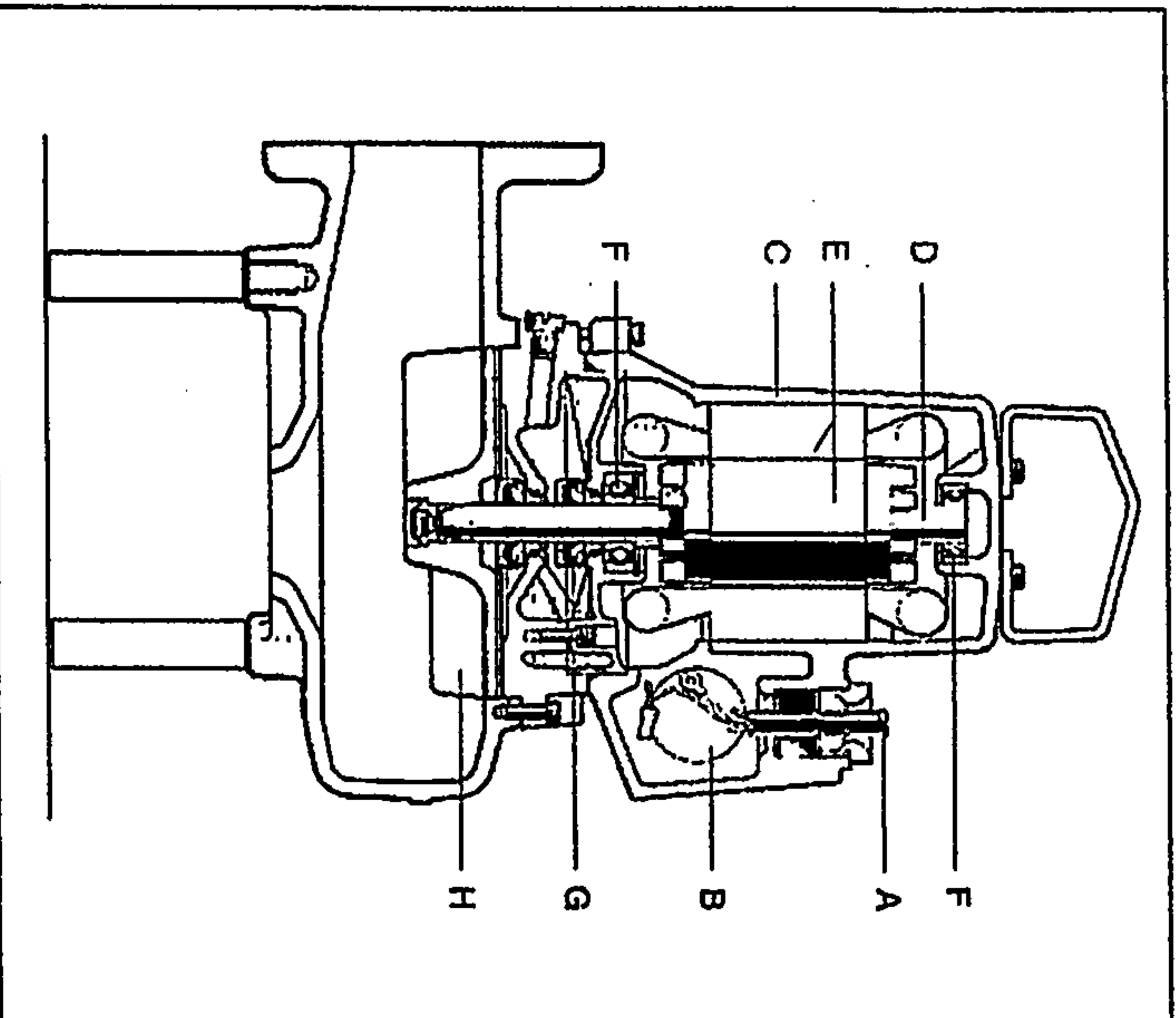
PORTABLE SOLIDS HANDLING PUMP

Capacity up to 170 GPM, heads up to 60 ft.



Applications:

CF/DF/CS-3067.180 is ideal for pumping trash, mud, industrial waste, sludge, raw sewage, etc.



Specifications

- A Cable. Standard 10 m (33 ft.) of AWG 14/7 SubCab cable. Other lengths available.
- B Junction Chamber. Cable entry incorporates a strain relief and grommet controlled compression sealing.
- C Pump Housing. High strength, cast iron ASTM A48-76 No. 35B body. Static seals are leakproof Nitrile rubber O rings in precision machined grooves, with controlled compression.
- D Shaft. Stainless steel.
- E Motor. Air filled, NEMA design B with class H (180°C) insulation. 2 pole, 3450 rpm (CF); 4 pole, 1700 rpm (DF/DS). Shrink-fit to the motor housing. Allows at least 10 starts per hour. Built-in thermal sensors for additional motor overload protection.
- F Bearings. Upper: single row ball bearing. Lower and upper: single row ball bearing.
- G Shaft Seals. Independent double face seals running in environmentally friendly, FDA approved (Standard #172.876) lubricant. Upper seal: ceramic/ceramic. Lower seal: tungsten carbide/tungsten carbide. Oil quantity: .85 pints (0.4 l).
- H Impeller. Non-dog closed type impeller. Material: Fiberglass reinforced Polyamide PA66 (CF-HT); cast iron ASTM A48-76 Class 35B (DF/DS-MT). Maximum particle size: 1-5/16" (CF-HT); 2-1/8" (DF/DS-MT). Fasteners: Stainless steel AISI 304.

Approval:

CSA approved to UL Standard #778 and CSA C22.2 #108.



Controls (not shown).

Manual controls, magnetic starter type, providing short circuit and overload protection, housed in EEMAC3 enclosure. Other enclosure types (EEMAC4, EEMAC12) are optional.

Options:

Explosionproof FM approved variants CF/DF/DS 3067.090; Warm liquid version.

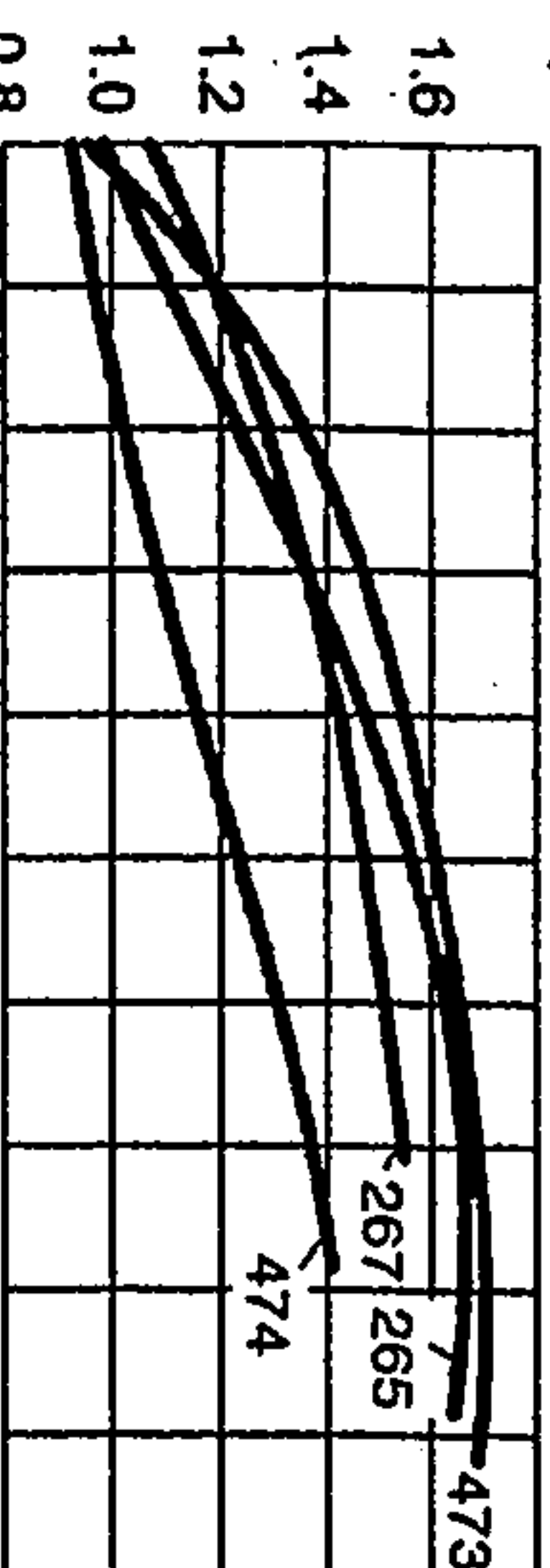
Accessories.

Zinc anodes.

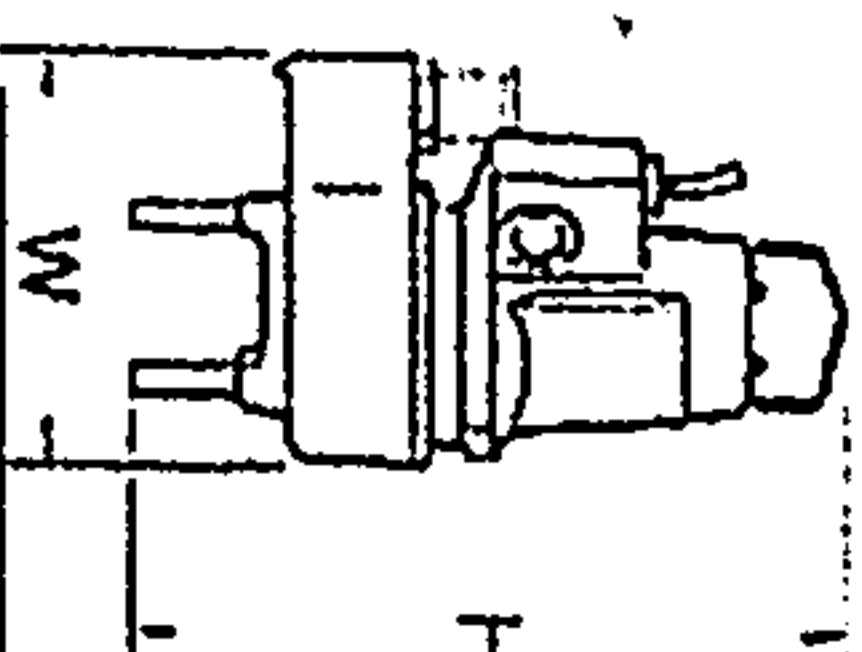
CF/DF/DS-3067.180

Power Input and Performance Data

Power Input kW



CF



Dimensions

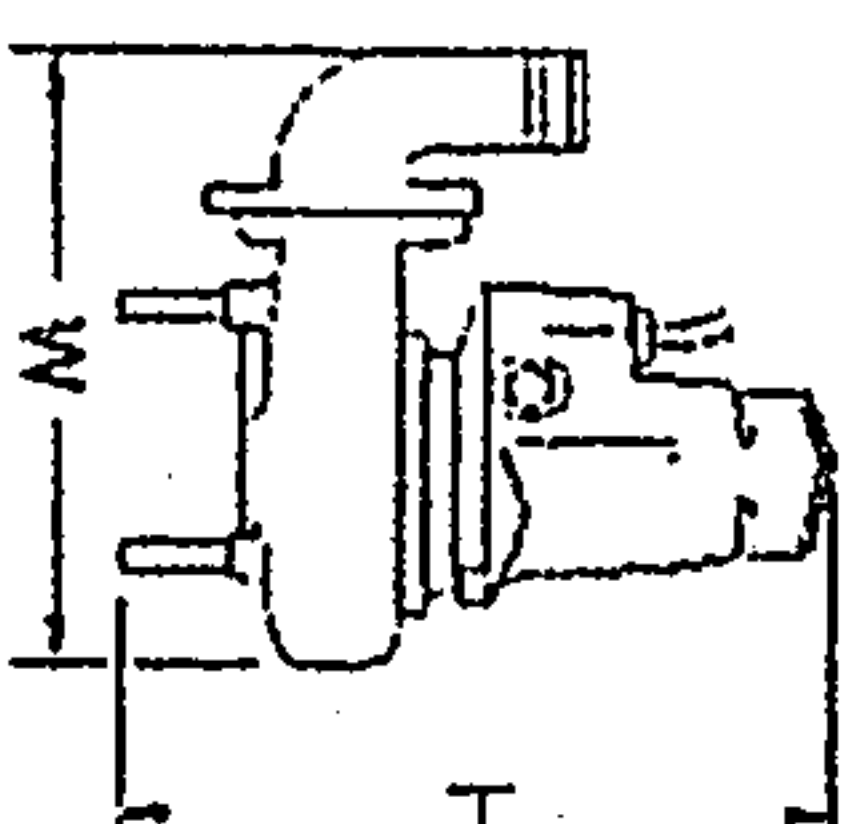
Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
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CF 3067.180

Impeller Codes:

265, 267	— 2" Hose	12 3/8	315	20 3/8	520	90	41
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DF



Dimensions

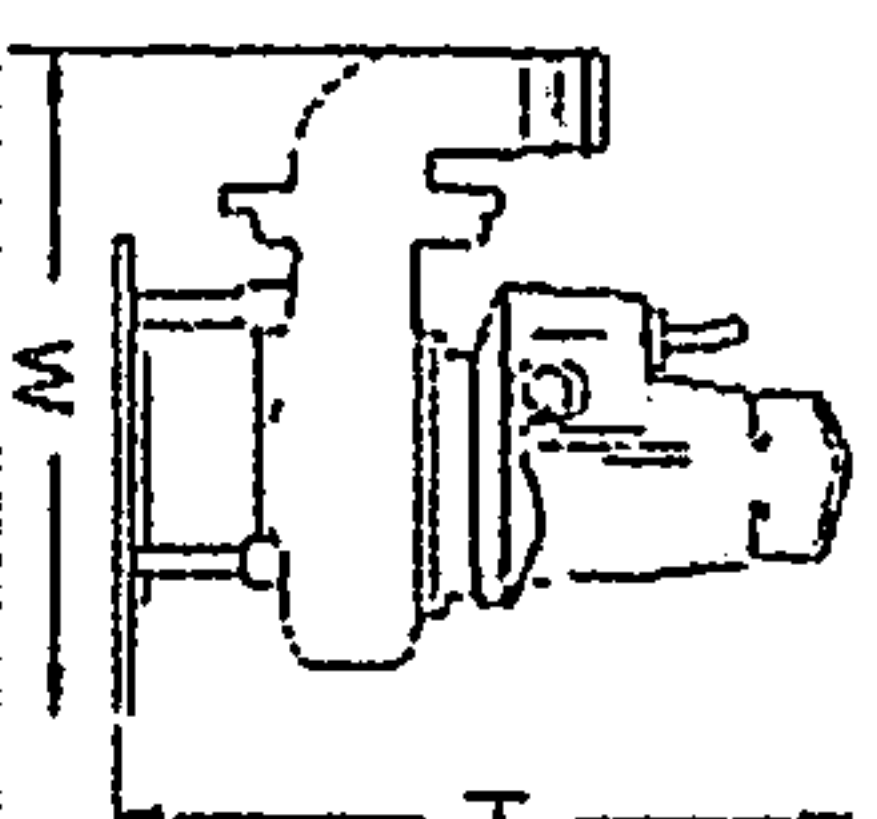
Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
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DF 3067.180

Impeller Codes:

473, 474	— 3" Hose	19	483	21 1/2	546	105	48
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DS



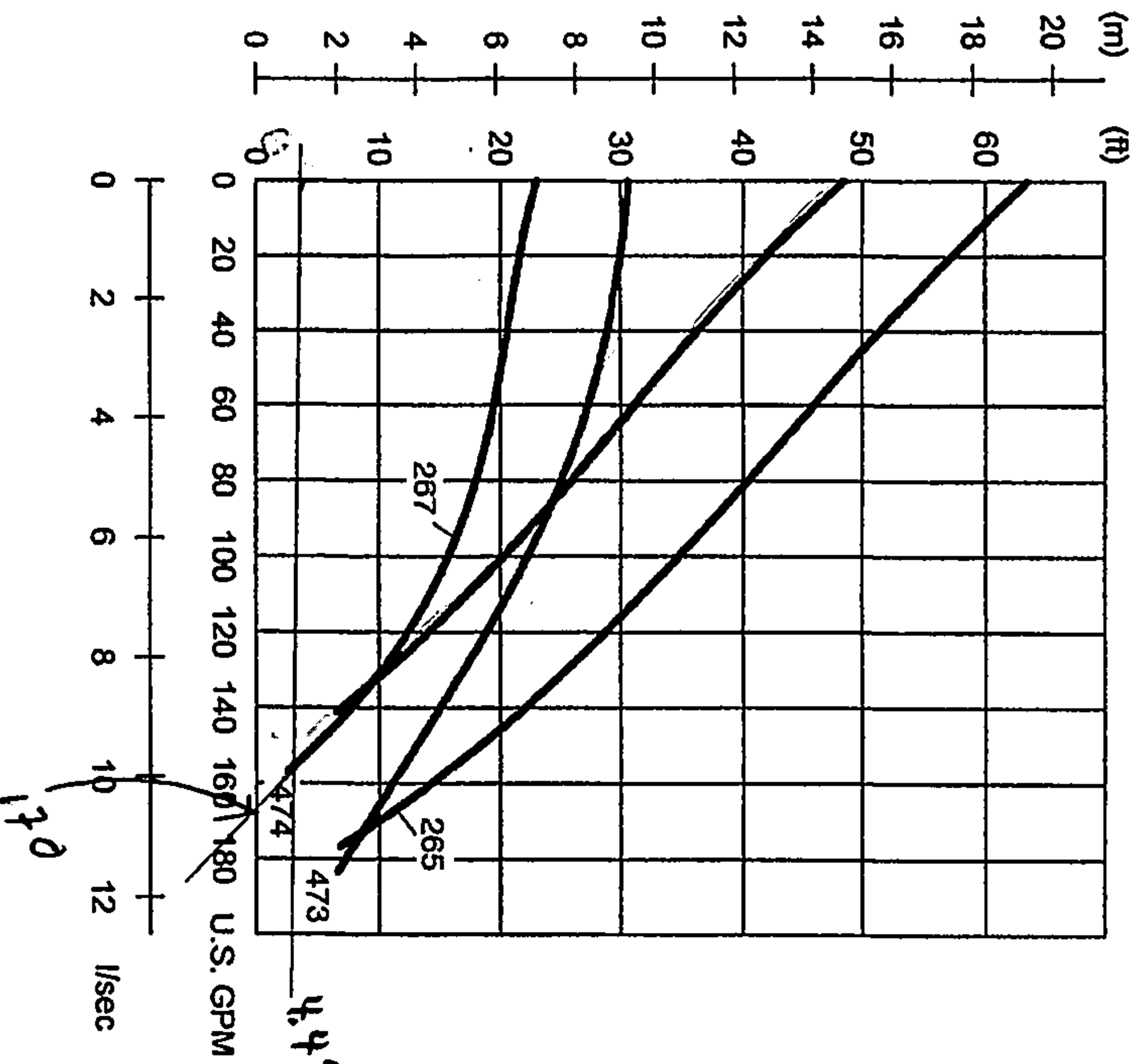
Dimensions

Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
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DS 3067.180

Impeller Codes:

473, 474	— 3-8 NPSM or 3" Hose	19	483	21 1/2	545	110	50
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VERSION	IMP. CODE	HP	PHASE	VOLTS	FLA	STARTING CABLE SIZE CURRENT	AWG
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CF 3067.180/090

High Head HT 2"	267	1.6	1	115	16	80	14/7
	265	1.9	3	208	5.4	34	14/7
			3	230	4.8	31	
			3	460	2.4	16	
			3	600	2.0	11	

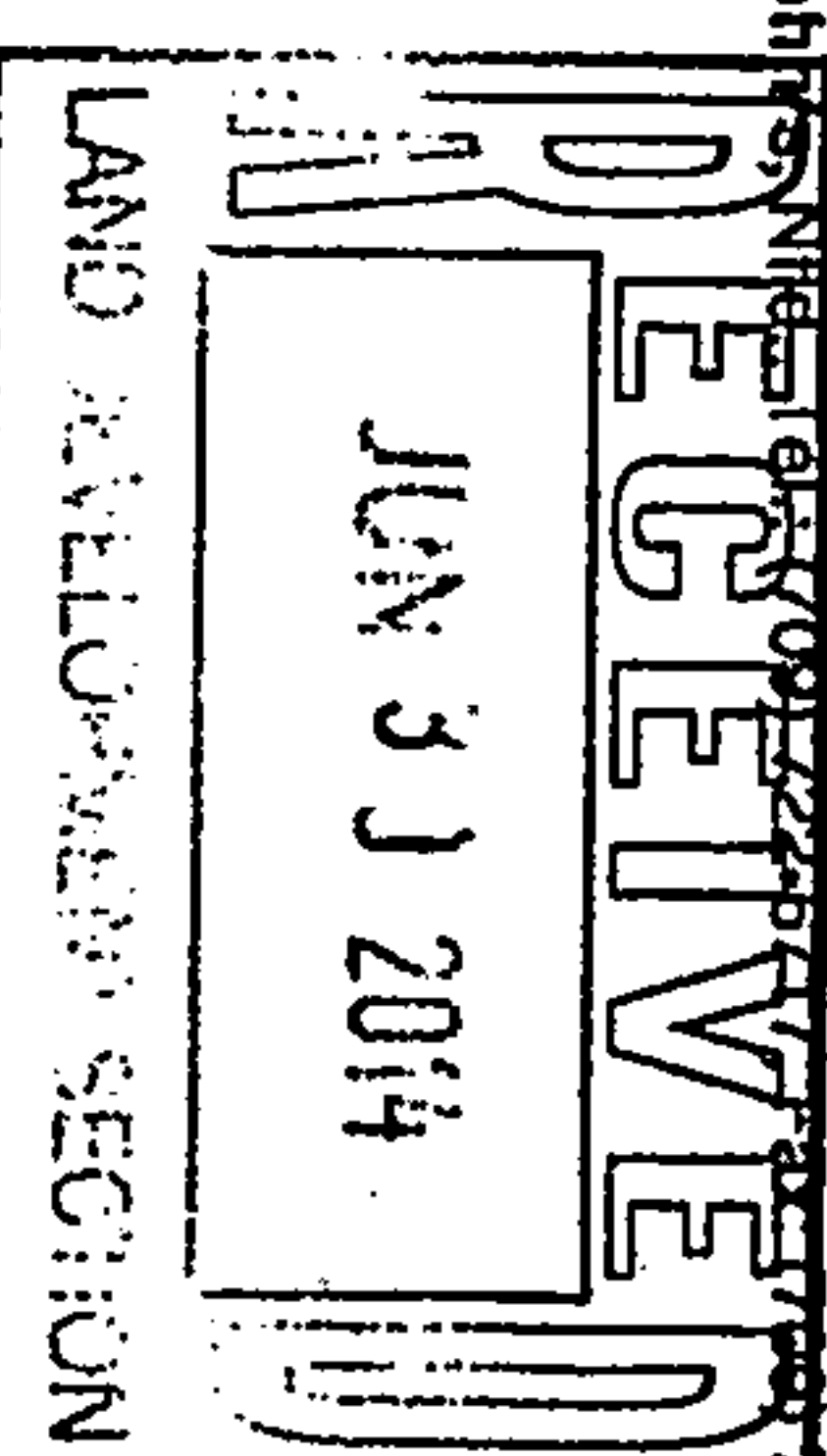
DF/DS 3067.180/090

Standard MT 3"	474	1.3	1	115	14	32	14/7
	473	1.7	3	208	6.2	26	14/7
			3	230	5.6	24	
			3	460	2.8	12	
			3	600	2.2	9	

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Cocquitham, B.C., Tel.: (604) 941-6664, Fax: (604) 941-3659 • Calgary, Alta, Tel.: (403) 279-8371, Fax: (403) 279-0948 • Edmonton, Alta, Tel.: (780) 489-1961, Fax: (780) 486-5530
Saskatoon, Sask., Tel.: (306) 933-4849, Fax: (306) 931-0051 • Winnipeg, Mb., Tel.: (204) 235-0050, Fax: (204) 235-0066 • Concord, On., Tel.: (905) 760-7527
Ottawa, On., Tel.: (613) 225-9600, Fax: (613) 225-5496 • Sudbury, On., Tel.: (705) 560-2141, Fax: (705) 560-8260 • Thunder Bay, On., Tel.: (807) 625-9960, Fax: (807) 625-9970
Pointe-Claire, Qc, Tel.: (514) 695-0133, Fax: (514) 695-7990 • Beauport, Qc, Tel.: (418) 667-1694, Fax: (418) 666-9593 Val d'Or, Qc, Tel.: (819) 825-0792, Fax: (819) 825-5677 •
Moncton, N.B., Tel.: (506) 857-2244, Fax: (506) 859-8612 • Halifax, N.S., Tel.: (902) 450-1177, Fax: (902) 450-1170 • St. John's, Nfld., Tel.: (709) 722-2244, Fax: (709) 722-9832

Flygt



10 days

EXISTING EXCESS PRECIPITATION

Weighted E = EaAa + EbAb + EcAc + EdAd

Aa = 0 Ab = 0 Ac = 0.4595 Ad = 0

_____ Ea = 0.13 Eb = .28 Ec = .52 Ed = 3.14

Aa + Ab + Ac + Ad

EXISTING E = EcAc = (.52)(0.4595)

_____ = 0.52 INCHES

0.4595

10 days

Volume 360-10- year = (0.52)x(.4595)/12 = 0.01991 ac-ft = 867.35 cf

Pa = 0.38 Pb = 0.95 Pc = 1.71 Pd = 3.14

Q 360-10-year = (.38)x(0) + (.95)(0) + (1.71)x(0.07682) + (3.14)x(0) + 01313 cfs

PROPOSED EXCESS PRECIPITATION

Weighted E = (.13)x(0) + (.29)x(0.03341) + (.52)x(0.07682) + (1.34)x(0.3477)

_____ 0.4595

E = 0.51556

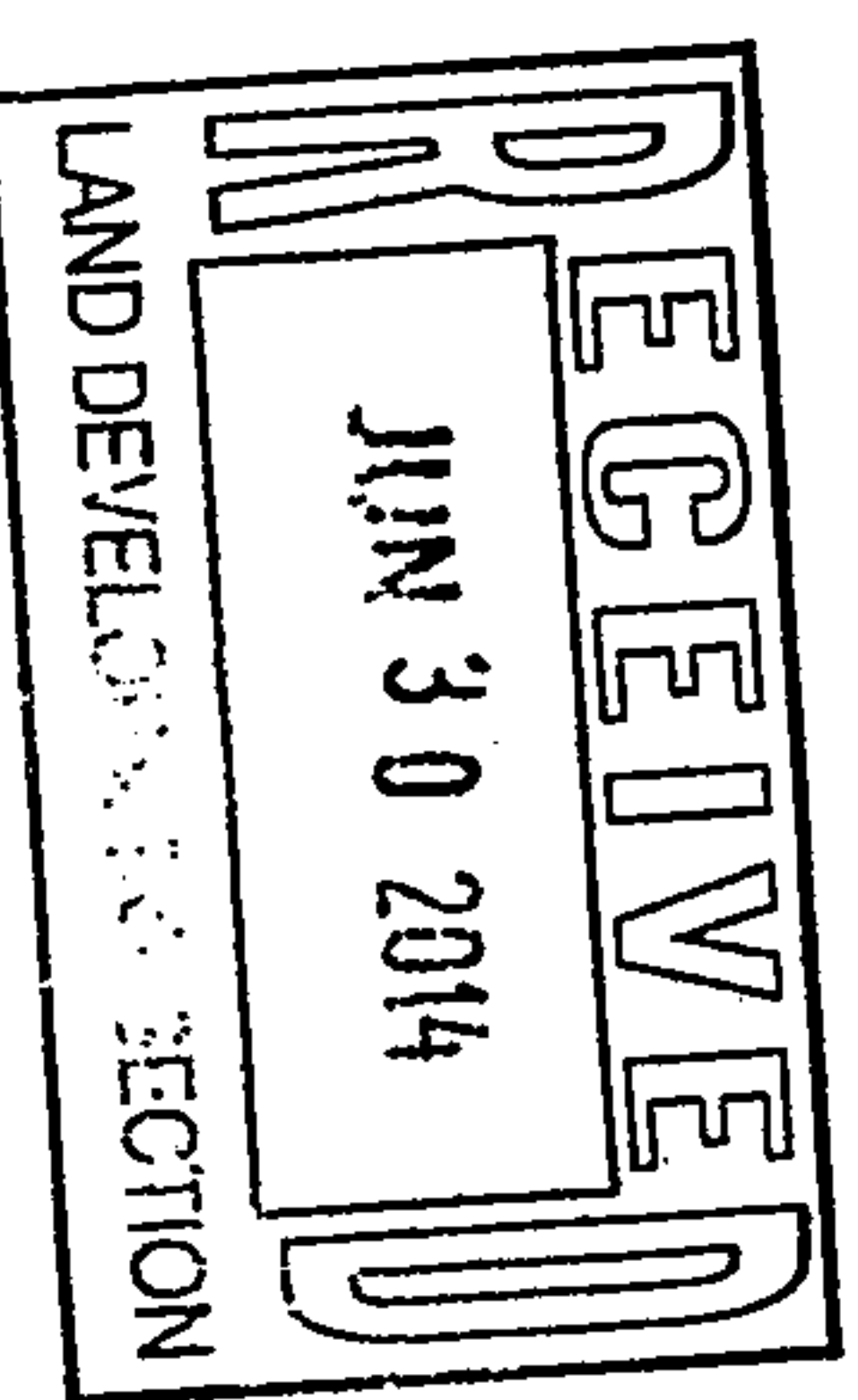
_____ = 1.12 inches

0.4595

Volume 360-10-year = (1.12)x(0.4595)/12 = 0.04289 ac-ft = 1,868.14 cf

Q360-10-year = (.38)x(0) + (.95)x(0.03341) + (1.71)x(0.007682) + (3.14)x(0.3477) = 1.26 cfs

✓



EXISTING EXCESS PRECIPITATION

$$\text{Weighed E} = E_a A_a + E_b A_b + E_c A_c + E_d A_d \quad A_a = 0 \quad A_b = 0 \quad A_c = 0.4595 \quad A_d = 0$$

$$E_a = 0.13 \quad E_b = .28 \quad E_c = .52 \quad E_d = 3.14$$

$$A_a + A_b + A_c + A_d$$

$$\text{EXISTING E} = E_c A_c = (.52)(0.4595)$$

$$= 0.52 \text{ INCHES}$$

$$0.4595$$

$$\text{Volume 360-10-year} = (0.52) \times (0.4595) / 12 = 0.01991 \text{ ac-ft} = 867.35 \text{ cf}$$

$$P_a = 0.38 \quad P_b = 0.95 \quad P_c = 1.71 \quad P_d = 3.14$$

$$Q_{360-10\text{-year}} = (.38) \times (0) + (.95) \times (0) + (1.71) \times (0.07682) + (3.14) \times (0) + 0.1313 \text{ cfs}$$

PROPOSED EXCESS PRECIPITATION

$$\text{Weighted E} = (.13) \times (0) + (.29) \times (0.03341) + (.52) \times (0.07682) + (1.34) \times (0.3477)$$

$$0.4595$$

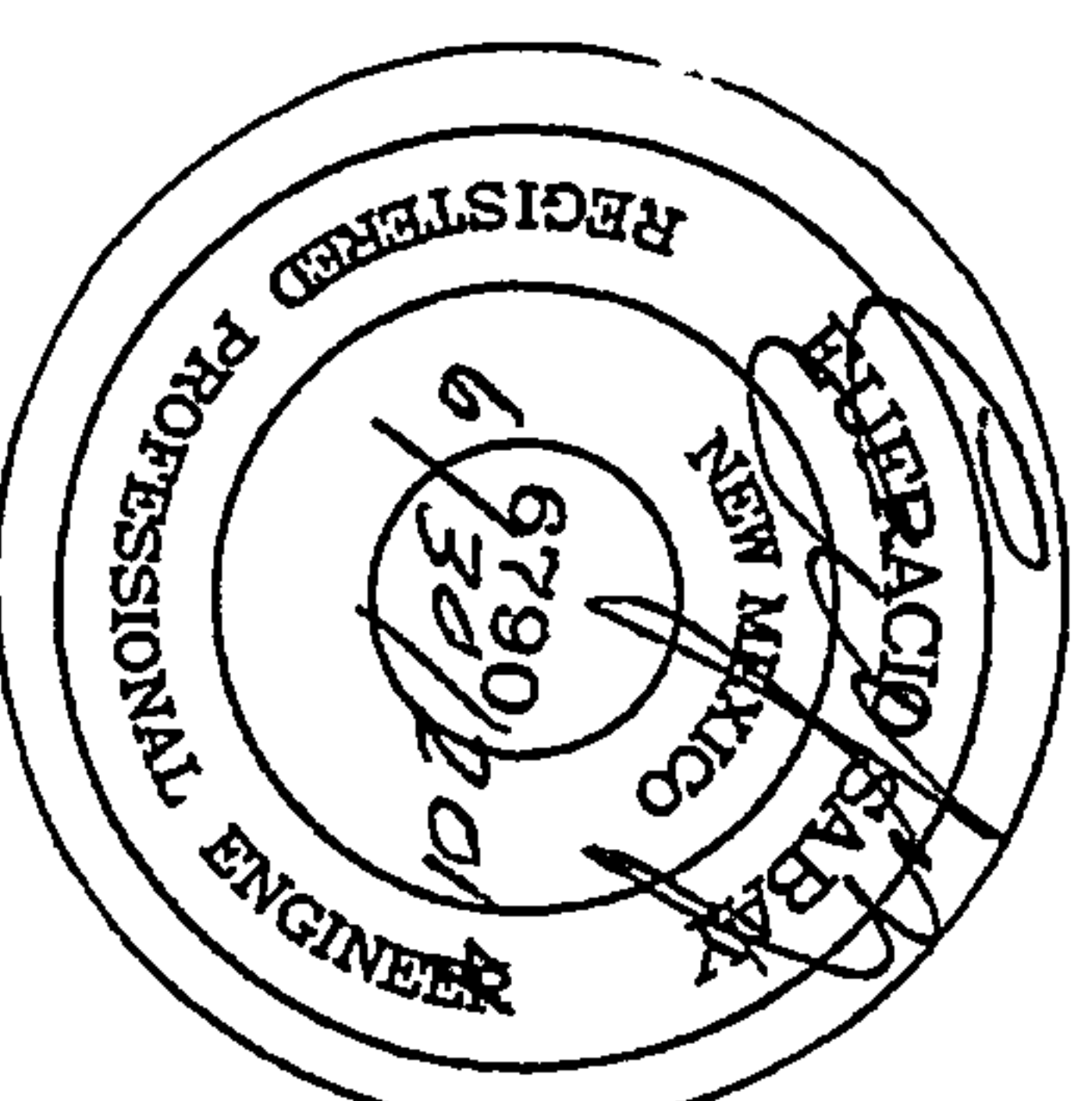
$$E = 0.51556$$

$$= 1.12 \text{ inches}$$

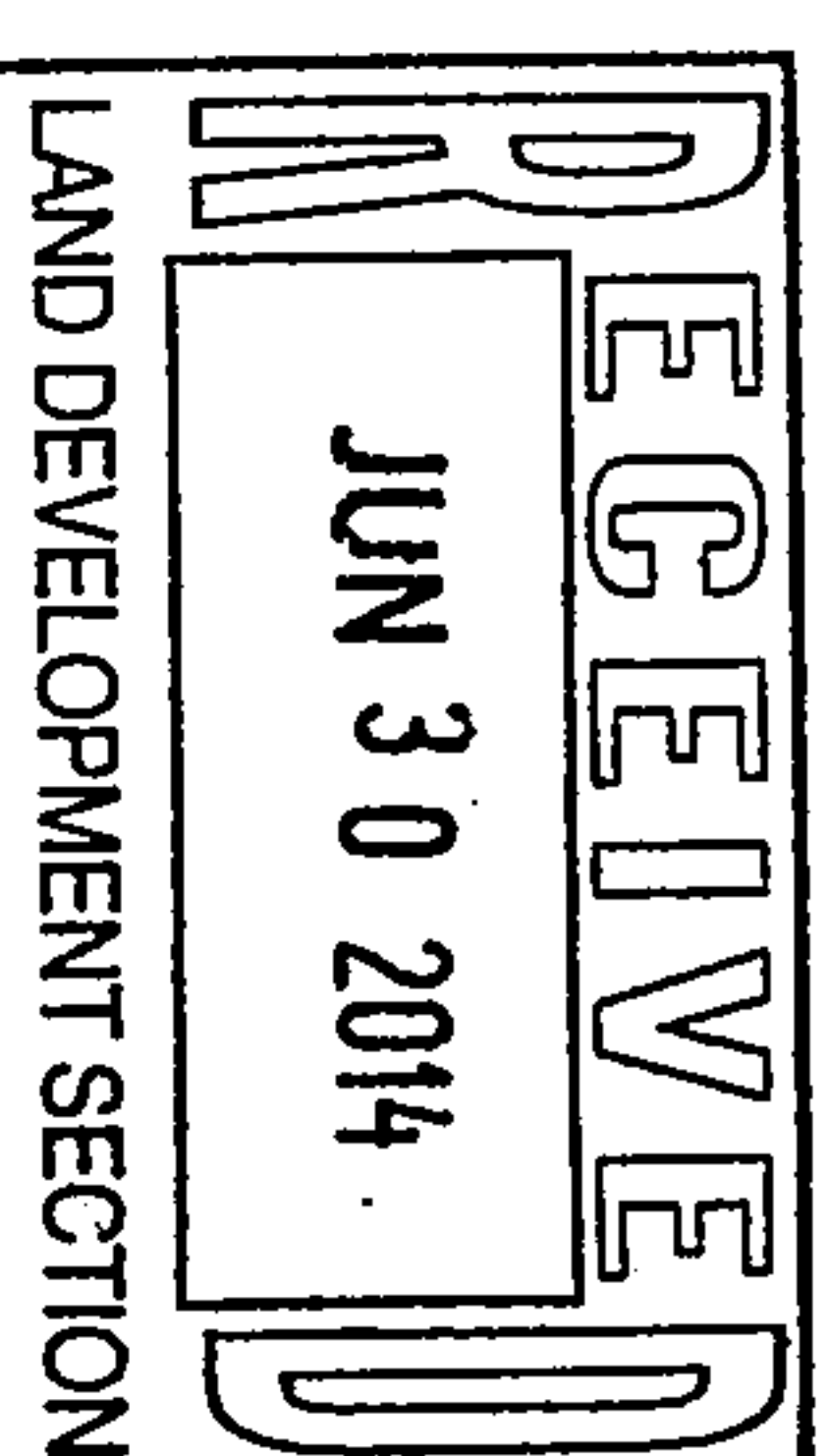
$$0.4595$$

$$\text{Volume 360-10-year} = (1.12) \times (0.4595) / 12 = 0.04289 \text{ ac-ft} = 1,868.14 \text{ cf}$$

$$Q_{360-10\text{-year}} = (.38) \times (0) + (.95) \times (0.03541) + (1.71) \times (0.007682) + (3.14) \times (0.3477) = 1.26 \text{ cfs}$$



June 29, 2014



RESPONSE TO COMMENTS DATED JUNE 4, 2014 FOR WAREHOUSE ADDITION AT (2655 BAYLOR DRIVE S.E.) M16-D006

1. Revise drainage calculations to show that the difference between the Proposed Peak Flow and the PUMP rate is less than or equal to the Existing Peak Flow ($Q_{\text{proposed}} - Q_{\text{pump}}$) is less than or equal to Q_{existing}) and show on the plan that this flow will first fill the shallow pond before it spills onto property to the west, as it historically has drained. *The plan drawing has been revised to show that the proposed flows minus the pipe flow equals the historical flows. The plan drawing has been revised with new spot elevations to indicate the developed flows will first fill the shallow pond before overflowing to the west.*
2. A new contour (about 58.5') will show that water overflowing the top of pond will flow to the west and spill over the wall (Top of Wall Elev. At 58.5') in sheet flow rather than a spillway. Show the FG Elevation around proposed building will be lower than 58.2' (Top of Wall and Top of Pond). Show spot elevations on all sides around building. *A new contour (58.5') has been added to the plan drawing. Finish spot elevations have been added to the plan drawing showing a spot elevations lower than 58.2'.*
3. Show spot elevations south of existing building and at beginning of concrete trough/swale to show that flows will be directed west before they overflow north. *New spot elevations have been added to the plan drawing to indicate that no developed flows will spill over to the north and within the existing valley gutter.*
4. As discussed, the Top of Pond Elevation will remain at 58.2' but not the 100-year WSEL. Using a hydrograph determine if the pond volume can hold the 10 year storm and in calculations. (ie. $V_{10\text{-year}} > V_{\text{pond}}$). *A hydrograph has been included on the plan drawing for the 10-year storm. The calculations have been included on the plan drawing showing that the proposed pond volume is greater than the 100-year 10-year storm.*
5. On the hydrograph, account for the pump rate. *The pump rate has been included on all the calculations.*
6. Spot elevations on north end of pond need to be noted as existing elevations. *Plan drawing has been revised to indicate the existing spot elevations.*
7. Eliminate opening in retaining wall on south side of property to prevent flow out of property. *Wall has been extended east and tied onto the retaining wall coming from the west.*
8. Remove High Point on SE corner of proposed building so that overflow of pond is directed west, as noted above. *Notation High Point has been removed from the plan drawing and new spot elevation have been included to indicate the flows will be routed west.*

9. The SO 19 notes need to be on the first sheet and clearly visible. *Notes and sign-off block has been inserted on the first sheet of the plan drawing.*
10. Clearly indicate on the pump cut sheets what pump is selected and which line to follow on the line graph. *Pump cut sheets have been marked to identify pump to be used along with depth and rate.*

If you have any further concerns please feel free to contact me at 505-250-7719.

Thank you

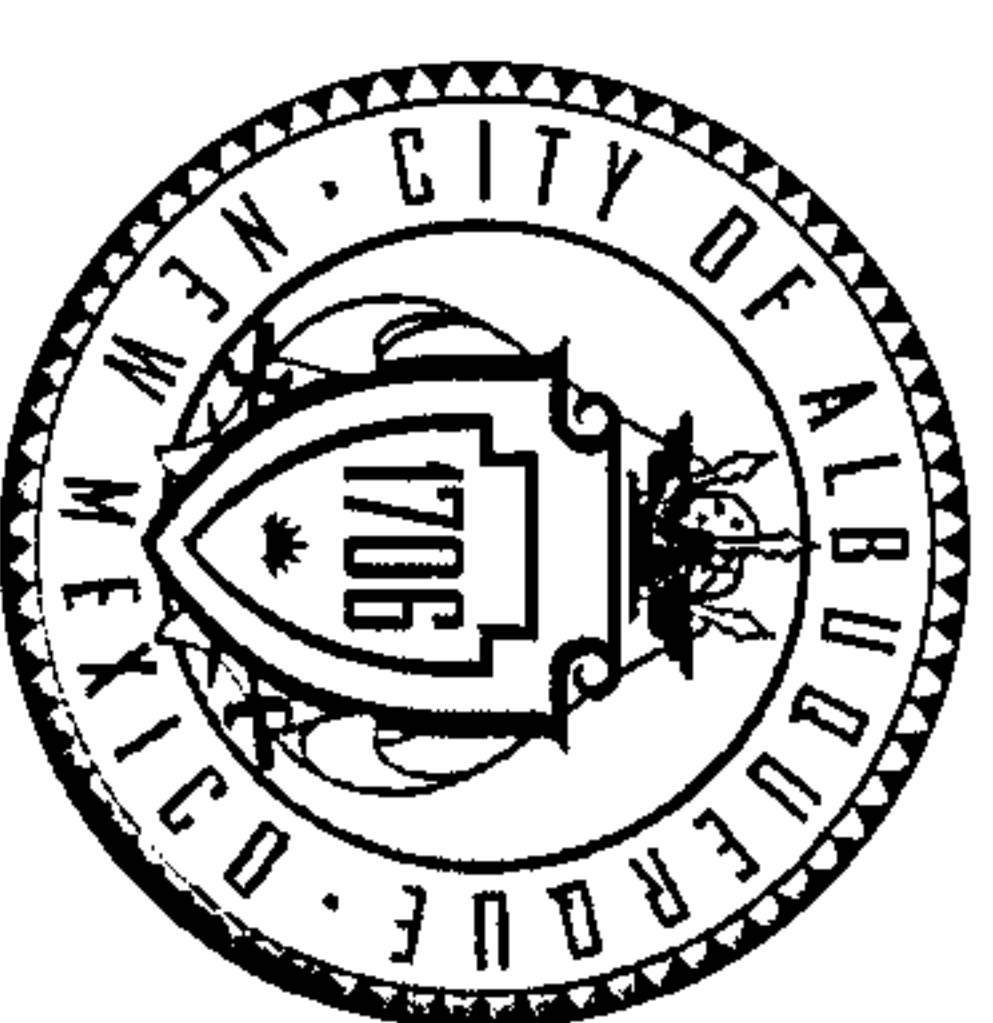
A handwritten signature in black ink that reads "Bernie J. Montoya". The signature is written in a cursive, flowing style.

Bernie J. Montoya C.E.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services

June 4, 2014



Bernie J. Montoya

Richard J. Berry, Mayor

BJM CONSULTANT

8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**RE: Warehouse Addition -2655 Baylor Drive SE
Grading & Drainage Plan
Engineer's Stamp Date 5-20-2014 (File: M16D006)**

Dear Mr. Montoya:

Based upon the information provided in your submittal received 5-21-14, the above referenced plan cannot be approved for Building Permit and SO-19 Permit until the following comments are addressed:

PO Box 1293

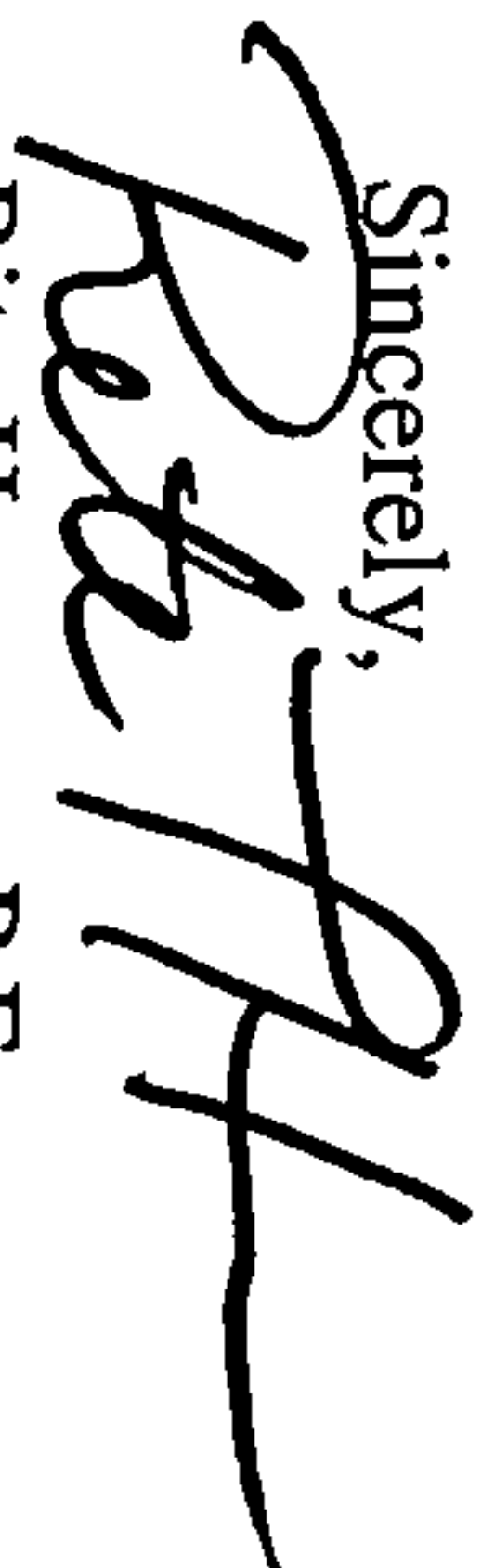
Albuquerque

New Mexico 87103

www.cabq.gov

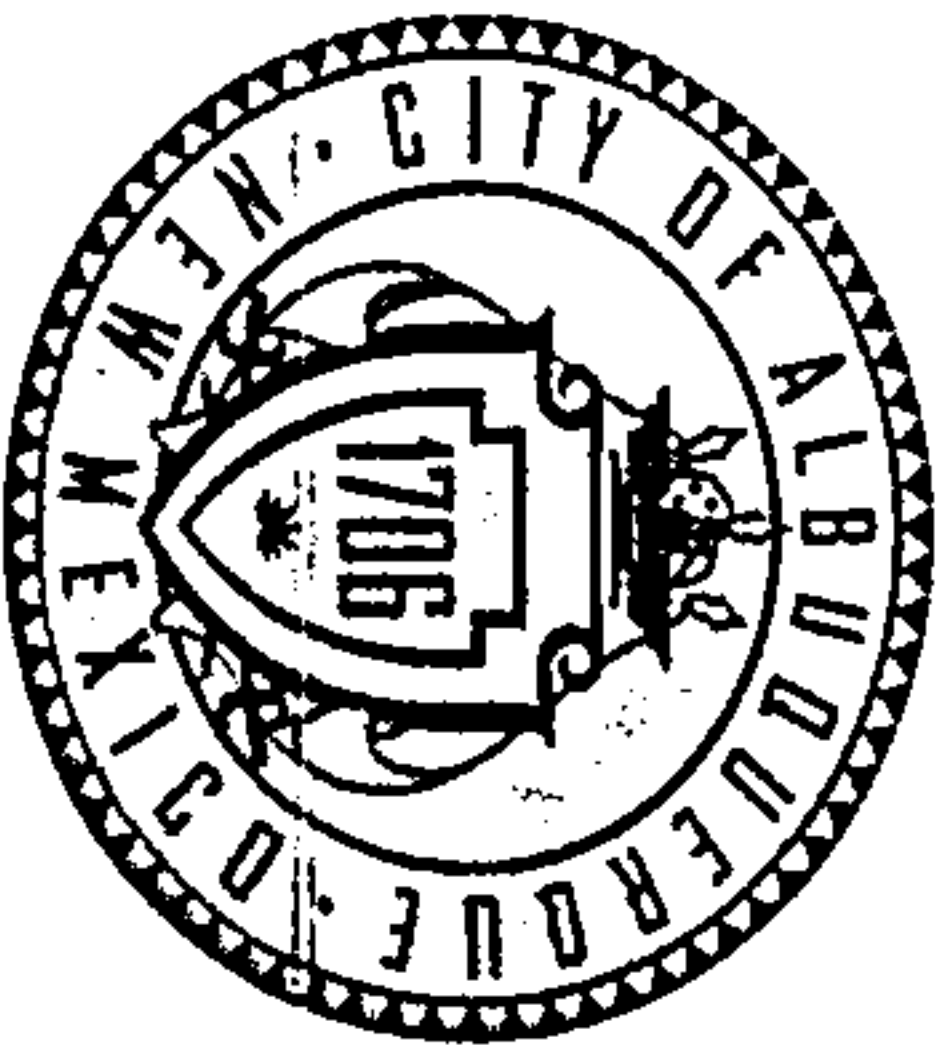
- 1) Revise drainage calculations to show that the difference between the Proposed Peak Flow and the Pump Rate is less than or equal to the Existing Peak Flow ($Q_{\text{proposed}} - Q_{\text{pump}} \leq Q_{\text{existing}}$), and show on plans that this Flow will first fill the shallow pond before it spills onto property to the west, as it historically has drained.
- 2) A new contour (about 58.5') will show that water overflowing the top of pond will flow to the west and spill over the wall (Top of Wall Elev at 58.2') in sheetflow rather than a spillway. Show the FG Elevation around proposed building will be lower than 58.2' (the Top of Wall and Top of Pond). Show spot elevations on all sides around building.
- 3) Show spot elevations south of existing building and at beginning of concrete trough/swale to show that flows will be directed west before they overflow north.
- 4) As discussed, the Top of Pond Elevation will remain at 58.2' but is not the 100 year WSEL. Using a hydrograph determine if the pond volume can hold the 10 yr storm and show in calculations. (ie. $V_{10\text{yr}} > V_{\text{pond}}$)
- 5) On the hydrograph, account for the pump rate.
- 6) Spot elevations on north end of pond need to be noted as existing elevations.
- 7) Eliminate opening in retaining wall on south side of property to prevent flow out of property.
- 8) Remove High point on SE corner of proposed building so that overflow of pond is directed west, as noted above.
- 9) The SO-19 notes need to be on the first sheet and clearly visible.
- 10) Clearly indicate on the pump cut sheets what pump is selected and which line to follow on the line graph.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

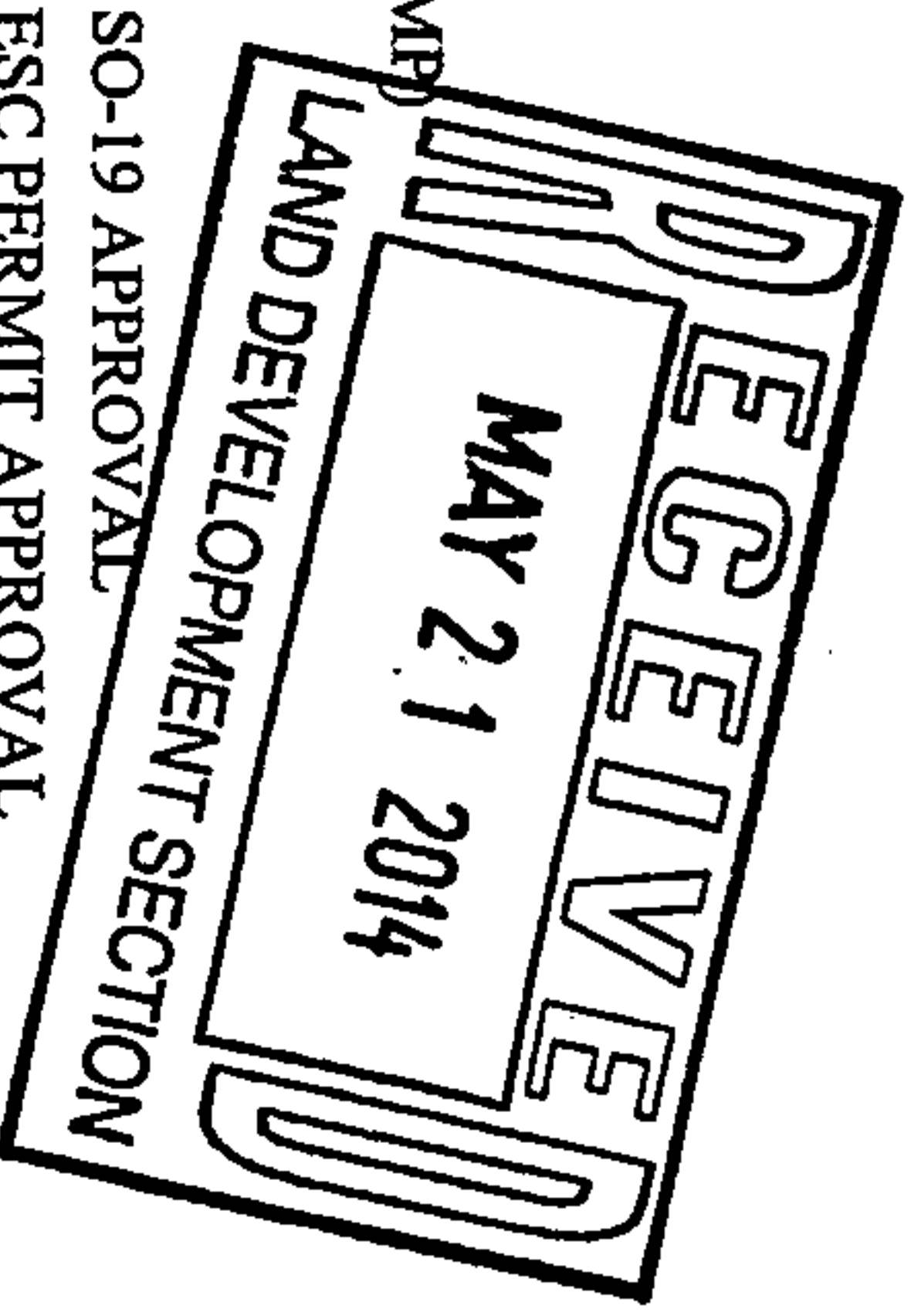
Project Title:	<u>WAREHOUSE ADDITION</u>	Building Permit #:		City Drainage #:	<u>M116-1D06</u>
DRB#:	<u>1010051</u>	EPC#:		Work Order#:	
Legal Description:	<u>REPLAT IN PROGRESS</u>				
City Address:	<u>2655 Baylor Drive S.E.</u>				
Engineering Firm:	<u>BTM CONSULTING</u>	Contact:			
Address:	<u>8624 Casa Verde Ave. NW</u>	Contact:			
Phone#:	<u>505-250-7719</u>	Fax#:	<u>505-839-0451</u>	E-mail:	<u>BTMCONSULTING@COMCAST.NET</u>
Owner:	<u>ACIM</u>	Contact:	<u>Herb</u>		
Address:	<u>505-244-3631</u>	Fax#:		E-mail:	
Phone#:				E-mail:	
Architect:		Contact:			
Address:		E-mail:			
Phone#:		Fax#:		E-mail:	
Surveyor:		Contact:			
Address:		E-mail:			
Phone#:		Fax#:		E-mail:	
Contractor:		Contact:			
Address:		E-mail:			
Phone#:		Fax#:		E-mail:	















TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input checked="" type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input checked="" type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input checked="" type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL TEMP)
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input checked="" type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input checked="" type="checkbox"/> GRADING PERMIT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> WORK ORDER APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> SO-19 APPROVAL
	<input type="checkbox"/> ESC PERMIT APPROVAL
	<input type="checkbox"/> ESC CERT. ACCEPTANCE
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Copy Provided
DATE SUBMITTED:	<u>5/21/2014</u> By: <u>Samir M. G. G.</u>

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



 Continue on S Milton Rd (AZ-89A).	Go for 1.1 mi 	Hide
 Continue on Arizona Veterans Hwy (I-17 S).	Go for 123.9 mi 	Hide
 Take exit #214C/AZ-101-LOOP onto Agua Fria Fwy (AZ-101-LOOP W).	Go for 6.3 mi 	Hide
 Take exit #177/75Th Ave onto W Beardsley Rd.	Go for 0.4 mi 	Hide
 Turn right onto N 75th Ave.	Go for 0.4 mi 	Hide
 Make a U-turn at W Rose Garden Ln onto N 75th Ave.	Go for 216 ft 	Hide
Your destination on N 75th Ave is on the right. The trip takes 132.7 mi and 1:55 h. 		
 21000 N 75th Ave, Glendale, AZ 85308-9622		Expand All

When using any driving directions or map, it is a good idea to double check and make sure the road still exists, watch out for construction, and follow all traffic safety precautions. This is only to be used as an aid in planning



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: WAREHOUSE ADDITION Building Permit #: _____ City Drainage #: M16-D6

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: REPLAT IN PROGRESS DRB # 1010051

City Address: 2655 Baylor Drive S.E.

Engineering Firm: BJM CONSULTING Contact: Bernie J. Montoya

Address: 8674 Casa Verde Avenue N.W.

Phone#: 505-250-7719 Fax#: 505-839-0451 E-mail: BJMCONSULTING@COMCAST.NET

Owner: ACTM Contact: Herb

Address: _____

Phone#: 505-247-3631 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

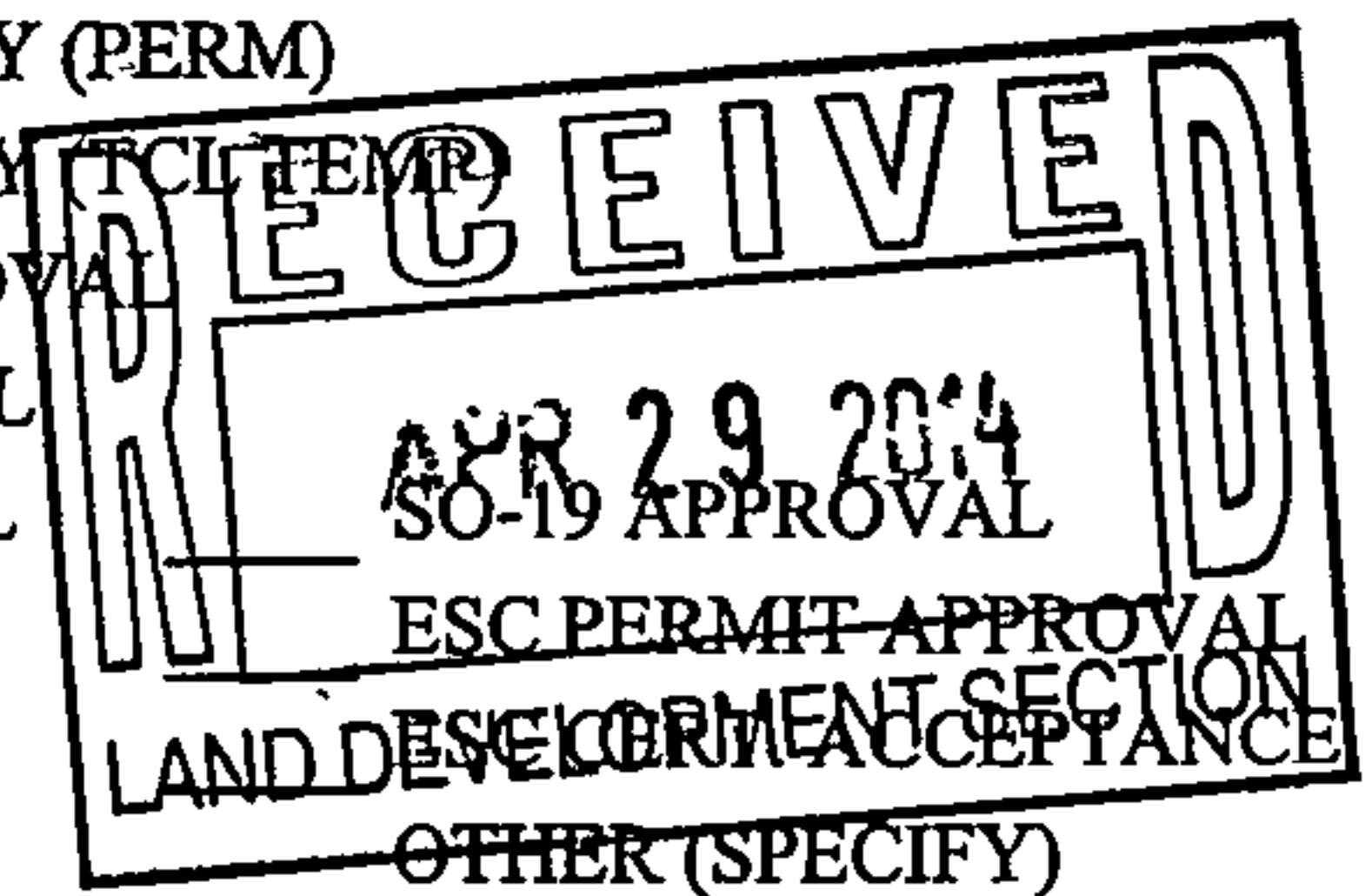
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ GRADING CERTIFICATION
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: Bernie J. Montoya By: 4/29/2014

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

May 19, 2014

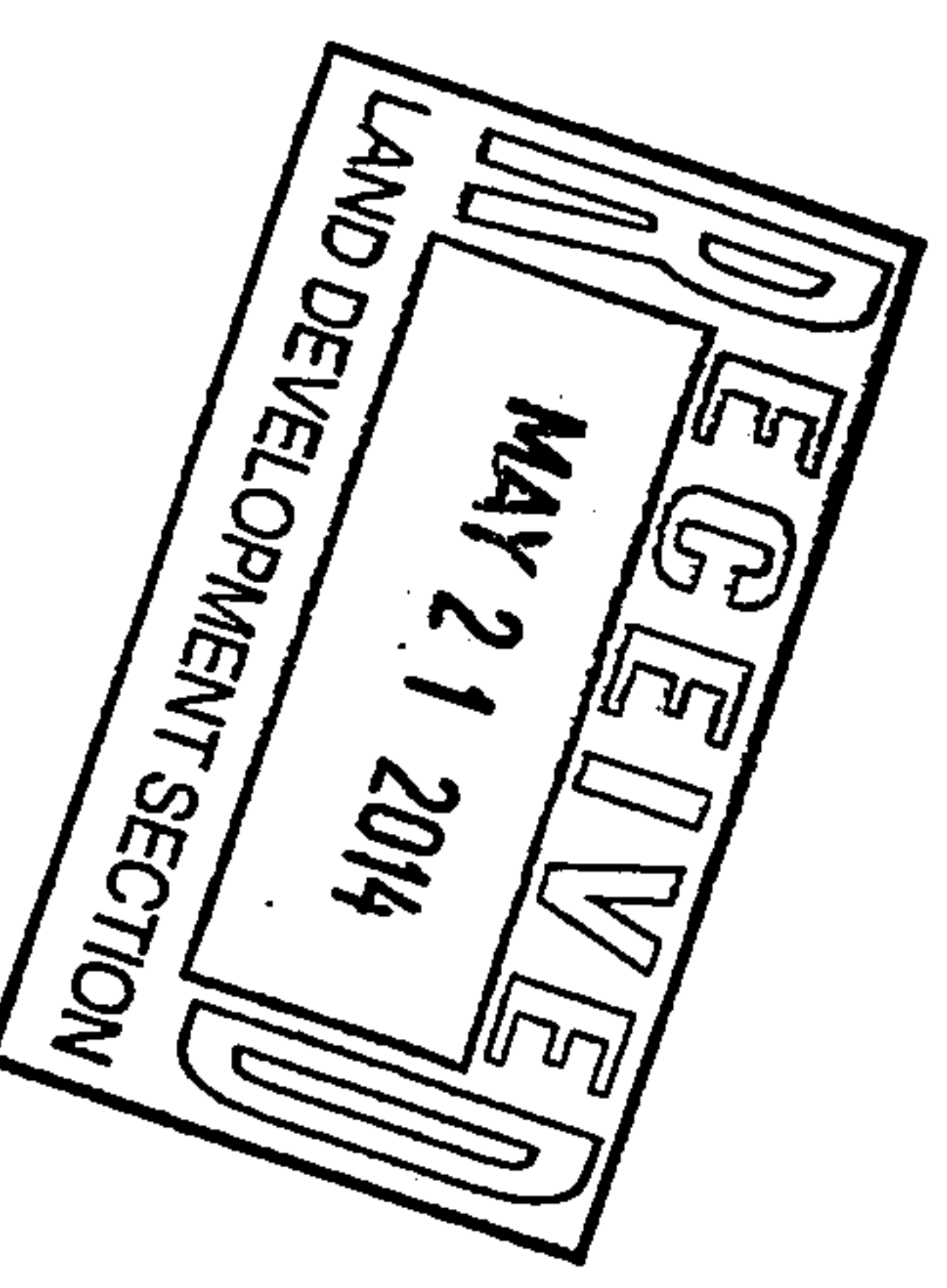
RESPONSE TO COMMENTS DATED MAY 5, 2014 FOR WAREHOUSE ADDITION AT (2655 BAYLOR DRIVE S.E.)

1. Our records indicate a 21" Storm Drain runs underneath the proposed building. A comment by Hydrology Section addressed this comment during the DRB hearing (DRB # 1010051). *Per Mr. Chernes phone conversation on May 16, 2014 he indicated that no further dedication of easement would be required because no as-builts of the concrete pipe existed. He also indicated that I do a hydrograph to determine the true ponding requirement. A hydrograph has been provided on the plan drawing. We also discussed the possibility of providing a weir as a spillway within the proposed retaining wall, thru the existing 20 foot drainage easement to convey the historical run-off toward the west which historically it traveled. The proposed building has been relocated further south away from the existing 20 foot drainage Easement as shown on the plan drawing.*
2. The calculated (existing conditions) run-off volume historically flowed into property to the west. With the retaining wall in place no portion of the proposed development will flow flow westward. Therefore the entire proposed run-off volume must be accounted for in the ponding- or 3,091 cf, rather than the difference between the proposed and existing conditions. *Because the existing 21" concrete pipe has caused the proposed building to be moved 20 feet further south, we can use that gap to convey the historical run-off to a proposed spillway within the proposed retaining wall (weir calculations and weir detail have been provided on the plan drawing).*

If you have any further concerns please feel free to contact me at 505-250-7719.

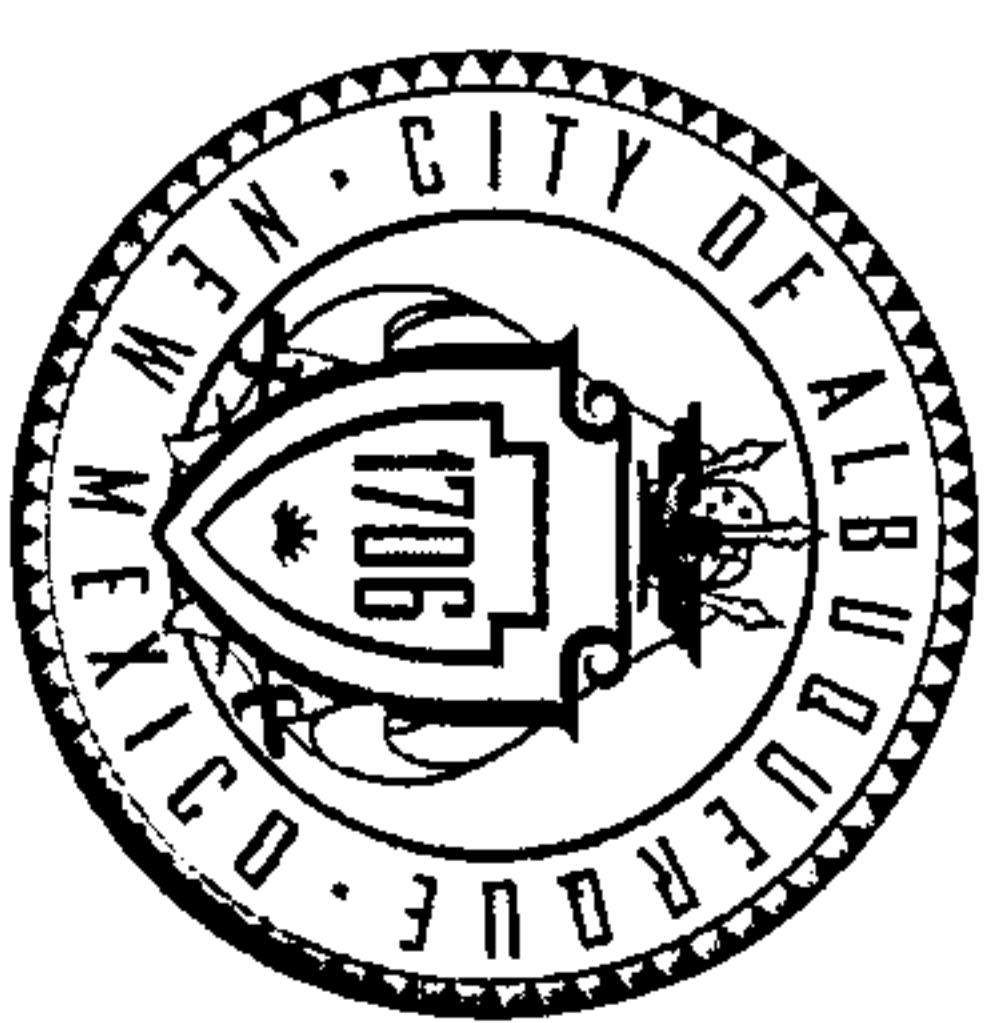
Thank you


Bernie J. Montoya C.E.



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 5, 2014

Richard J. Berry, Mayor

Bernie J. Montoya
BJM CONSULTANT
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

RE: Warehouse Addition -2655 Baylor Drive SE
Grading & Drainage Plan
Engineer's Stamp Date 4-28-2014 (File: M16DD006)

Dear Mr. Montoya:

Based upon the information provided in your submittal received 4-29-14, the above referenced plan cannot be approved for Building Permit and SO-19 Permit until the following comments are addressed:

- PO Box 1293
- Albuquerque
- 1) Our records indicate a 21" Storm Drain runs underneath the proposed building. A comment by Hydrology Section addressed this in a comment during the DRB hearing (DRB # 1010051).
 - 2) The calculated [existing conditions] runoff volume historically flowed into property to the west. With the retaining wall in place no portion of the proposed development will flow westward. Therefore the entire proposed runoff volume must be accounted for in the ponding – or 3091cfs, rather than the difference between the proposed and existing conditions.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

M16DD006_BP&SO19_comments2.doc

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1010051

AGENDA ITEM NO: 9

SUBJECT:

Sketch Plat

ENGINEERING COMMENTS:

There is a 30" storm drain in the approximate location of the PUE shown on the plat.

Do you know what utilities exit in the PUE?

The City would like an exclusive easement. Provide the location of existing utilities and the storm drain to help determine the appropriate easement for the storm drain.

The building shown on the sketch will most likely have to be relocated.

PUE for all utilities
but COA wants
exclusive for
SD only

RESOLUTION/COMMENTS:

Trans SA exhibit, small ROW dedication
may be needed

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 4-30-14

April 28, 2014

RESPONSE TO COMMENTS DATED APRIL 18, 2014 FOR WAREHOUSE ADDITION AT (2655 BAYLOR DRIVE S.E.)

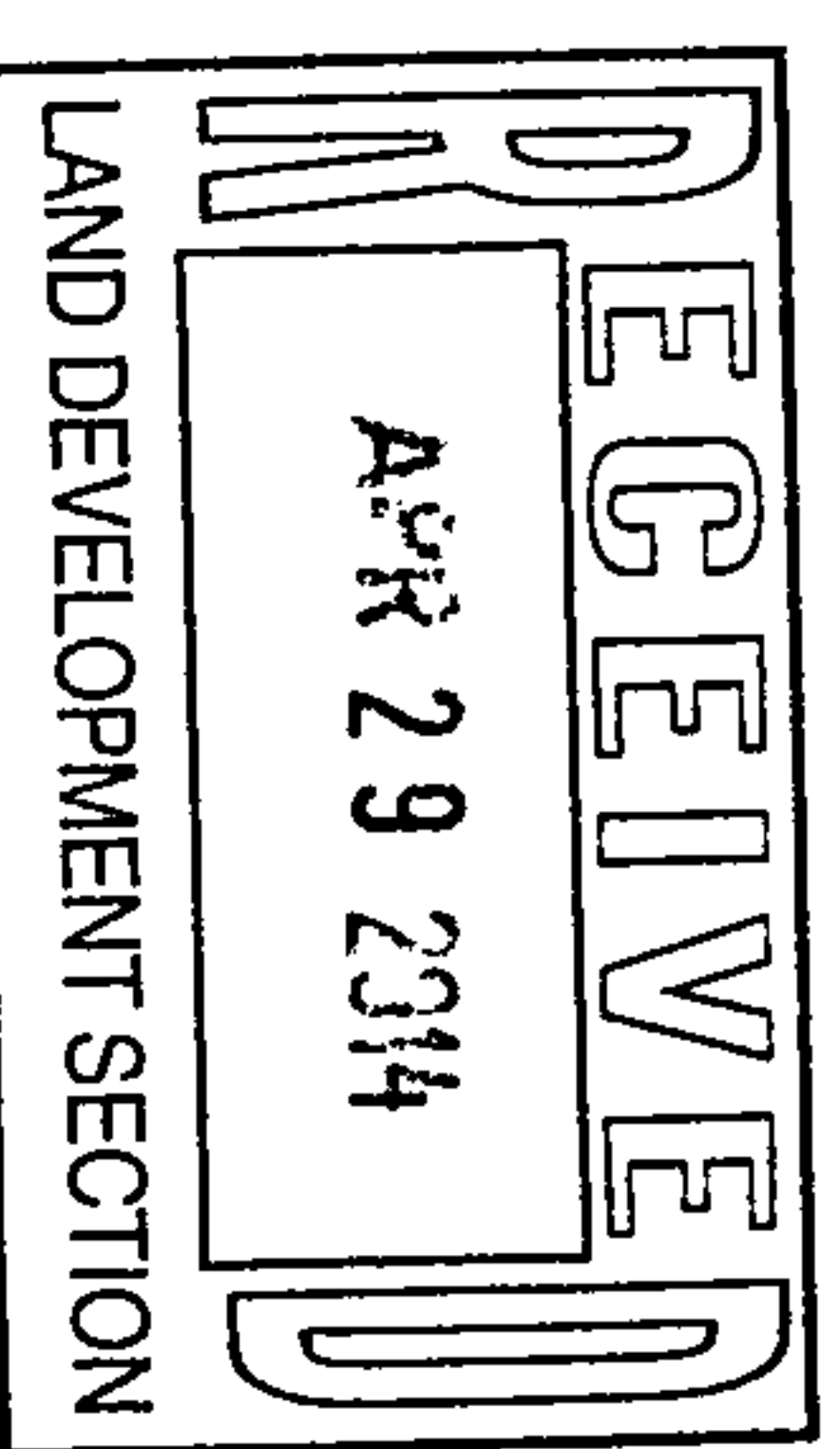
1. S.O. 19 notes should be part of the General Notes. *S.O. 19 notes and sign-off block has been added to the sheet one of the plan drawing.*
2. Show proposed contours or spot elevations on South and West sides of structure. *Spot elevations have been added to the plan drawing.*
3. Show invert elevation of 4" PVC pipe and show correct pipe diameter on section cut through sump. *Invert elevation has been added to the plan drawing and correct diameter has been shown on the sump detail.*
4. Show 100-year water surface elevation. What is the maximum pond volume? What is the pump rate? How is emergency overflow handled? *The 100-year water surface elevation has been added to the plan drawing. The required pond volume is the difference between the developed minus the historical which is 1,165.0 cf, I am providing for 1,513.0 cf. of ponding area which is about 348 cf of freeboard. The pump rate shown on the pump details I provided indicates 170 gallon per minute with a head up to 60 feet. The emergency spill way will be the existing concrete valley gutter which outlets into an existing inlet located north of the proposed sump as shown on the plan drawing. Attached you will find copies from the Master Drainage Plan as to how the emergency overflow was to be handled from the site.*
5. Is there a water stop at opening in retaining wall on South side? *Additional spot elevation have been added to plan drawing to clarify what is proposed.*

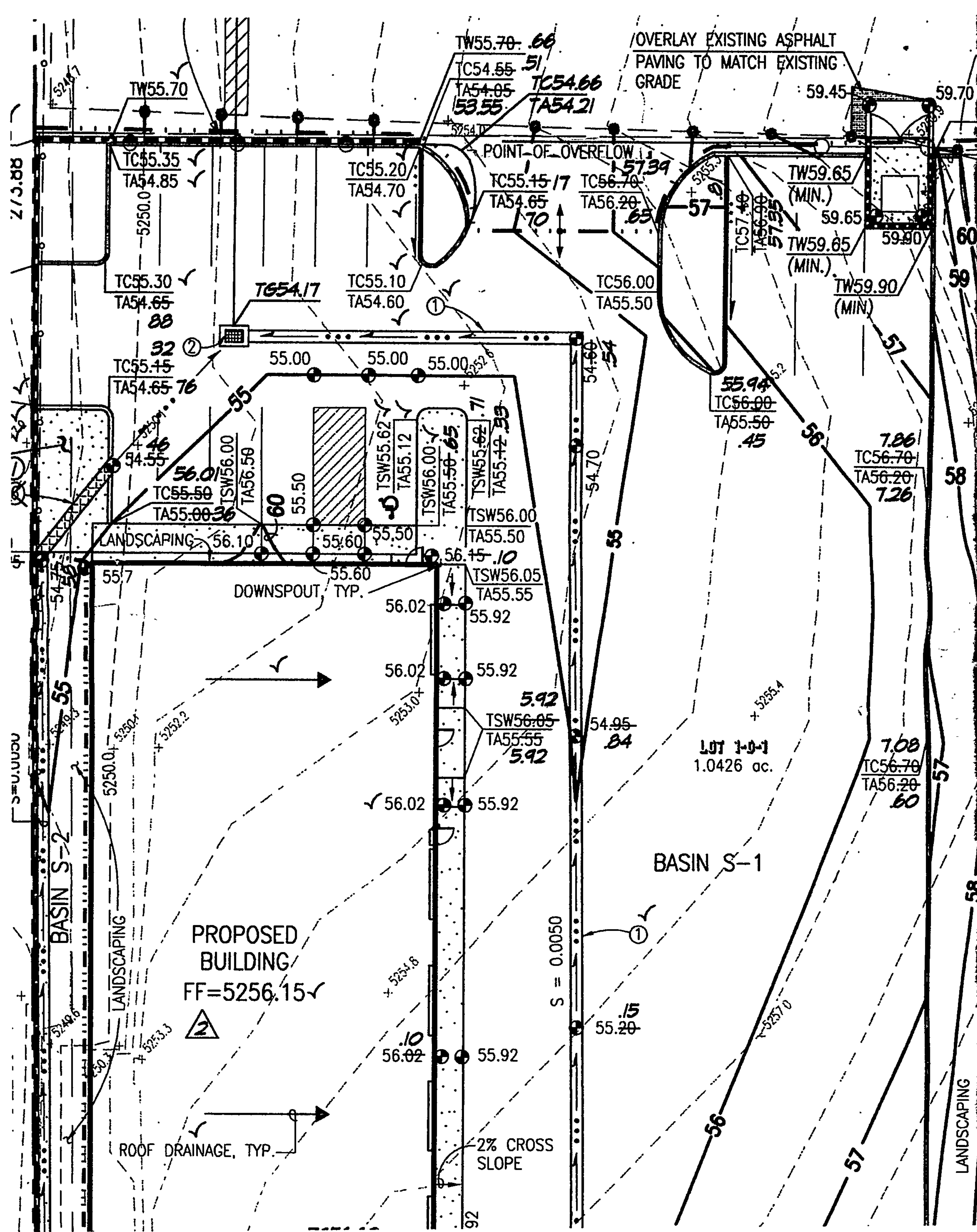
If you have any further concerns please feel free to contact me at 505-250-7719.

Thank you



Bernie J. Montoya C.E.





BACKGROUND DOCUMENTS

THE FOLLOWING DOCUMENTS WERE USED IN THE PREPARATION OF THIS PLAN:

- 1) DRAINAGE REPORT FOR GIBSON BOULEVARD, RECONSTRUCTION / REHABILITATION, UNIVERSITY BOULEVARD TO JACKSON STREET, PREPARED BY AVID ENGINEERING, INC. AND DATED AUGUST, 1995.

THE SITE LIES WITHIN BASIN G-17 AS DEFINED BY THIS REPORT. THE REPORT SHOWS THAT BASIN G-17 DISCHARGES 103 CFS INTO GIBSON BLVD. S.E. UNDER FULLY DEVELOPED CONDITIONS.

- 2) ALBUQUERQUE INTERNATIONAL AIRPORT STORM DRAINAGE MASTER PLAN, PREPARED BY MOLZEN-CORBIN & ASSOCIATES, DATED MAY 1995.

THIS PLAN SHOWS THAT BASIN G-17 DISCHARGES 103 CFS INTO GIBSON BLVD. S.E. UNDER FULLY DEVELOPED CONDITIONS.

EXISTING CONDITIONS

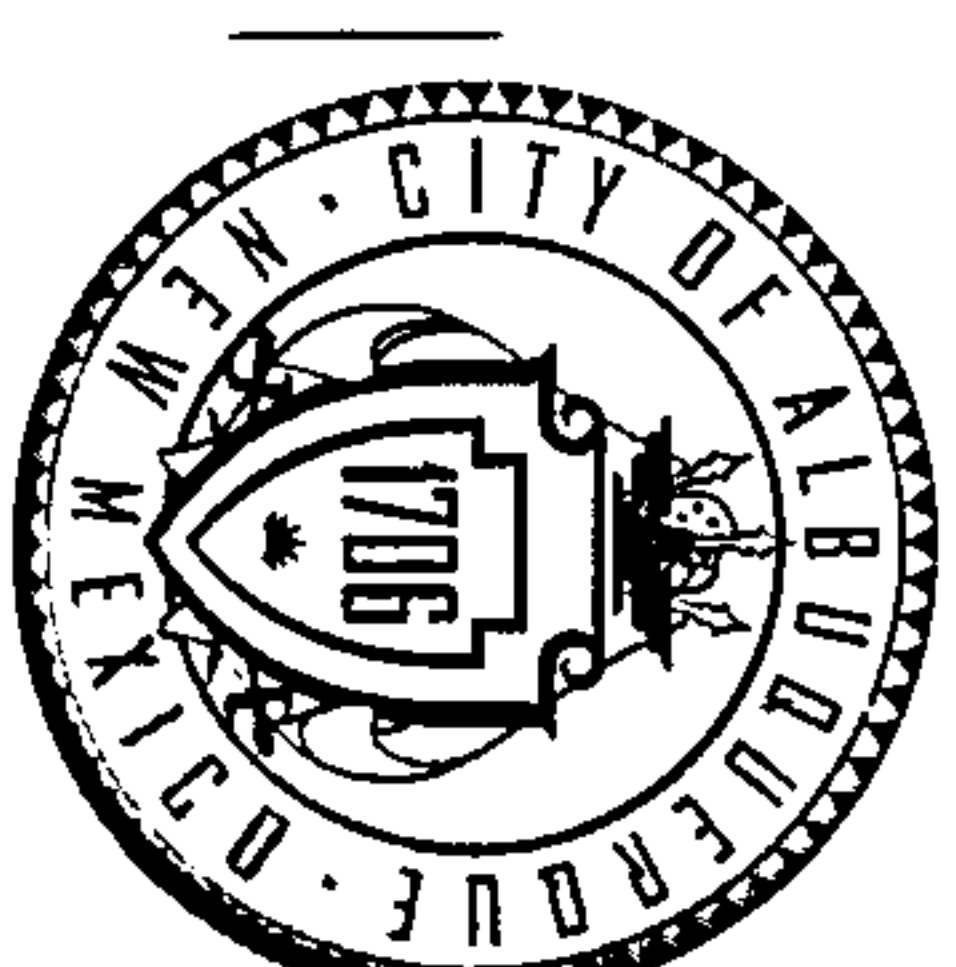
AT PRESENT, THE SITE IS PARTIALLY DEVELOPED. THE SITE IS CONTAINS TWO DRAINAGE BASINS. BASIN N MAKES UP THE NORTH QUARTER OF THE SITE AND CONSISTS OF AN INGRESS AND EGRESS EASEMENT SERVING LOT 1-B-1 LOCATED TO THE WEST AND CONTAINS AN EXISTING ASPHALT PAVED DRIVE. THE REMAINDER OF THE SITE LIES WITHIN BASIN S AND IS UNDEVELOPED. THE SITE SLOPES FROM EAST TO WEST WITH AN AVERAGE SLOPE OF 5%. ONSITE RUNOFF DISCHARGES AS SHEET FLOWS TO LOT 1-B-1 TO THE WEST OF THE SITE. A SMALL AREA BETWEEN THE SITE AND BAYLOR DRIVE TO THE EAST CONSTITUTES AN OFFSITE DRAINAGE BASIN WHICH IMPACTS THE PROJECT SITE. OFFSITE FLOWS ARE EXPECTED TO BE ABOUT 0.5 CFS. AS MENTIONED EARLIER, OFFSITE FLOWS WILL BE ACCEPTED AND CONVEYED THROUGHOUT THE SITE. A PUBLIC STORM INLET IS LOCATED APPROXIMATELY 40 FEET NORTHWEST OF THE SITE WITHIN GIBSON BLVD. ON THE SOUTH SIDE OF THE ROADWAY.

DEVELOPED CONDITIONS

IN THE SITE'S DEVELOPED CONDITIONS, TWO DRAINAGE BASINS ARE PROPOSED. DRAINAGE BASIN N ENCOMPASSES THE NORTH QUARTER OF THE SITE AND CONSISTS OF THE EXISTING PAVED, IMPERVIOUS AREAS. ONLY A SMALL AMOUNT OF NEW PAVING IS PROPOSED WITHIN DRAINAGE BASIN N. THE NEW PAVING WILL OCCUR AT THE SOUTH CENTRAL PORTION OF THE BASIN. RUNOFF GENERATED WITHIN DRAINAGE BASIN N WILL DISCHARGE IN ITS HISTORIC PATTERNS AT HISTORIC RATES AND VOLUMES. DRAINAGE BASIN S MAKES UP THE REMAINDER OF THE SITE AND IS DIVIDED INTO TWO SUB-BASINS IN THE SITE'S PROPOSED CONDITION. SUB-BASIN S-1 MAKES UP MOST OF BASIN S, WHILE SUB-BASIN S-2 CONSISTS OF THE LANDSCAPED AREA BETWEEN THE PROPOSED BUILDING AND LOTS 1-B-1 AND 1-D-2 AT THE SOUTHWEST PORTION OF THE SITE. THE PROPOSED IMPROVEMENTS WILL TAKE PLACE WITHIN DRAINAGE BASIN S AND WILL INCREASE THE VOLUME AND PEAK RATE OF DISCHARGE GENERATED BY THIS BASIN. IN ORDER TO MANAGE ONSITE RUNOFF WITHIN BASIN S, AN ONSITE STORM INLET AND PRIVATE STORM DRAIN PIPE CONNECTING TO THE EXISTING PUBLIC STORM INLET WITHIN GIBSON BLVD. IS PROPOSED. THE PRIVATE ONSITE INLET WILL BE LOCATED IN THE NORTHWEST PORTION OF DRAINAGE BASIN S-1. THE PROPOSED INLET AND PIPE ARE SIZED TO ACCOMMODATE THE 100-YEAR PEAK FLOWRATE. IN THE EVENT THAT THE STORM DRAIN SYSTEM IS RENDERED INOPERABLE, RUNOFF WILL ACCUMULATE IN THE VICINITY OF THE PROPOSED INLET UNTIL IT REACHES THE LEVEL OF THE ENTRANCE, WATER BLOCK. AT THIS POINT, THE RUNOFF WILL SPILL OUT THROUGH THE PROPOSED ENTRANCE AND DISCHARGE TO THE WEST AS SHEET FLOWS. BASED UPON THE AFOREMENTIONED DRAINAGE REPORT FOR GIBSON BLVD., THE OFFSITE EXISTING STORM INLET HAS THE CAPACITY TO HANDLE DEVELOPED RUNOFF FROM ADJACENT SITES, INCLUDING THE PROJECT SITE. RUNOFF GENERATED BY SUB-BASIN S-2 WILL DISCHARGE INTO THE PROPOSED ONSITE STORM INLET WITHIN BASIN S-1.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



April 18, 2014

Richard J. Berry, Mayor

Bernie J. Montoya
BJM CONSULTANT
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

RE: Warehouse Addition -2655 Baylor Drive SE
Grading & Drainage Plan
Engineer's Stamp Date 4-3-2014 (File: M16D006)

Dear Mr. Montoya:

Based upon the information provided in your submittal received 4-7-14 the above referenced plan cannot be approved for Building Permit and SO-19 Permit until the following comments are addressed:

1. Show proposed contours or spot elevations on South and West side of structure.
2. Show invert elevation of 4" PVC pipe and show correct pipe diameter on section cut through sump.
3. Show 100 year water surface elevation. What is the maximum pond volume? What is the pump rate? How is emergency overflow handled?
4. Is there a waterstop at opening in retaining wall on South side?

Albuquerque

NM 87103 If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

Harmon Rita T.

From:	Harmon Rita T.
Sent:	Friday, April 18, 2014 4:19 PM
To:	Bernie Montoya
Subject:	FW: Warehouse Addition - 2655 Baylor (M16D006)
Attachments:	M16D006_BP&SO19_comments.pdf

Mr. Montoya,
Neglected to add that the SO-19 notes should be included in the first page where the General Notes typically are found.

Rita Harmon, P.E.
Planning Department

From: Harmon Rita T.
Sent: Friday, April 18, 2014 4:16 PM
To: Bernie Montoya
Subject: Warehouse Addition - 2655 Baylor (M16D006)

Mr. Montoya,

Please find attached a copy of the Hydrology Letter for Building Permit and SO-19 Permit for the above referenced project.

Sincerely,

Rita Harmon, P.E.
Senior Engineer
Planning Department
Development Review Services Division
600 2nd St. NW, Suite 400
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3440



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: WAREHOUSE ADDITION Building Permit #: _____ City Drainage #: M1140006

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: REPLAT IN PROGRESS

City Address: 7655 BAYLOR DRIVE S.E.

Engineering Firm: BTM CONSULTING Contact: Bernie J. Montoya

Address: 8624 Casa Verde Ave. NW.

Phone#: 505-250-7719 Fax#: 505-839-0451 E-mail: BTMCONSULTING@comcast.net

Owner: ACIM Contact: Herb

Address: _____ E-mail: _____

Phone#: 505-247-3631 Fax#: _____

Architect: BTM CONSULTING Contact: _____

Address: _____ E-mail: _____

Phone#: _____ Fax#: _____

Surveyor: _____ Contact: _____

Address: _____ E-mail: _____

Phone#: _____ Fax#: _____

Contractor: _____ Contact: _____

Address: _____ E-mail: _____

Phone#: _____ Fax#: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☒ DRAINAGE PLAN 1st SUBMITTAL

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ ENGINEER'S CERT (HYDROLOGY)

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERT (TCL)

☐ ENGINEER'S CERT (DRB SITE PLAN)

☒ ENGINEER'S CERT (ESC)

☒ SO-19

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUBD APPROVAL

☐ S. DEV. FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM) AND DEVELOPMENT SECTION

☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)

☒ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

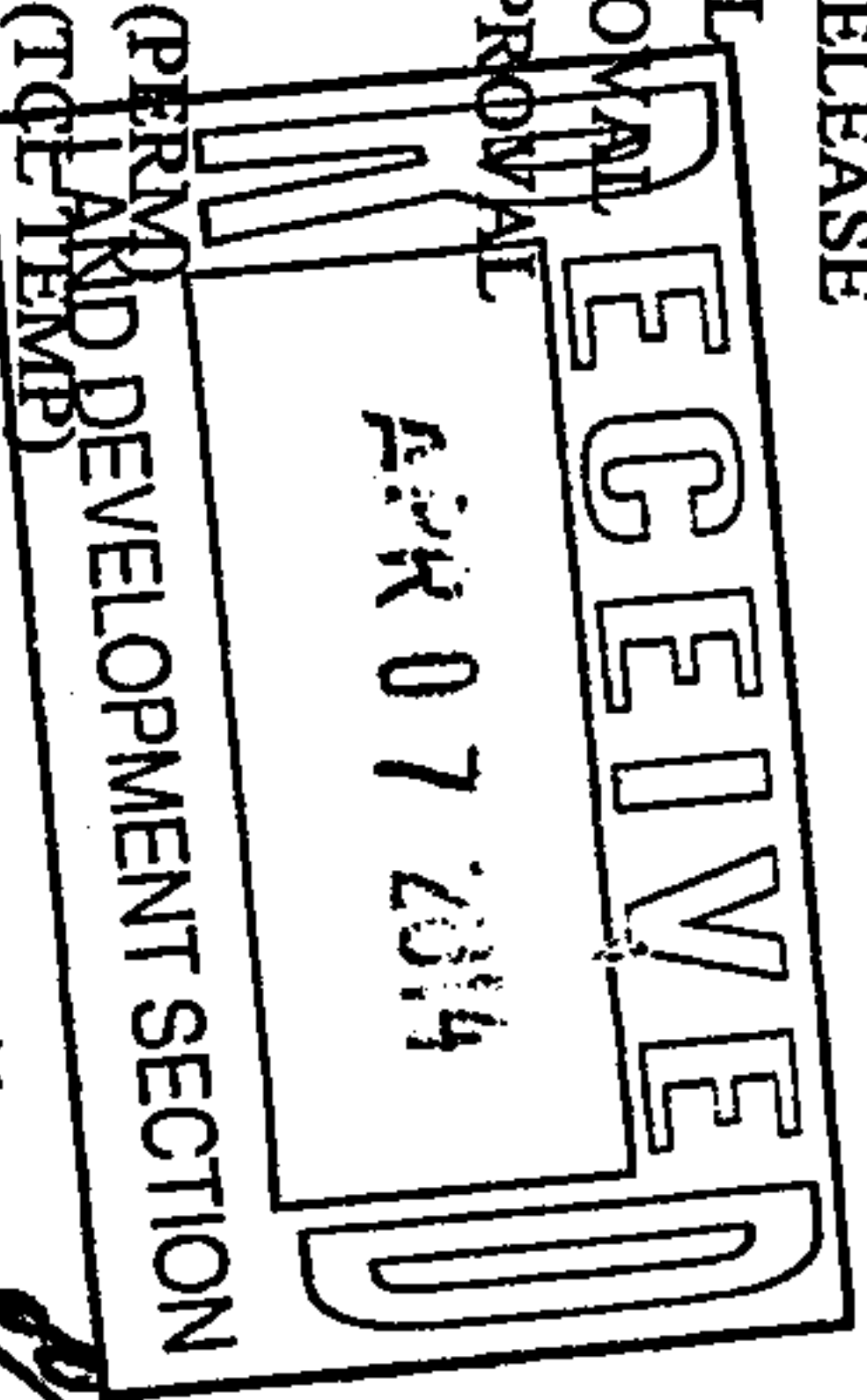
☐ GRADING CERTIFICATION

☒ Yes ☐ No ☒ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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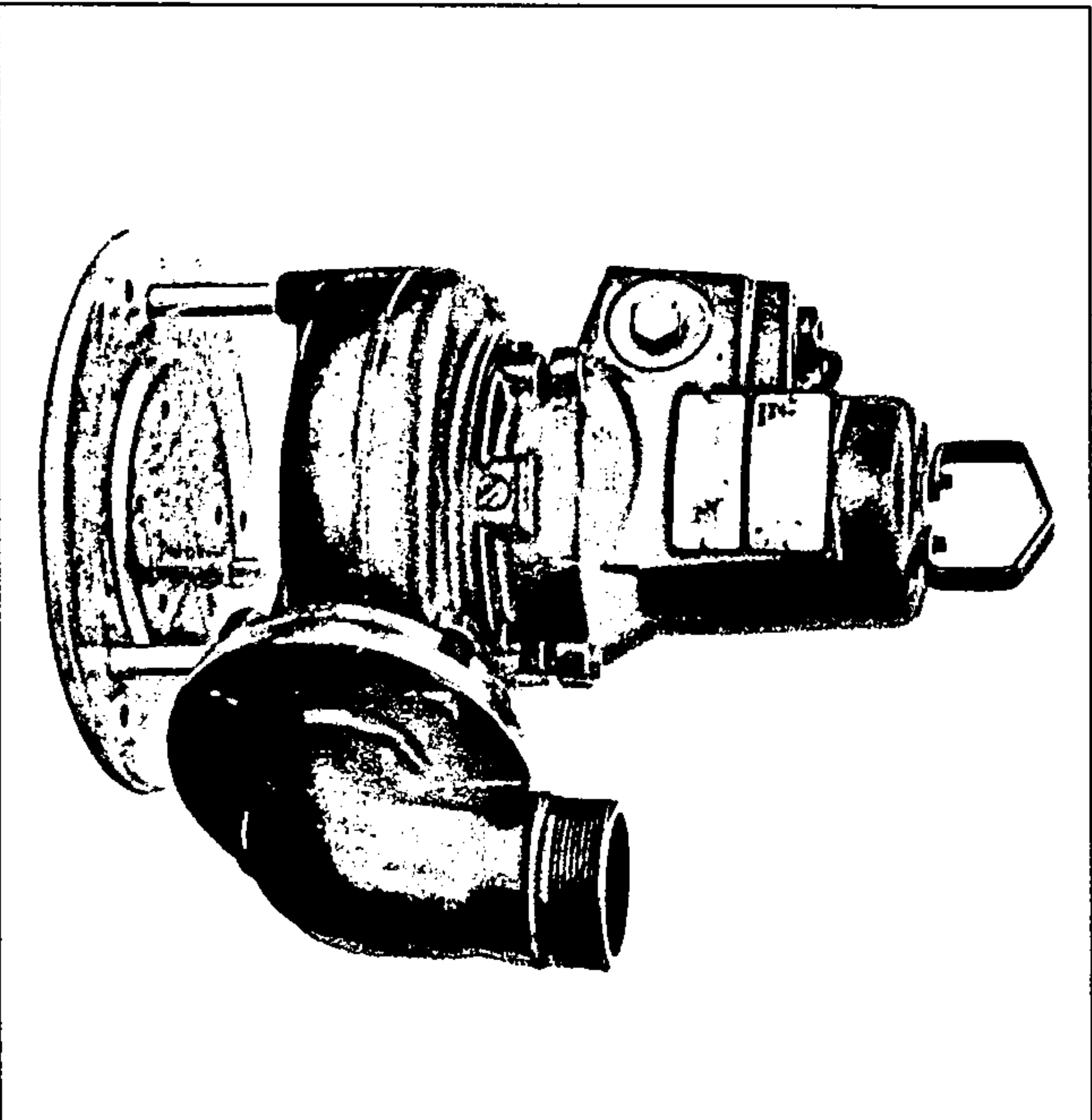
\$450



CF/DF/DS-3067.180

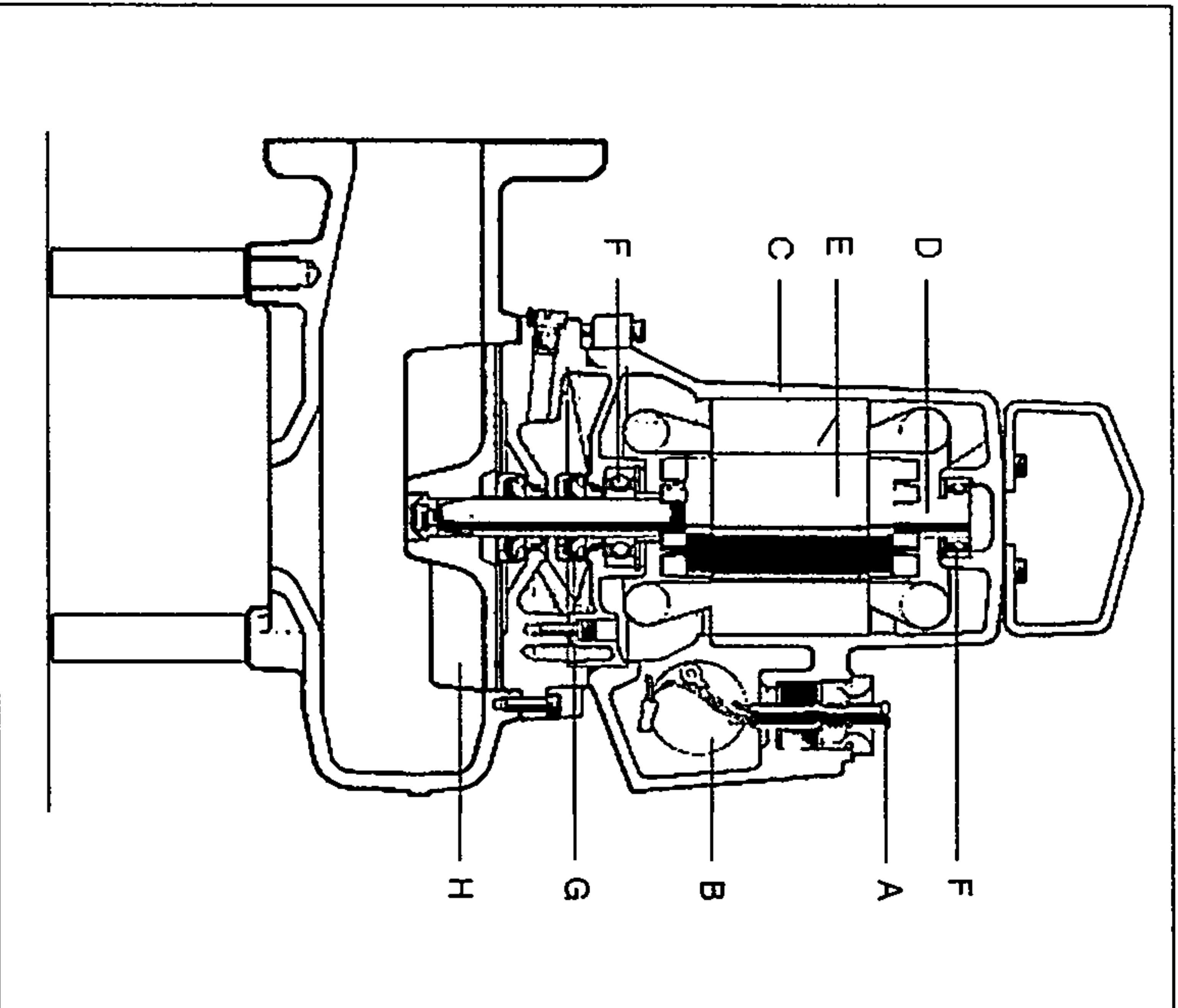
Portable Solids Handling Pump

Capacity up to 170 GPM, heads up to 60 ft.



Applications:

CF/DF/CS-3067.180 is ideal for pumping trash, mud, industrial waste, sludge, raw sewage, etc.



Specifications

- A Cable.** Standard 10 m (33 ft.) of AWG 14/7 SubCab cable. Other lengths available.
- B Junction Chamber.** Cable entry/incorporates a strain relief and grommet controlled compression sealing.
- C Pump Housing.** High strength, cast iron ASTM A48-76 No. 35B body. Static seals are leakproof Nitrile rubber O rings in precision machined grooves, with controlled compression.
- D Shaft.** Stainless steel.
- E Motor.** Air filled, NEMA design B with class H (180°C) insulation. 2 pole, 3450 rpm (CF); 4 pole, 1700 rpm (DF/DS). Shrink-fit to the motor housing. Allows at least 10 starts per hour. Built-in thermal sensors for additional motor overload protection.
- F Bearings.** Upper: single row ball bearing. Lower and upper: single row ball bearing.
- G Shaft Seals.** Independent double face seals running in environmentally friendly, FDA approved (Standard #172.878) lubricant. Upper seal: ceramic/ceramic. Lower seal: tungsten carbide/tungsten carbide. Oil quantity: .85 pints (0.4 l).
- H Impeller.** Non-clog closed type impeller. Material: Fiberglass reinforced Polyamide PA66 (CF- HT); cast iron ASTM A48-76 Class 35B (DF/DS- MT). Maximum particle size: 1-5/16" (CF- HT); 2-1/8" (DF/DS- MT).
Fasteners. Stainless steel AISI 304.

Approval:

CSA approved to UL Standard #778 and CSA C22.2 #108.



Controls (not shown).

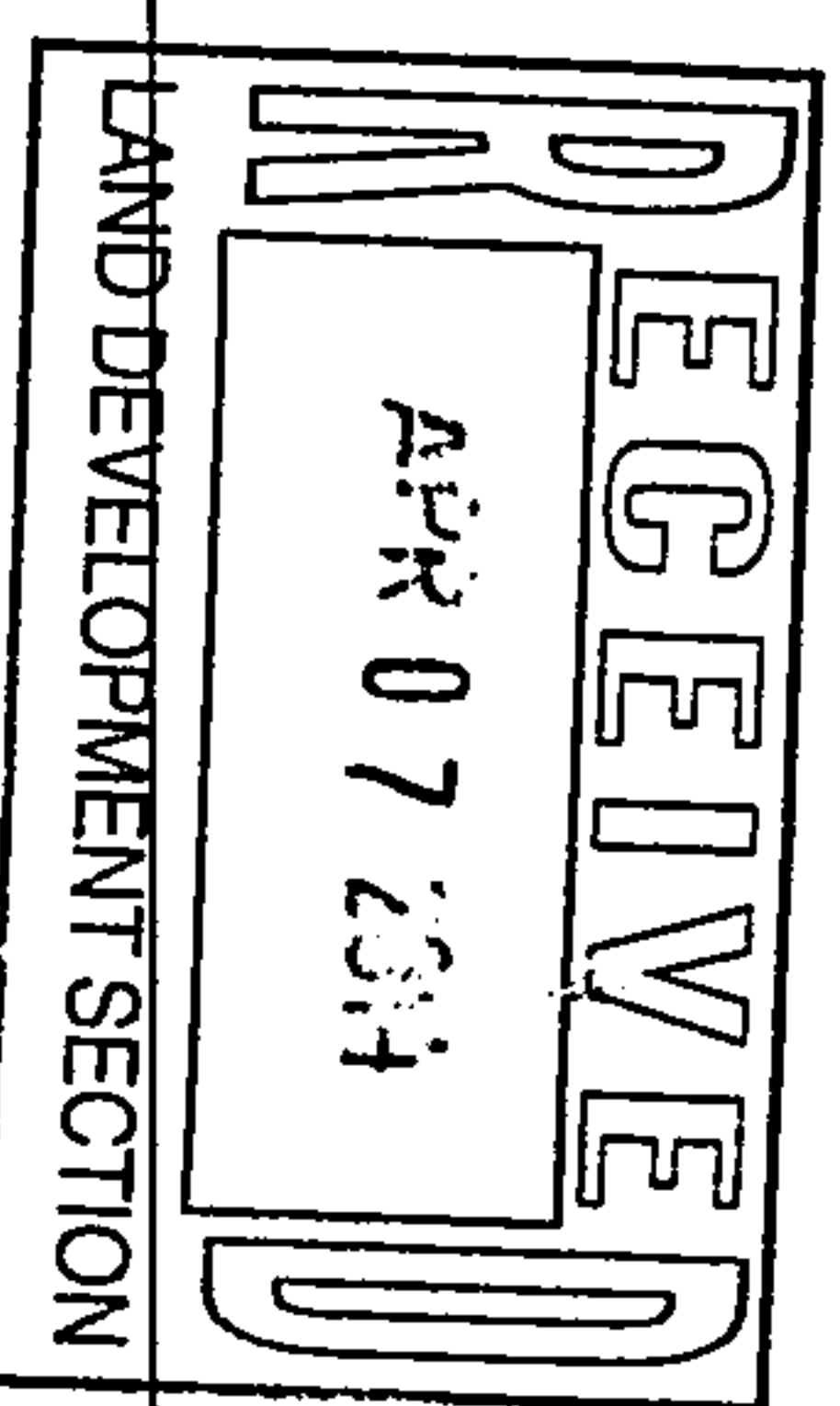
Manual controls, magnetic starter type, providing short circuit and overload protection, housed in EEMAC3 enclosure. Other enclosure types (EEMAC4, EEMAC12) are optional.

Options:

Explosionproof FM approved variants CF/DF/DS 3067.090; Warm liquid version.

Accessories.

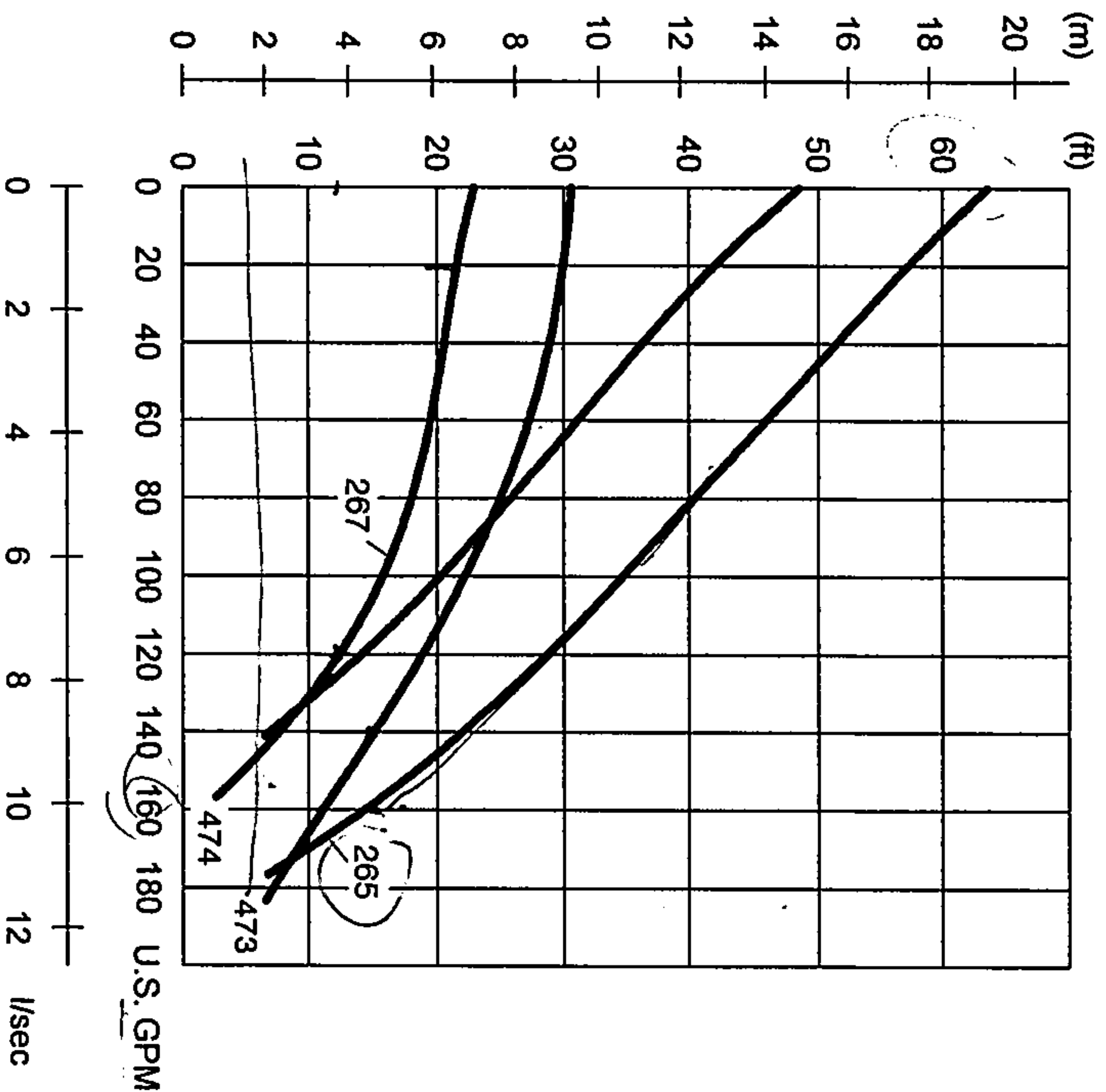
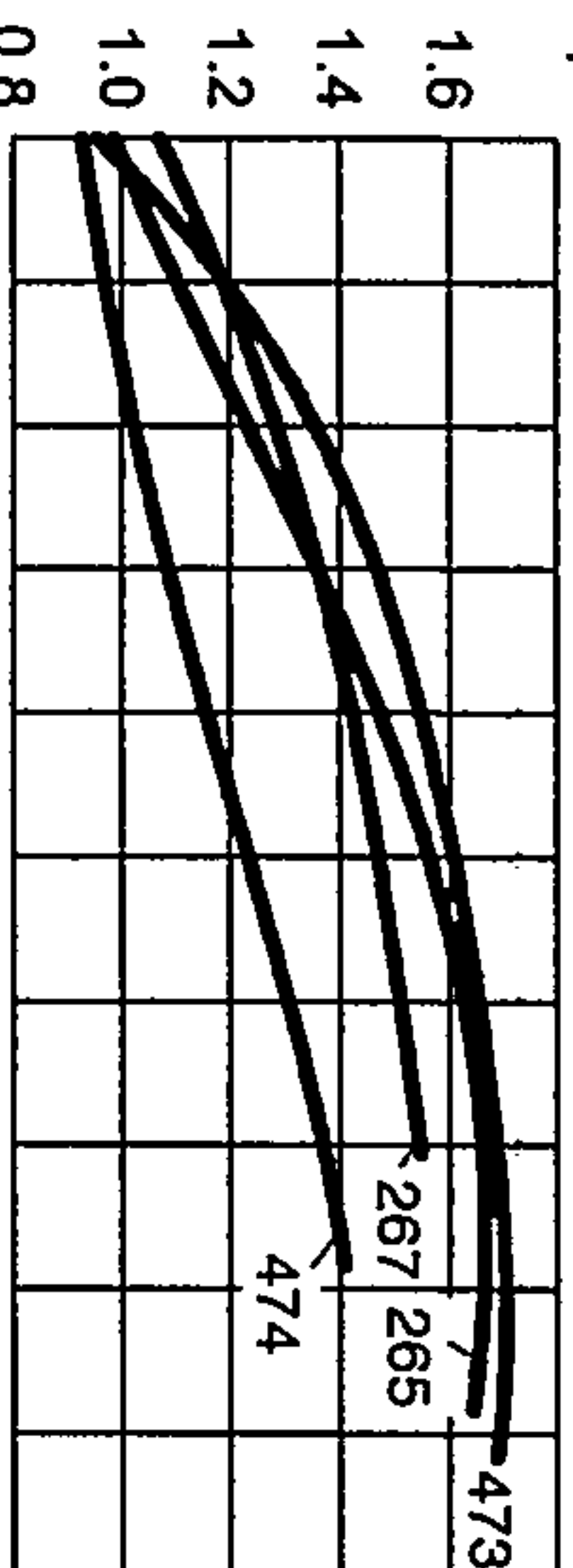
Zinc anodes.



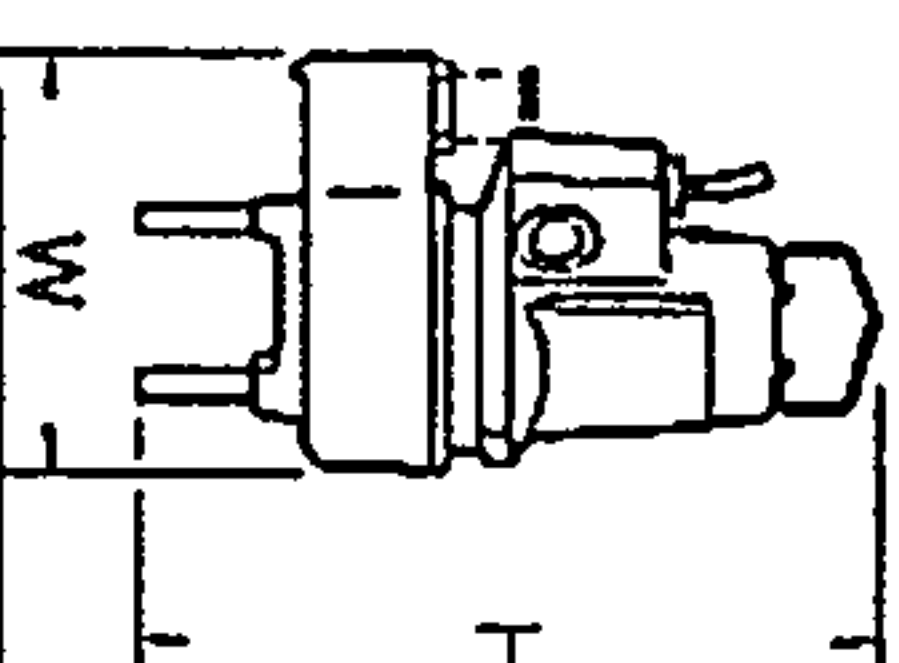
CF/DF/DS-3067.180

Power Input and Performance Data

Power Input kW



CF



Dimensions

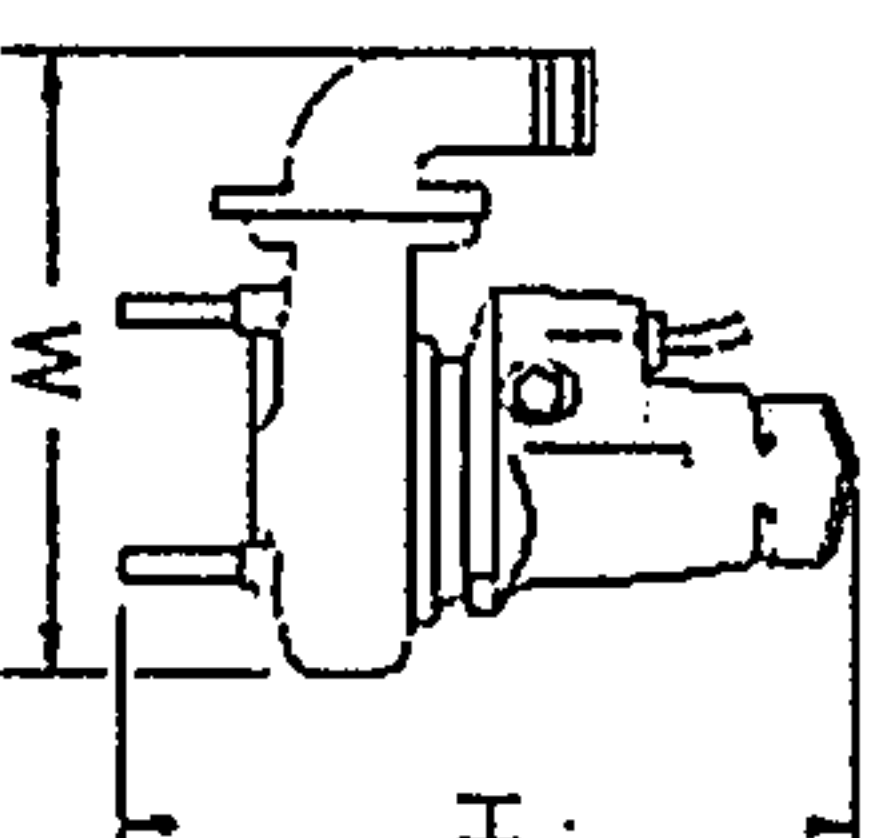
Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
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CF 3067.180

Impeller Codes:

265, 267 --- 2" Hose 12^{3/8} 315 20^{3/8} 520 90 41

DF



Dimensions

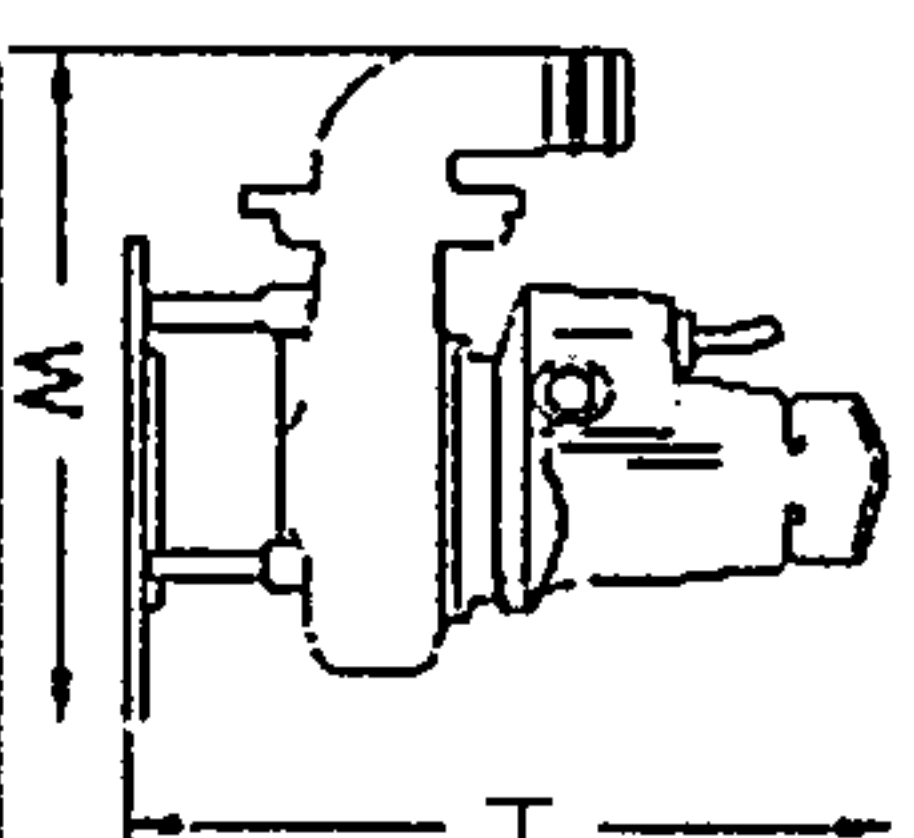
Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
-------	-----------------	----------	------	----------	------	-------------	-----------

DF 3067.180

Impeller Codes:

473, 474 --- 3" Hose 19 483 21^{1/2} 546 105 48

DS



Dimensions

Model	Discharge conn.	W inches	W mm	H inches	H mm	Weight lbs.	Weight kg
-------	-----------------	----------	------	----------	------	-------------	-----------

DS 3067.180

Impeller Codes:

473, 474 --- 3-8 NPSM 19 483 21^{1/2} 545 110 50
or 3" Hose

VERSION	IMP. CODE	HP	PHASE	VOLTS	FLA	STARTING CABLE SIZE
						CURRENT AWG

CF 3067.180/090

High Head HT 2"	267	1.6	1	115	16	80 14/7
	265	1.9	3	208	5.4	34 14/7
			3	230	4.8	31
			3	460	2.4	16
			3	600	2.0	11

DF/DS 3067.180/090

Standard MT 3"	474	1.3	1	115	14	32 14/7
		1.3	1	230	7	16
	473	1.7	3	208	6.2	26 14/7
			3	230	5.6	24
			3	460	2.8	12
			3	600	2.2	9

SALES • SERVICE • RENTALS

Cocquillam, B.C., Tel.: (604) 941-6664, Fax: (604) 941-3659 • Calgary, Alta., Tel.: (403) 279-8371, Fax: (403) 279-0948 • Edmonton, Alta., Tel.: (780) 489-1961, Fax: (780) 486-5530
Saskatoon, Sask., Tel.: (306) 933-4849, Fax: (306) 931-0051 • Winnipeg, Mb., Tel.: (204) 235-0050, Fax: (204) 235-0066 • Concord, On., Tel.: (905) 760-7530, Fax: (905) 760-7527
Ottawa, On., Tel.: (613) 225-9600, Fax: (613) 225-5496 • Sudbury, On., Tel.: (705) 560-2141, Fax: (705) 560-8260 • Thunder Bay, On., Tel.: (807) 625-9960, Fax: (807) 625-9970
Pointe-Claire, Qc, Tel.: (514) 695-0133, Fax: (514) 695-7990 • Beauport, Qc, Tel.: (418) 667-1694, Fax: (418) 666-9593 Val d'Or, Qc, Tel.: (819) 825-0792, Fax: (819) 825-5677 •
Moncton, N.B., Tel.: (506) 857-2244, Fax: (506) 859-8612 • Halifax, N.S., Tel.: (902) 450-1177, Fax: (902) 450-1170 • St. John's, Nfld., Tel.: (709) 722-6717, Fax: (709) 722-9832

Flygt



ITT Industries

Bernie Montoya

From: Biazar, Shahab <sbiazar@cabq.gov>
Sent: Friday, March 07, 2014 7:55 AM
To: Bernie Montoya
Cc: Rael, Jane E.
Subject: RE: 2655 BAYLOR S.E.

Hi,

Per our meeting on 2/18/2014 the followings were required for your project at 2655 Baylor SE:

- 1) Proposed and existing spot elevations should be shown based on the NAVD 88.
- 2) Revocable Permit will required for the any encroachment within the City of the Albuquerque ROW unless it is not required by Jane Rael.
- 3) SO-19 permit is required for the 4" pipe penetration through the face of curb on Baylor SE.
- 4) Depress the landscaping areas 6 to 12" where possible.

Would you please email a copy of the proposed work so I can put it in our file?

Thanks and have a nice day.

Shahab Biazar, P.E.
Principal Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Bernie Montoya [mailto:bjmconsulting@comcast.net]
Sent: Thursday, March 06, 2014 10:50 AM
To: Biazar, Shahab
Subject: FW: 2655 BAYLOR S.E.

From: Bernie Montoya [mailto:bjmconsulting@comcast.net]
Sent: Monday, February 24, 2014 1:34 PM
To: 'sbiazar@cabq.gov'
Subject: 2655 BAYLOR S.E.

PER OUR MEETING ON 2-18-2014

1. BOTH EXISTING AND PROPOSED SPOT ELEVATIONS MUST BE TO SAME DATUM.
2. REVOCABLE PERMIT NOT REQUIRED IF PROPOSED DEVELOPED RUN-OFF IS HANDLED SEPARATELY WITHOUT USING EXISTING DISCHARGE SYSTEM. PER JANE RAEL.
3. SO 19 REQUIRED FOR 4" PIPE THRU CURB ONTO BAYLOR S.E.

Bernie Montoya

From: Rael, Jane E. <JRael@cabq.gov>
Sent: Tuesday, February 18, 2014 1:51 PM
To: Biazar, Shahab; bjmcconsulting@comcast.net
Subject: revocable permit

A revocable permit is not required if the pipe is perpendicular to the road as long as the pipe connects to another pipe or inlet.

No virus found in this message.
Checked by AVG - www.avg.com
Version: 2014.0.4335 / Virus Database: 3705/7103 - Release Date: 02/18/14

SHAHAB, DO YOU HAVE THE CAPABILITY TO SCAN PLANS INTO A PDF FILE?

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2014.0.4335 / Virus Database: 3722/7165 - Release Date: 03/07/14



Biazar, Shahab

Mike Doty

From: Biazar, Shahab
Sent: Friday, March 07, 2014 7:55 AM
To: 'Bernie Montoya'
Cc: Rael, Jane E.
Subject: RE: 2655 BAYLOR S.E.

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- 3) SO-19 permit is required for the 4" pipe penetration through the face of curb on Baylor SE.
- 4) Depress the landscaping areas 6 to 12" where possible.

Would you please email a copy of the proposed work so I can put it in our file?

Thanks and have a nice day.

Shahab Biazar, P.E.

Principal Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Bernie Montoya [mailto:bjmconsulting@comcast.net]
Sent: Thursday, March 06, 2014 10:50 AM
To: Biazar, Shahab
Subject: FW: 2655 BAYLOR S.E.

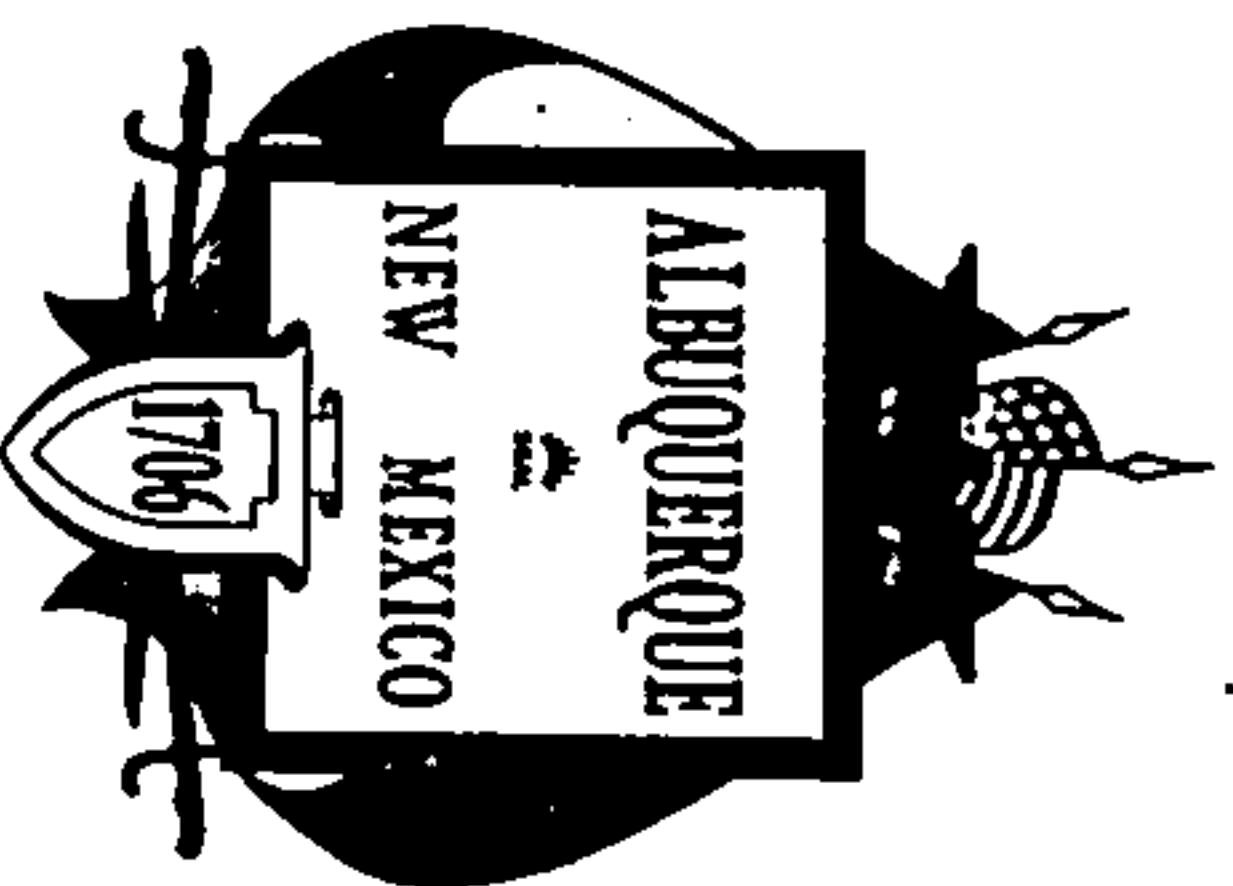
From: Bernie Montoya [mailto:bjmconsulting@comcast.net]
Sent: Monday, February 24, 2014 1:34 PM
To: 'sbiazar@cabq.gov'
Subject: 2655 BAYLOR S.E.

PER OUR MEETING ON 2-18-2014

1. BOTH EXISTING AND PROPOSED SPOT ELEVATIONS MUST BE TO SAME DATUM.
2. REVOCABLE PERMIT NOT REQUIRED IF PROPOSED DEVELOPED RUN-OFF IS HANDLED SEPARATELY WITHOUT USING EXISTING DISCHARGE SYSTEM. PER JANE RAE.
3. SO 19 REQUIRED FOR 4" PIPE THRU CURB ONTO BAYLOR S.E.

SHAHAB, DO YOU HAVE THE CAPABILITY TO SCAN PLANS INTO A PDF FILE?

City of Albuquerque



March 9, 2000

Jeff Mortensen, P.E.
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

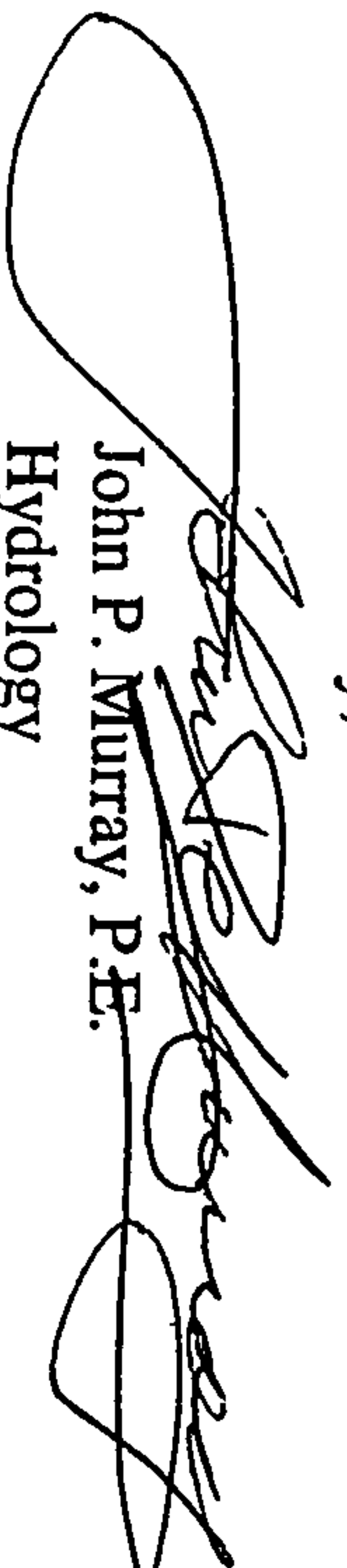
**RE: ZIA BUS SALES (M16-D6). ENGINEER'S CERTIFICATION FOR CERTIFICATE
OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED FEBRUARY 23,
2000.**

Dear Mr. Mortensen:

Based on the information provided on your submittal of February 23, 2000, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Whitney Reiersen

✓ File

1

990493

PROJECT TITLE: 214 Bus Sides ZONE ATLAS/DRNG. FILE #: M14/D4

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 1-D-1, BLOCK 1, ALPERT RD. PARK

CITY ADDRESS: 2455 BARCLAY ST

ENGINEERING FIRM: JEFF MOERTENSEN & ASSOC. CONTACT: JEFF MOERTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NW PHONE: 345-4250

OWNER: 214 BUS Sides CONTACT: CONTRACTOR

ADDRESS: _____ PHONE: _____

ARCHITECT: JOY ANDERSON, ARCHITECT/CONTACT JOY ANDERSON

ADDRESS: 912 BONA NW PHONE: 744-8304

SURVEYOR: JEFF MOERTENSEN & ASSOC. CONTACT: JEFF MOERTENSEN

ADDRESS: 6010-B MIDWAY PARK BLVD NW PHONE: 345-4250

CONTRACTOR: FOUND MILLS CONSTRUCTION, INC CONTACT: ROY MILLS

ADDRESS: PO Box 14901 PHONE: 237-0883

87191

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

____ DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAINAGE PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

☒ OTHER - COPY OF 50#19 GREEN TAG

PRE-DESIGN MEETING:

____ YES

☒ NO

____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

____ GRADING PERMIT APPROVAL

____ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

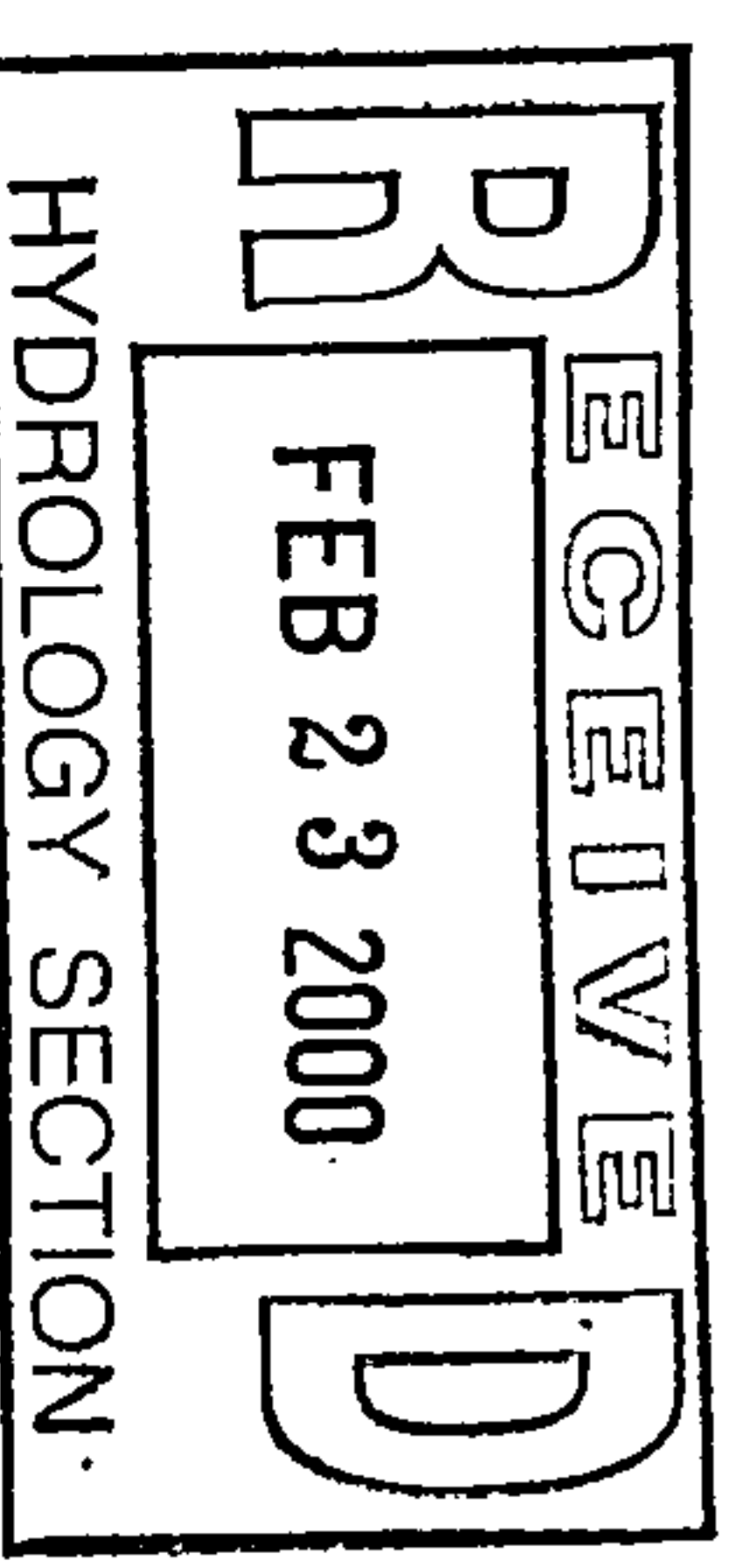
____ DRAINAGE REQUIREMENTS

____ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

02/23/2000

BY: _____

JEFFREY G. MOERTENSEN

PUBLIC WORKS DEPARTMENT

SIDEWALK & DRIVEPAD INSPECTION

APPROVED

[Signature]

Inspector

Permits

Dispatch

Insp. Office

Phone: 768-2551

857-8025

857-8036

Permit No. 2026704

ILC

35 Bay Road

SE

29

RECEIVED
FEB 23 2000
HYDROLOGY SECTION

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Zia Bus Sales ZONE ATLAS/DRNG. FILE #: M-16 / D16

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 1-D-1, Block 1, Airport Industrial Park

CITY ADDRESS: Baylor Dr. SE

ENGINEERING FIRM: Jeff Mortensen & Assoc. CONTACT: Christian J. Sholtis

ADDRESS: 6010-B Midway Pl NE ABA 87109 PHONE: (505) 345-4250

OWNER: Zia Bus Sales CONTACT: Lynn Degenhart

ADDRESS: 7901 Zuni Rd SE ABA 87108 PHONE: (505) 266-1742

ARCHITECT: Jon Anderson Architect AIA CONTACT: Jon Anderson

ADDRESS: 912 Roma NW ABA 87102 PHONE: (505) 764-8306

SURVEYOR: Alpha Professional Surveying, Inc. CONTACT: _____

ADDRESS: 9311 4th NW ABA 87114 PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

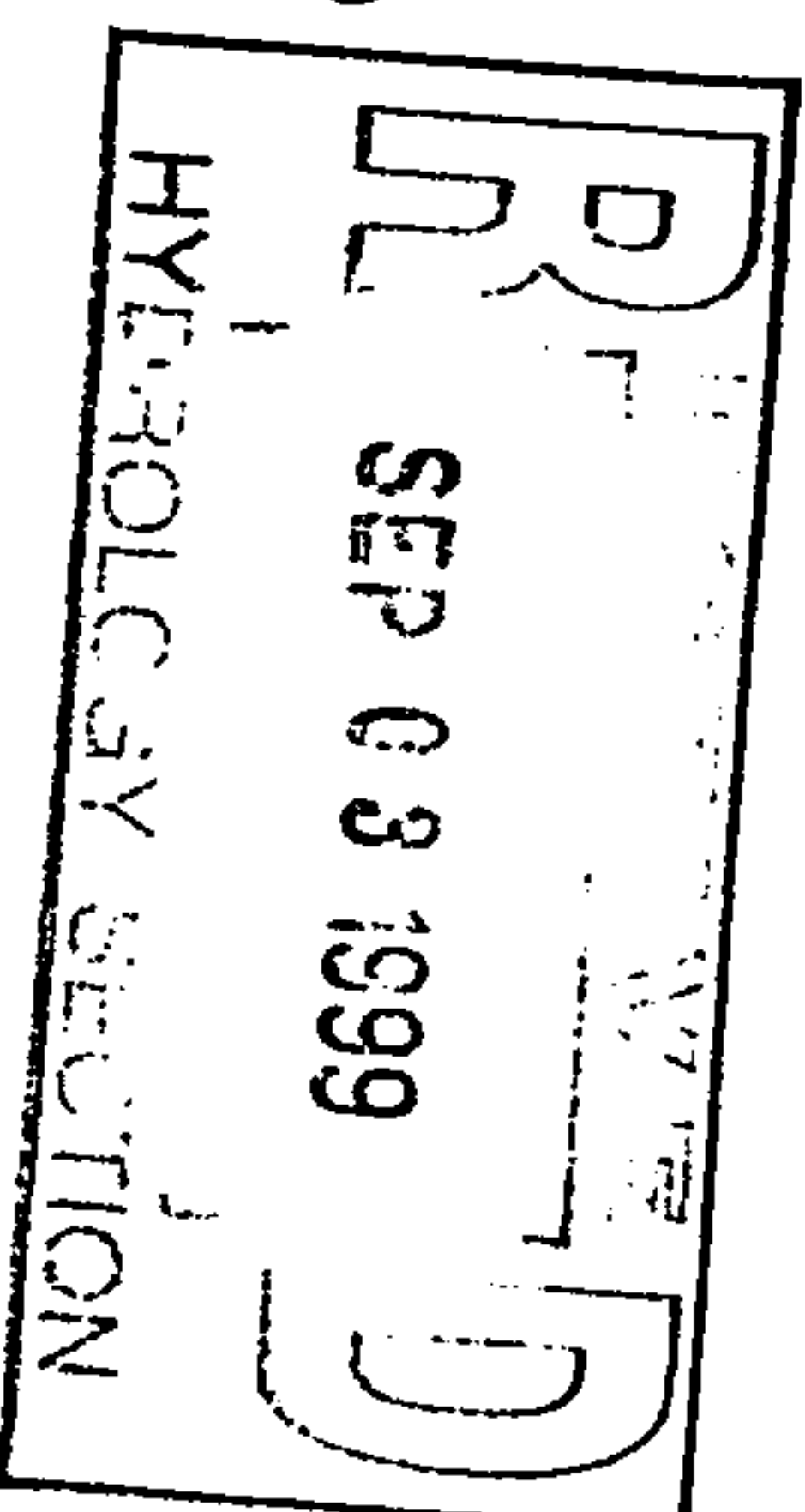
☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

☒ OTHER So-19 (SPECIFY)

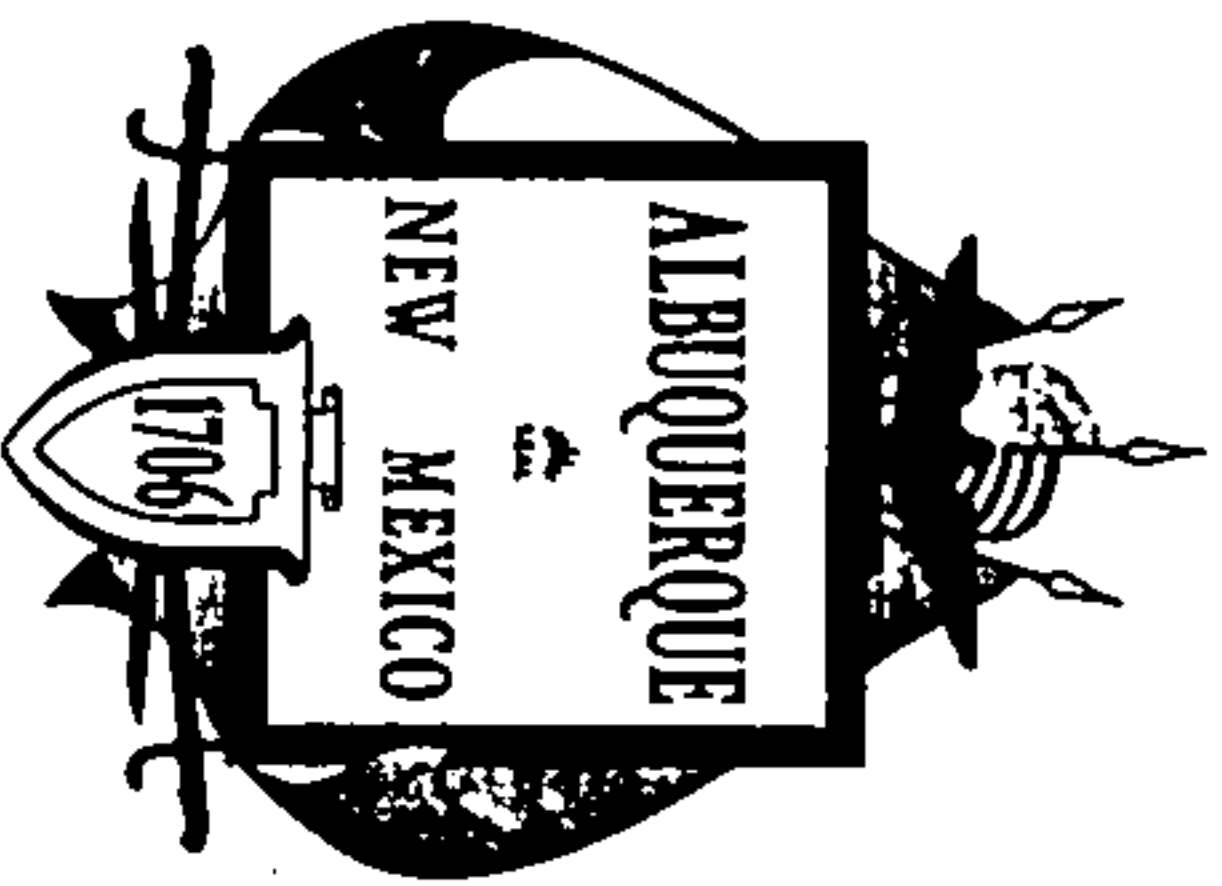


PRE-DESIGN MEETING:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/3/99

BY: Christian J. Sholtis

XC: Jon Anderson



City of Albuquerque

October 10, 1999

Mr. Jeff Mortensen, P.E.
6010-B Midway Pk. N.E.
Albuquerque, NM 87109

RE: Zia Bus Sales, M16/D6, Engineer's Stamp Dated 9/2/99

Dear Mr. Mortensen:

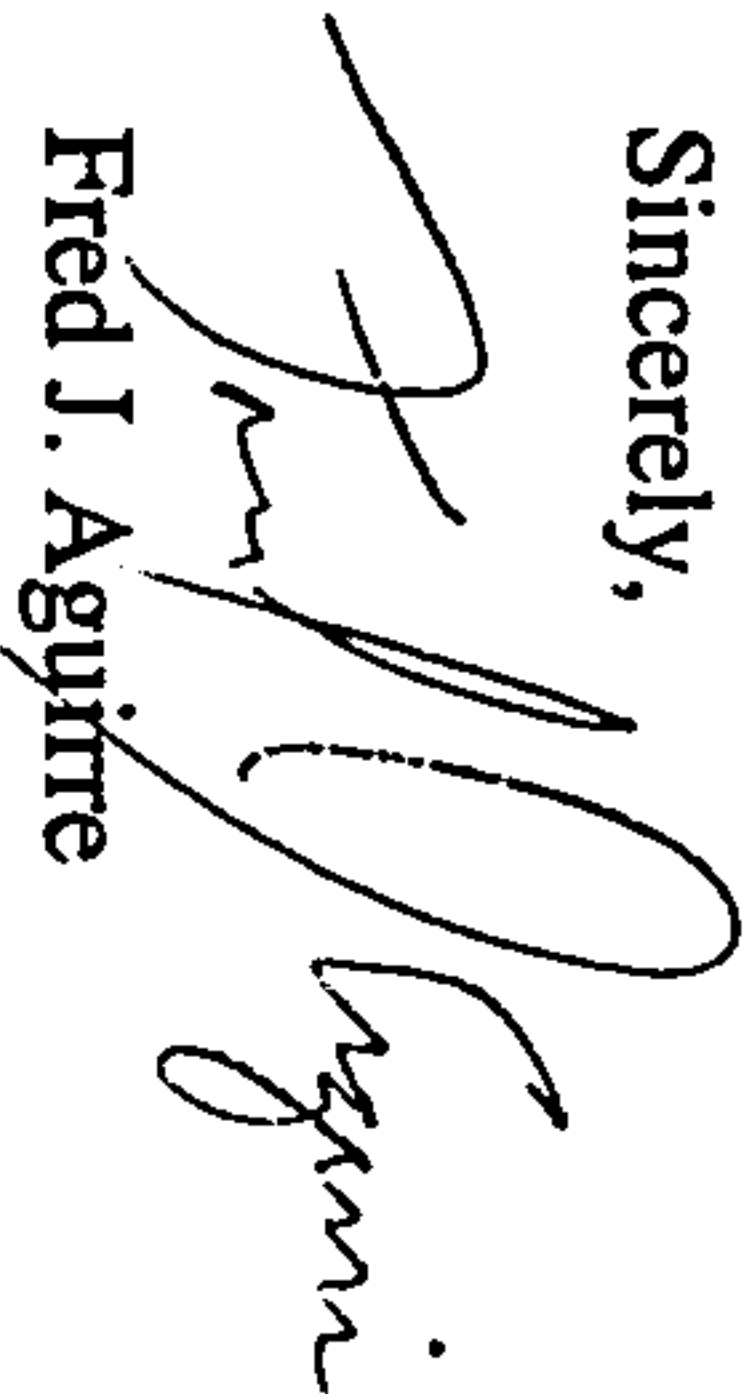
The referenced drainage plan is approved for building permit. Please advise the contractor to attach copies of the approved drainage plan to each set of the building plans. Our inspector is authorized to sign the building plans once the approved drainage plan is attached.

Also, inform the contractor of the SO-19 permit requirements for the proposed storm drain improvements within the City's R/W. The inspection of the private storm drain within the City's R/W will be by Storm Drain Maintenance. The contractor will be responsible for contacting Storm Drain Maintenance at 291-6214 for the required inspections.

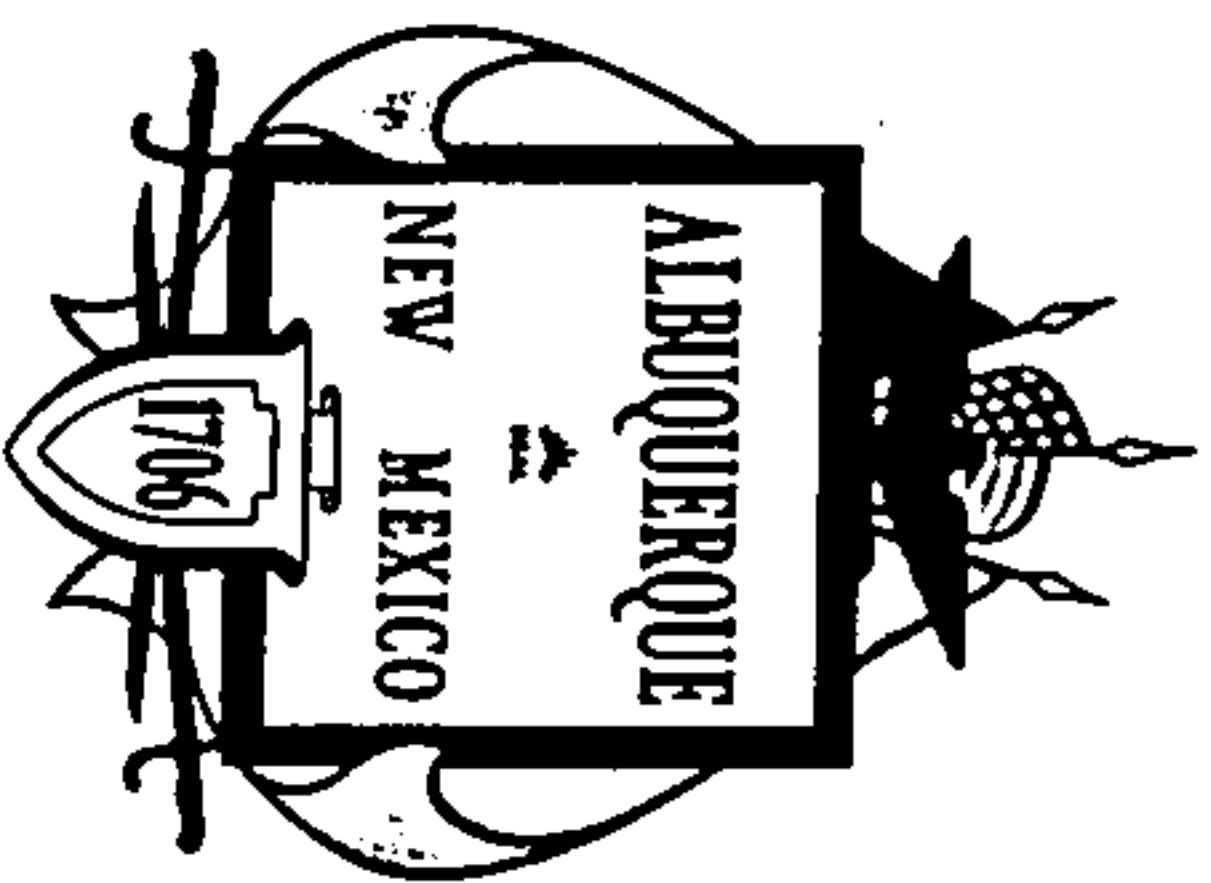
An Engineer's Certification per the DPM will be required for Certificate of Occupancy approval.

If I can be of further assistance, please feel free to contact me at 924-3999.

Sincerely,


Fred J. Aguirre
City Engineer

c: Whitney Reiersen, Hydrology
Glen Jurgenson, Storm Drain Maintenance



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 26, 1999

Christian Sholtis
Jeff Mortensen & Assoc.
6010-B Midway Pk NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR ZIA BUS SALES (M-16/D6)
RECEIVED JULY 7, 1999 FOR BUILDING PERMIT & S.O.19
ENGINEER'S STAMP DATED 07-02-99

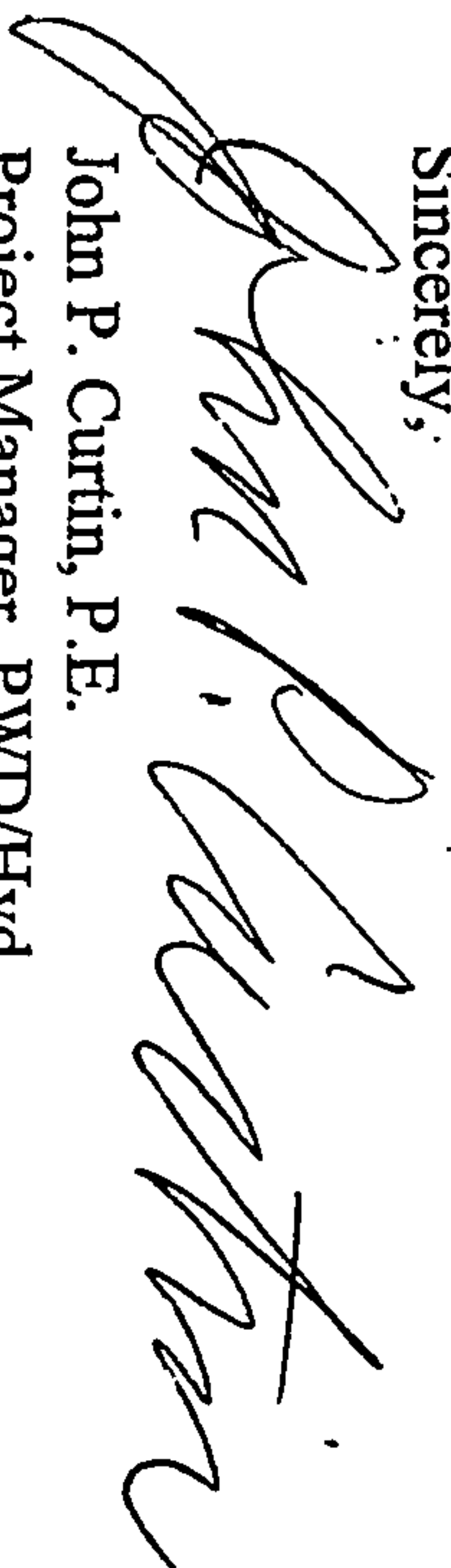
Dear Mr. Sholtis:

Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed:

Basin S-2 spills over the retaining wall on to Lot 1-B-1. This will cause excessive erosion on Lot 1-B-1. Raise the retaining wall so that Basin S-2 will drain to the inlet in Basin S-1. At low head, grate capacity will be controlled by the weir equation. The sump must be at least 0.35' deep.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,


John P. Curtin, P.E.
Project Manager, PWD/Hyd

BY
ON CHAIR.
FROM
WHERE?

c: Inspector

9/9/99

RE FILE

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Zia Bus Sales ZONE ATLAS/DRNG. FILE #: M-116/0016

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 1-D-1, Block 1, Airport Industrial Park

CITY ADDRESS: Baylor Dr. SE

ENGINEERING FIRM: Jeff Mortensen & Assoc. CONTACT: Christian J. Sholtis

ADDRESS: 6010-8 Midway Pl. NE, ABQ 87109 PHONE: (505) 345-4250

OWNER: Zia Bus Sales CONTACT: Lynn Degenhart

ADDRESS: 7901 Zuni Rd SE, ABQ 87108 PHONE: (505) 266-1742

ARCHITECT: Jon Anderson Architect, AIA CONTACT: Jon Anderson

ADDRESS: 912 Roma Ave NW, ABQ 87102 PHONE: (505) 764-8306

SURVEYOR: Alpha Professional Surveying, Inc CONTACT: _____

ADDRESS: 9311 4th St NW, ABQ 87114 PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

☒ DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

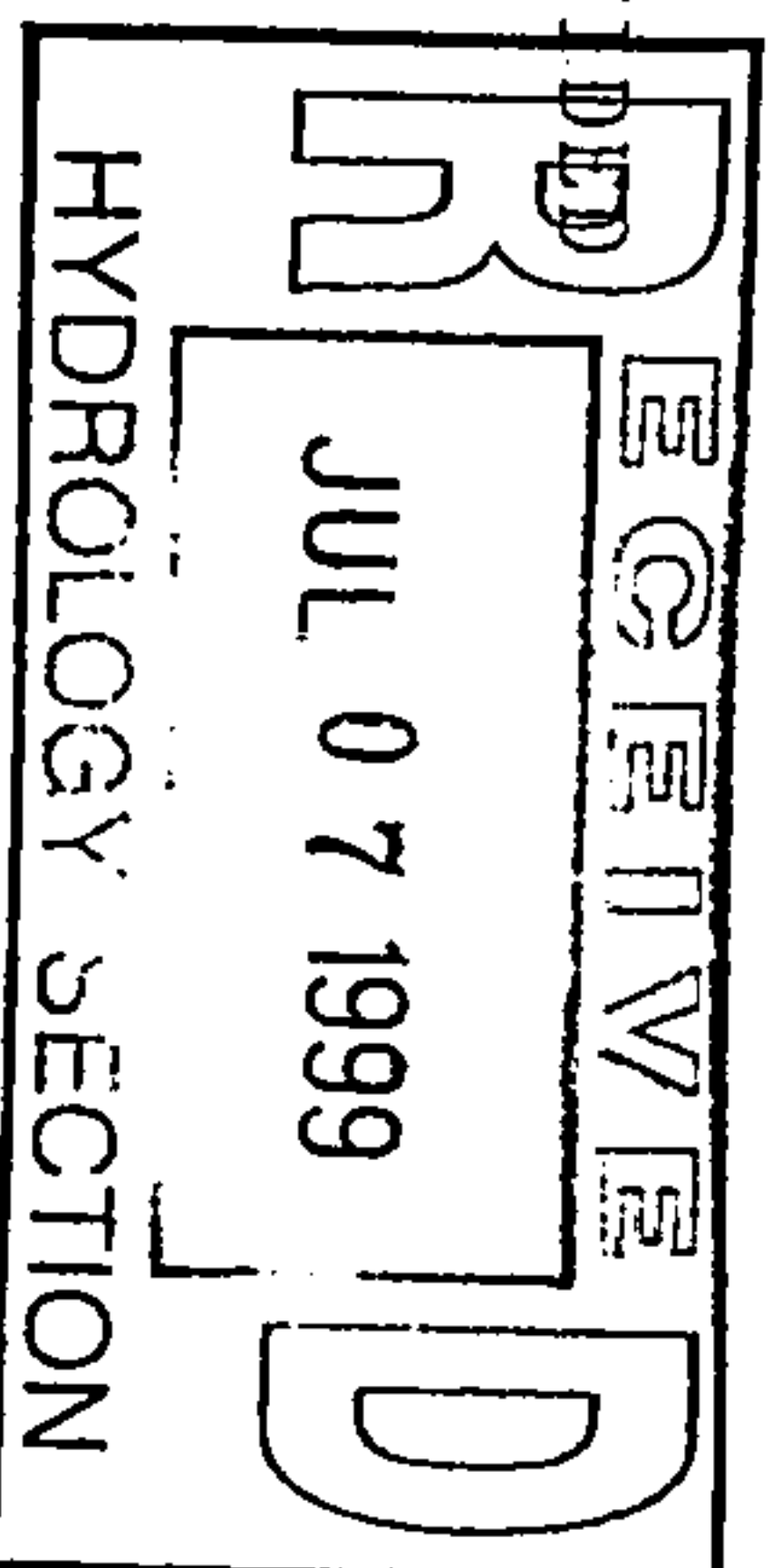
____ GRADING PERMIT APPROVAL

____ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

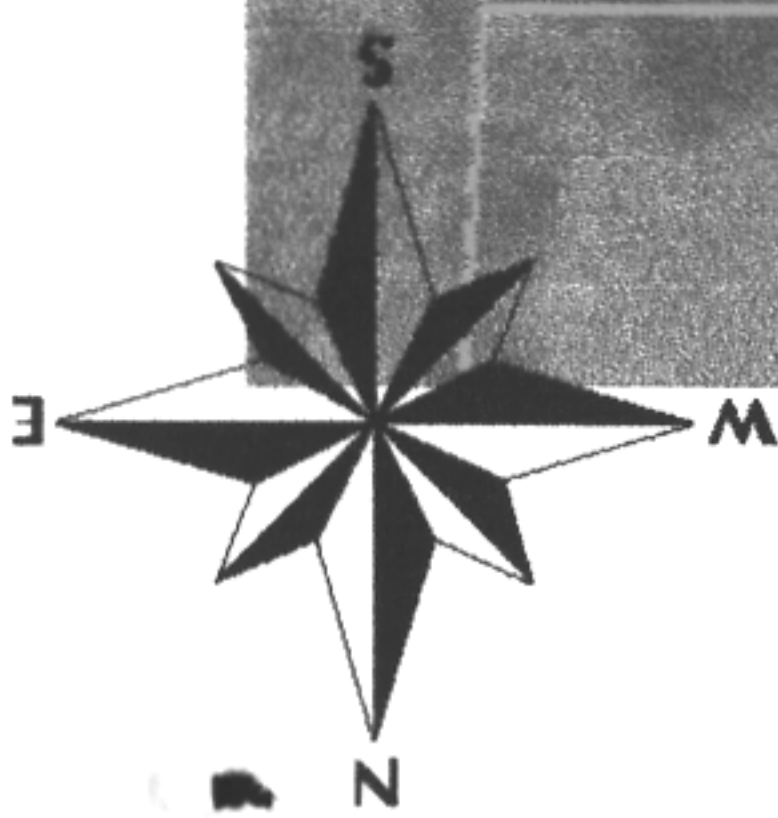
____ DRAINAGE REQUIREMENTS

☒ OTHER SO #19 (SPECIFY)



DATE SUBMITTED: 7/7/99

BY: Christian J. Sholtis



H-y: 14.36762, 2.65748
 dx, dy: 0.44291, -0.56594

Map Details:

- Streets:** CENTRE AVE, COLUMBIA, GIBSON BLVD, STANFORD DR, CORNELL DR, MILES RD, AIR PARK RD, BAYLOR DR.
- Key Features:** SUNPORT POOL, GIBSON 011, 022, 023, 931, 031, 041, 41.
- Right-of-Way (RCP) Data:**
 - 301' 30" RCP S= 0.0100
 - 104' 30" RCP S= 0.0100
 - 247' 30" RCP S= 0.0090
 - 351' 28" RCP S= 0.0180
 - 371' 28" RCP S= 0.0180
 - 436' 36" RCP 12-001-79
 - 251' 30" RCP 12-001-79
 - 157' 30" RCP 12-001-79
 - 298' 30" RCP 12-001-79
 - 492' 30" RCP 12-001-79
 - 351' 21" RCP S= 0.0830

DRAINAGE REPORT

GIBSON BOULEVARD RECONSTRUCTION / REHABILITATION UNIVERSITY BOULEVARD TO JACKSON STREET

COA PROJECT No. 4850.90
TPU-4078(3)00, CN 2895

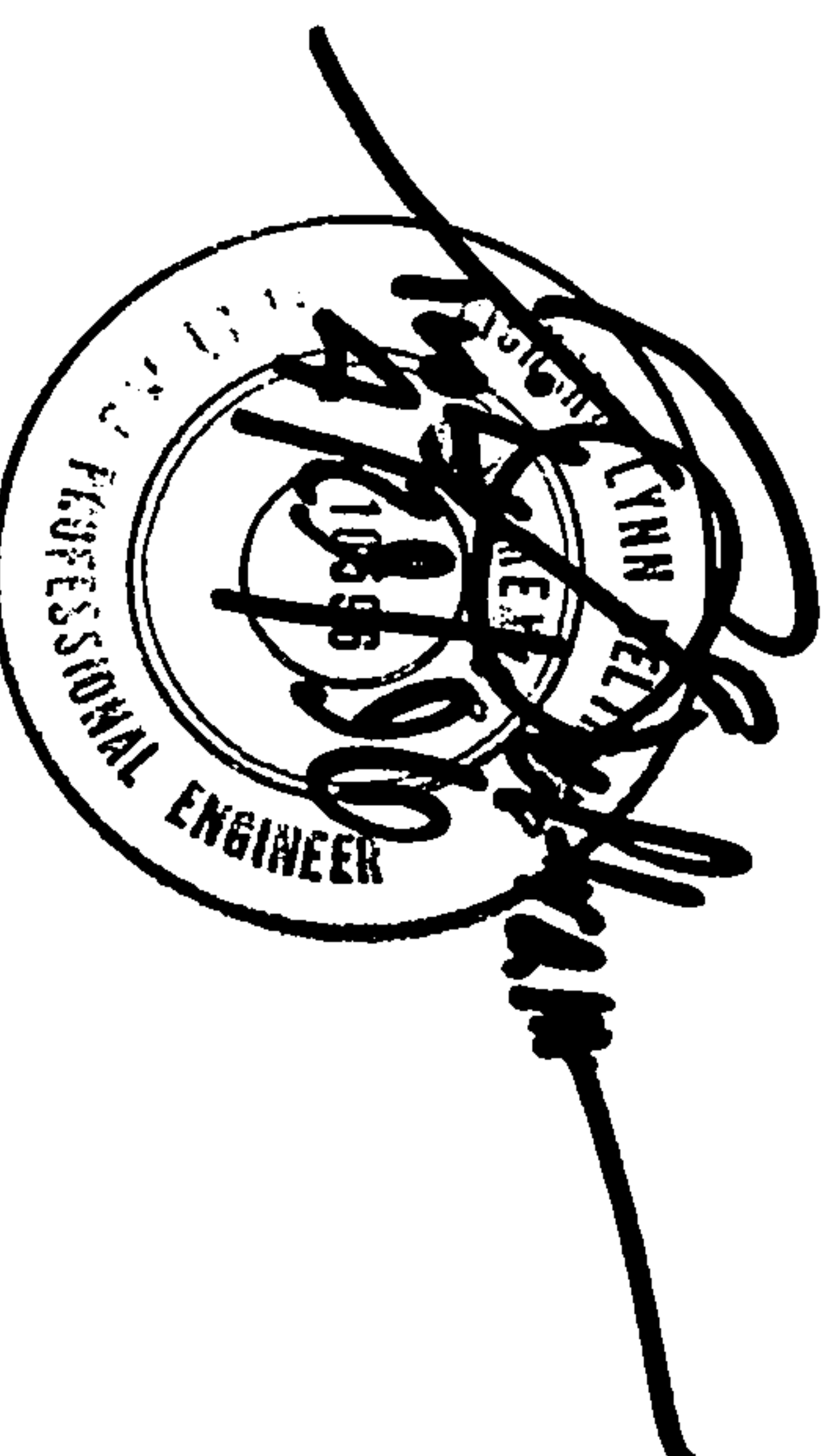
PREPARED FOR:

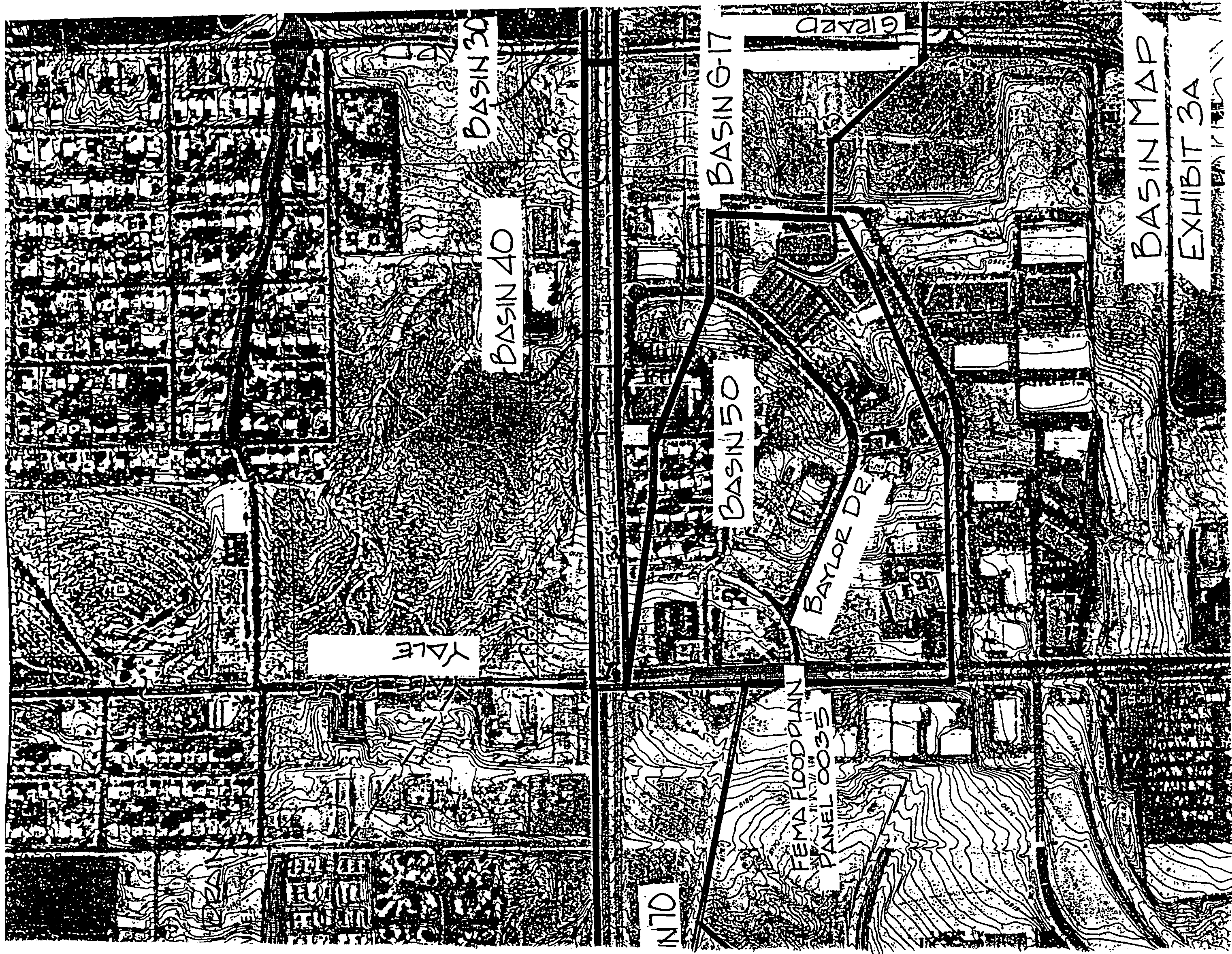
CITY OF ALBUQUERQUE
P.O. BOX 1293
ALBUQUERQUE, NM 87102

PREPARED BY:

AVID ENGINEERING, INC.
6100 SEAGULL STREET, NE, SUITE 102
ALBUQUERQUE, NM 87109

April 1996





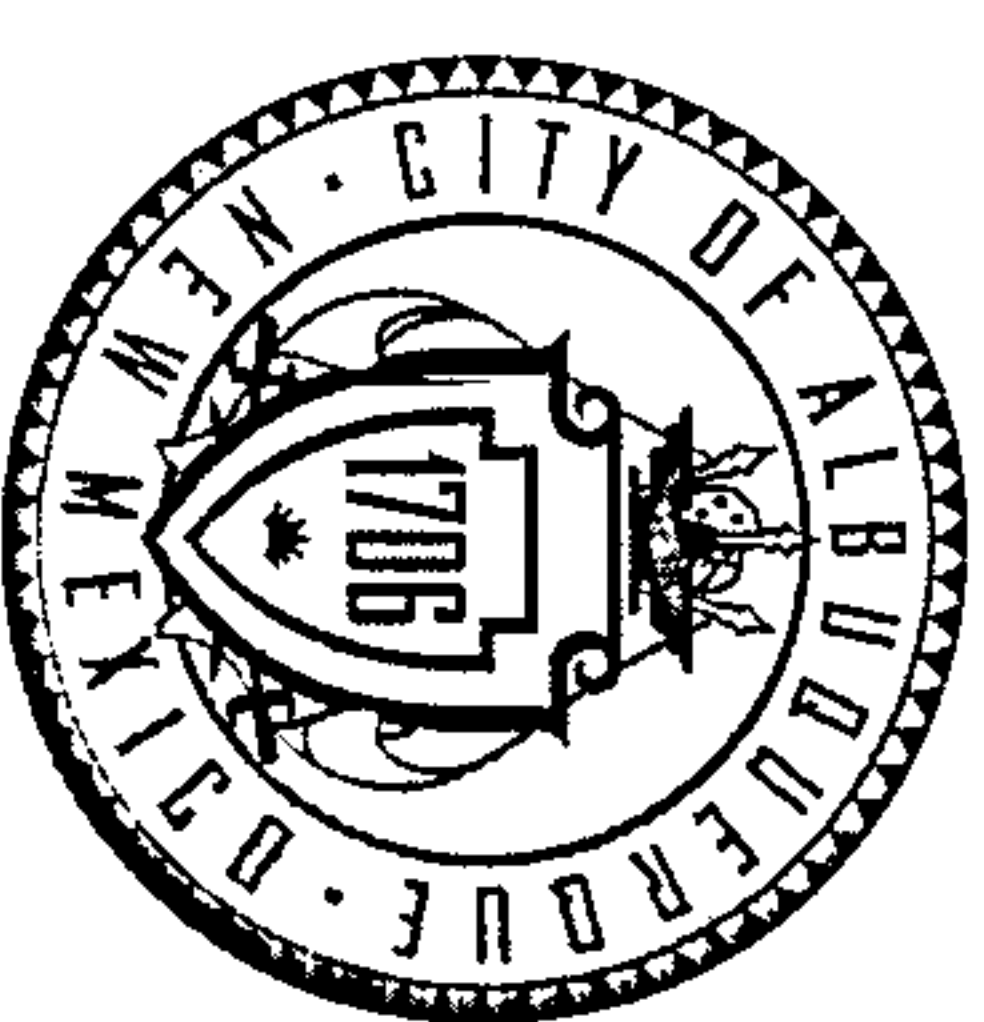
BASIN MAP

EXHIBIT 3A

AHYMO INPUT

GIBSON REHABILITATION / RECONSTRUCTION									
FILE: C:\GIBSON\HYDRO.XLS									
AVID JN 4080.48									
August-16-1995									
BASIN	AREA		LAND TREATMENT				Tp	COMMENTS	
	acres	sq. mi.	A	B	C	D	hours		
10	10.22	0.0160	0.0%	5.9%	13.5%	80.6%	0.402	Includes residential flows, AP1, Maxwell Av	
20	10.41	0.0163	0.0%	8.2%	15.4%	76.4%	0.138	AP30, Carlisle Blvd.	
30	5.00	0.0078	0.0%	2.9%	11.9%	85.2%	0.148	AP40, Girard Blvd.	
40	9.38	0.0147	0.0%	5.6%	13.4%	81.0%	0.091	AP50, Yale Blvd., east leg	
50	42.11	0.0658	0.0%	10.7%	7.4%	82.0%	0.180	AP50, Yale Blvd., south leg	
60	10.38	0.0162	0.0%	6.7%	6.6%	86.6%	0.092	Basin EE4, AMDS restudy	
70	11.29	0.0176	0.0%	6.8%	6.6%	86.6%	0.055	AP70, University Blvd.	
80	6.88	0.0108	0.0%	4.0%	8.0%	88.0%	0.051	AP80, Gibson at SDC	
G17	64.90	0.1014	N/A	N/A	N/A	N/A	1.533	Q PEAK = 103 CFS, AIA DRN RPT	
90	84.48	0.1320	0.0%	25.0%	25.0%	50.0%	0.196	AP90, SPENCER BASIN	
TOTALS	255.05	0.3985							

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

April 11, 2014

Bernie J. Montoya
BJM Consulting
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Warehouse Addition, 2655 Baylor Dr. SE
Traffic Circulation Layout – Not Required**
Architect's Stamp dated 04-03-14 (M16-D006)

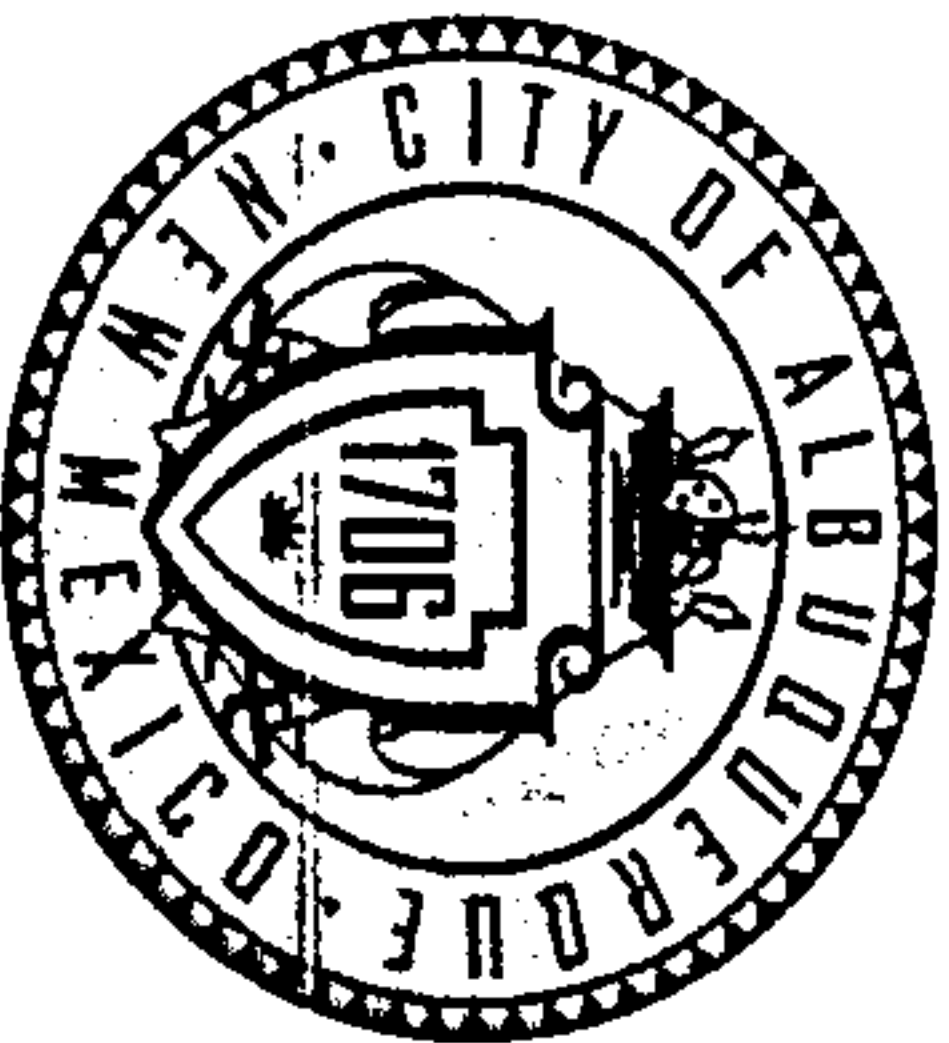
Dear Mr. Montoya,

Thank you for the TCL submittal received 04-07-14. After review of the referenced site and existing conditions it appears that a TCL is not required for the proposed Addition. A copy of this letter will be needed for each of the building permit plans. If you have any questions feel free to call me at 924-3630.

Sincerely,

New Mexico 87103
Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: WAREHOUSE ADDITION Building Permit #: _____ City Drainage #: M1160004

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: REPLAT IMPROGRESS

City Address: 7655 BAYLOR DRIVE S.E.

Engineering Firm: BTM CONSULTING Contact: Bernie J. Montoya

Address: 8624 Casa Verde Ave. NW

Phone#: 505-250-7719 Fax#: 505-839-0451 E-mail: BTMCONSULTING@comcast.net

Owner: ACTM Contact: Herb

Address: _____

Phone#: 505-247-3631 Fax#: _____ E-mail: _____

Architect: BTM CONSULTING Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL TEMP)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input checked="" type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> SO-19 APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No Copy Provided ☒

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Bernie Montoya

From: Beck, Cynthia <cbeck@cabq.gov>
Sent: Wednesday, March 12, 2014 12:02 PM
To: Bernie Montoya
Subject: RE: 2655 BAYLOR S.E.

Bernie,

This was a preliminary review so not contractual.

Per DPM requirements, a 6 ft ADA pedestrian accessible pathway is required from the COA ROW sidewalk to the buildings entrance, as well as from the HC parking to the building entrance. The pathway is intended to be the most direct path possible but can not run parallel with vehicular pathway unless it is protected.

I suggested elevations at COA ROW sidewalk and asphalt on the other side of rock landscape buffer to demonstrate the impracticability of an ADA path running directly from sidewalk to entrance. An ADA pathway may be possible at vehicle entrance but is not a safe option for pedestrians. I will inform Kristal of the difficulty of providing the ADA path and see if she will waive the requirement because of the topography of the site and the nature of the business.

Be sure to provide all the necessary information: vicinity map, PE/RA stamp, dimensions of parking stalls, drive aisles, width existing drive pad, Zoning parking requirements, easements, refuse location, large vehicular path if applicable and any turning radii within vehicular paths.

Cynthia K Beck
Associate Engineer, Planning Department
Development & Review Services
(505) 924-3924

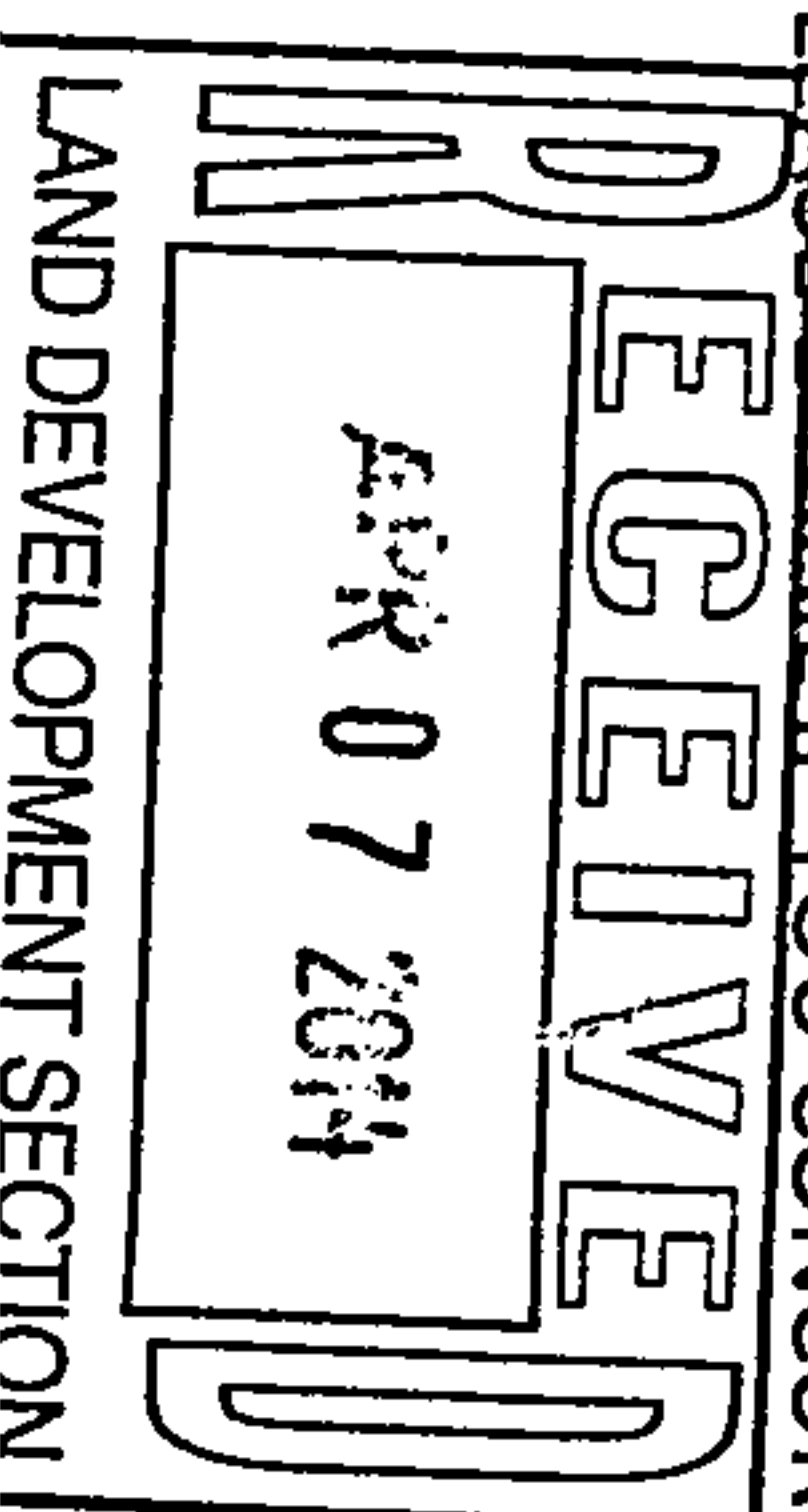
From: Bernie Montoya [mailto:bimconsulting@comcast.net]
Sent: Wednesday, March 12, 2014 10:29 AM
To: Beck, Cynthia
Subject: 2655 BAYLOR S.E.

HI CYNTHIA,

PER OUR MEETING ON 3/12/2014 THE FOLLOWING ITEM ARE REQUIRED FOR 2655 BAYLOR DER. S.E.

1. ADD CONCRETE BUMPERS TO THE TWO ACCESSIBLE PARKING STALLS.
2. ADD DIMENSION BETWEEN DRIVE ISLE ON THE NORTHSIDE OF BUILDING.
3. NO 6' PEDESTRIAN WALKWAY REQUIRED BECAUSE BIG GRADE CHANGE (SPOT ELEVATIONS WILL BE SHOWN)
4. SHOW OVERHEAD DOOR ON PROPOSED ADDITION. NO WALK THRU DOOR 3070 WILL BE LOCATED ON PROPOSED ADDITION.
5. EXISTING 5' AND PROPOSED 5' SIDEWALK ON EAST SIDE OF BUILDING WILL BE OK (NO PEDESTRIAN TRAFFIC IN THAT AREA)

CYNTHIA PLEASE REVIEW AND ADD ANY OTHER ITEMS YOU FEEL ARE NEEDED. PLEASE E-MAIL IF YOU CONCUR WITH THE LISTED ITEMS WE DISCUSSED. THANK YOU BERNIE MONTOYA C.E.



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